



NEBRASKA CAPITOL ENVIRONS COMMISSION

The Nebraska Capitol Environs Commission will hold a meeting on **Friday, February 24, 2023 at 8:30 a.m.** in the County-City Building, 555 S. 10th Street, Lincoln, Nebraska, in **City Council Chambers** on the 1st Floor. For more information, please contact the Lincoln City/Lancaster County Planning Department at 402-441-7491.

AGENDA

February 24, 2023

1. Approval of meeting record of [January 27, 2023](#)

Public Hearing & Action

2. Renovation work at [1526 K Street](#) (*State Building Division; UDR23016*)

Discuss & Advise

3. Staff report & miscellaneous

ACCOMMODATION NOTICE: *The City of Lincoln complies with Title VI of the Civil Rights Act of 1964 and Section 504 of the Rehabilitation Act of 1973 guidelines. Ensuring the public's access to and participating in public meetings is a priority for the City of Lincoln. In the event you are in need of a reasonable accommodation in order to attend or participate in a public meeting conducted by the City of Lincoln, please contact the Lincoln Commission on Human Rights at 402-441-7624, or the City Ombudsman at 402-441-7511, as soon as possible before the scheduled meeting date in order to make your request.*

MEETING RECORD

Advanced public notice of the Nebraska Capitol Environs Commission meeting was posted on the County-City bulletin board and the Planning Department's website. In addition, a public notice was emailed to the Lincoln Journal Star for publication on Wednesday, January 18, 2023.

NAME OF GROUP: NEBRASKA CAPITOL ENVIRONS COMMISSION

DATE, TIME AND PLACE OF MEETING: Tuesday, January 27, 2023, 8:30 a.m., City Council Chambers, County-City Building, 555 S. 10th Street, Lincoln, Nebraska.

MEMBERS IN ATTENDANCE: Heidi Cuca, Kile Johnson, Karen Nalow and David Quade; (Andrea Gebhart, Delonte Johnson and Ann Post absent).

OTHERS IN ATTENDANCE: Collin Christopher and Teresa McKinstry of the Planning Department; Maggie Stuckey-Ross, Director of Parks & Recreation; Bob Ripley and Matt Hansen with the Nebraska Capitol Commission; Michelle Potts with the Nebraska State Building Division; James Walbridge with Studio 951; and other interested citizens.

STATED PURPOSE OF MEETING: Nebraska Capitol Environs Commission Meeting

Chair K. Johnson called the meeting to order and acknowledged the posting of the Open Meetings Act in the room.

K. Johnson then called for a motion approving the minutes of the regular meeting held December 23, 2022. Motion for approval made by Quade, seconded by Cuca and carried 4-0: Cuca, K. Johnson, Nalow and Quade voting 'yes'; Gebhart, D. Johnson and Post absent.

SMOKING SHELTER AT 1501-1599 'M' STREET

and

SMOKING SHELTER AT 1526 'K' STREET

PUBLIC HEARING:

January 27, 2023

Members present: Cuca, K. Johnson, Nalow and Quade; Gebhart, D. Johnson and Post absent.

Michelle Potts presented what she hopes will be a standard for a smoking shelter. The largest state building is at 301 Centennial Mall. They have on average 2,500 to 3,000 employees. They have a large smoking population. They currently have an area north of the building for those who smoke. This is in the open, with no shade. Those who choose to smoke tend to move closer to the building. On a day-to-day basis, they have a lot of smoke entering the building. Studio 951 was enlisted to help with this project.

They would like to move the smoking area across the Mall next to the parking garage. It is more open for air filtration and smoke won't enter the building. This would be north of the Susan La Flesche Picotte statue. The fiscal year for the State ends in June so they would like approval today, to get these in the budget. She will bring back more details at a later meeting.

James Walbridge stated that this seemed like an innocuous program, but the location is very important. They took steps to take cues from the Mall. They engaged with Karen Nalow who gave them some very good tips. They looked at everything that has been done in the area. They came up with a simple structure. He showed a simple cross section. It is about eight foot high and constructed with powder coated steel. The color will be matched to the existing bronze color for a lot of the site furniture and surrounding pieces in the area. They don't want this to stand out. They want to protect the inhabitants. It is open air, but the roof is solid. The panels are proposed to be laser etched with prairie grass, indigenous to the state. It is meant to project the historical legacy of the flora of the state, and an homage to the existing landscape architecture. They will provide some living grasses in front of the shelter. This will all be done by the State. This is intended to be a modular type system so the State can use this as a model for other structures that might be used. Potts added that there is no seating. They wanted to wait and see how it will be used. Walbridge stated that they spoke to some smokers in the area and received their input. He showed different views of the proposed shelter. The panels face the street and the shelter is open toward the parking lot. On Centennial Mall, the panels face the Mall and the shelter is open toward the parking garage.

Quade asked if this will be laser etched or through cut. Walbridge stated they will be through cut. It is not intended to be a large aperture. They will be doing some full size mock-ups to understand the degree of opacity. Based on the budget, they hope to have all three grasses represented.

Nalow sees that the structure is represented as having two separate side panels that are separate from the main structure. Walbridge added that they wanted a wind break that wasn't attached. They looked at a variety of options. Those would also be etched. Nalow wondered if those panels could capture a little of the movement and angles of the main structure. Walbridge noted they discussed that in design meetings. They felt that the contrast in form was the way they wanted to go but were open to the Commission's suggestions.

Matt Hansen understands that the creation of shelters would inhibit smoking close to the building. He inquired how people would be encouraged to use these. Potts answered they would have signage and work with Capitol Security.

Cuca finds it ironic that Tobacco Free Nebraska is in the same building. Potts noted they have also seen a growth in the population of people who vape.

K. Johnson sees an opening in the middle of the shelter. This appears to intersect with the sidewalk. He questioned if that sidewalk continues across the street. Walbridge answered no. That sidewalk would have to be used to go south to get back to the building.

Nalow noted that the history of this area is that prior to renovation, there was already an existing seating area on this location. That has been a movement that has been happening on the Mall. Walbridge noted there is an existing sidewalk that doesn't really have a purpose. They want to remove it so there is one entrance and exit.

Nalow noted in regard to final design with this being a potential prototype, she wondered if it is a consideration to have the pattern on Centennial Mall be a pattern specific to Centennial Mall and others are a State pattern. Walbridge stated that they spoke about this in a meeting. Perhaps the building behind the parking lot could be a more geometric shelter. Nalow loves the idea of bringing in the native grasses. She knows when you are working with laser cut panels, there is some void space that needs studied. She believes this could come in for final approval with construction documents for the final panel design. She is thinking about scale, and how the scale of the plant material plays with the overall scale of the mall and the pedestrians. She is thinking about the boldness of the pattern. Walbridge believes that makes sense. There is the issue of opacity. It will be metaphorically stylized, but representative. The cuttings may not go all the way to the top. They may be five or six feet tall and have the ability to see through somewhat. There are safety concerns and aesthetics to take into consideration.

Quade asked if any consideration was given on how the structure is connected to the ground. Is there a cast base on the ground that it mounts to? He wondered about snow removal and maintenance considerations. He further wondered if there would be some kind of a curb at the base. Walbridge stated that they could potentially raise a curb. Right now, it is intended to be bolted. They believed their construction assembly to be reasonable.

Nalow noted the importance from a safety perspective of being able to see into the structure. Walbridge stated that in speaking to stakeholders, they asked about any safety concerns. That was all taken into account.

Cuca wondered if there will be trash receptacle built in. Walbridge stated they are still debating freestanding versus attached. It has to do with maintenance. That piece hasn't been decided yet. They do have a State approved receptacle. Potts noted that it most likely, won't be fixed.

Quade inquired about the overhead portion of the structure and if they are wide flanges or tube. Walbridge responded they are proposed to be tube steel with L plates or T plates, all mechanically fastened.

1501-1599 'M' STREET

ACTION:

Cuca moved approval of the smoking shelter structure as presented, seconded by Quade.

Nalow suggested an amendment that the approval goes for the structure, and this commission will have a final review of the laser cut pattern prior to installation. Cuca and Quade noted their agreement and amended their motion.

Motion for approval of the smoking shelter structure, subject to final review of the laser cut pattern prior to installation, carried 4-0: Cuca, K. Johnson, Nalow and Quade voting 'yes'; Gebhart, D. Johnson and Post absent.

1526 'K' STREET

ACTION:

Cuca moved approval of the smoking shelter structure, subject to final review of the laser cut pattern prior to installation, seconded by Quade and carried 4-0: Cuca, K. Johnson, Nalow and Quade voting 'yes'; Gebhart, D. Johnson and Post absent.

MISCELLANEOUS:

- **2022 ANNUAL REPORT**

Christopher noted there is an updated annual report. The one in the agenda is similar to the draft that was presented in November 2022. Updates for November and December 2022 were added.

Johnson stated the report was well done and he appreciates the good work. The other Commissioners agreed.

ACTION:

Nalow moved approval of the 2022 Annual Report, seconded by Cuca and carried 4-0: Cuca, K. Johnson, Nalow and Quade voting 'yes'; Gebhart, D. Johnson and Post absent.

There being no further business, the meeting was adjourned at 9:00 a.m.

<https://linclanc.sharepoint.com/sites/PlanningDept-Boards/Shared Documents/Boards/NCEC/Minutes/2023/012723.docx>

NEBRASKA CAPITOL ENVIRONS COMMISSION STAFF REPORT

APPLICATION NUMBER	Urban Design Record #23016
APPLICATION TYPE	Certificate of Appropriateness
ADDRESS/LOCATION	1526 K Street
HEARING DATE	February 24, 2023
ADDITIONAL MEETINGS	N/A
APPLICANT	Michelle Potts, State Building Division, michelle.potts@nebraska.gov
STAFF CONTACT	Collin Christopher, 402-441-6370, cchristopher@lincoln.ne.gov

RECOMMENDATION: APPROVAL

Summary of Request

The State Building Division (SBD) of the Department of Administrative Services (DAS) is proposing a series of renovations for the State-owned site at 1526 K Street. More specifically, the applicant has provided the following summary of work to be completed:

Roof Screen Wall - Reroof and replace the mechanical screen wall material. The color and character of the screening design is intended to maintain the design intent of the existing conditions in height, spacing, and color.

South Side – New ADA ramp, steps, railings, and landings at main entrance to the building. There is a need to provide a longer ramp than exists today to meet required rise/slope tolerances for ADA. This will involve demolishing the existing steps, walls, and landings, pushing the new steps closer to K Street and providing new stem walls at either end of the steps. The design intent for the new stem walls is to remove the existing granite clad walls, which are only found on this façade, and at one location on the east, and come back with colored concrete walls with reveals that align with the overall character of existing concrete walls found on the other primary facades of the building (east/north/west). This intent is two-fold: to align the facades in a consistent design language, and to control costs. The improvements to this entrance approach will also remove the existing fragmented slate entrance landing, which currently creates an uneven and non-ADA-compliant walking surface, with a new concrete landing and steps. The new railings will maintain the overall intent of the existing design while meeting current standards.

East Side – Replace the existing walk and steps with new concrete walk and steps to improve accessibility and egress safety. Repair damaged limestone and concrete on exterior plaza wall. Replace existing non-ADA compliant concrete aggregate plaza surface with flat concrete surface. Replace existing plaza guardrail. Clean existing stone and concrete plaza walls.

North Side – Replace the existing three damaged concrete egress stairs with new steel stairs and railings to improve accessibility and egress safety. Two of these stairs are internal to area wells, the third, central stair currently blocks functional access to the main north entrance. The intent is to provide a new stair north of the existing wall that has perforated metal screening to provide central plaza access from the north parking lot. Repair damaged limestone and concrete on exterior plaza wall. Replace existing non-ADA compliant concrete aggregate plaza surface with flat concrete surface. Replace existing plaza guardrail. Clean existing stone and concrete plaza walls.

<https://linclanc.sharepoint.com/sites/PlanningDept-Boards/Shared Documents/Boards/NCEC/REPORTS/2023/02-February/1526 K Street renovations staff report.docx>

West Side – Replace the existing walk, steps, and egress ramp with new concrete walk, steps, and ramp to improve accessibility and egress safety. Repair damaged limestone and concrete on exterior plaza wall. Replace existing non-ADA compliant concrete aggregate plaza surface with flat concrete surface. Replace existing plaza guardrail. Clean existing stone and concrete plaza walls.

Egress Lighting – New required egress lighting will be provided on all sides of the building to illuminate the path of egress. At locations where the path extends beyond the building, light bollards will be provided.

Compatibility with the Design Standards

For a renovation project of this nature that largely aims to preserve the original design intent while making necessary improvements, the focus should be on the following:

- Where reasonable, complete repair and replacement work that aligns with the original design as it relates to materials, finishes and forms.
- Where deviation from the original design is necessary, appropriately consider how the improvements will fit within the larger context of the Capitol Environs. In this case, special consideration should be given to both Capitol Square and Centennial Mall.
- In all cases, select high-quality, durable material that will stand the test of time.

What follows are some of the more relevant standards and guidelines for reference:

Design Standard 18: General Landscape of All Malls

The landscape of the Capitol Malls should enhance the Capitol setting and vistas:

- by providing canopy and definition at the mall edge, but leaving the centers of the malls more open, allowing on-axis views of the Capitol,
- by creating a sense of organization and unity through form, color, texture, and spacing that may be lacking in the adjacent architecture,
- by establishing a rhythm of visual and physical movement leading ultimately to the Capitol,
- by providing seasonal change and interest.

There is a delicate balance between a landscape that enhances and one that overwhelms—color and form changes should be in large sweeps and masses to avoid creating small, distracting focal points. The landscape should be bolder and more colorful closest to the Capitol.

Facing Capitol Square and the Malls, front yards shall not contain mechanical equipment, above-ground utilities, docks, or unscreened ramps. Architectural or planted screenings may be offered, with maintenance requirements.

Active use of the Malls should be encouraged by the selection and placement of landscape elements such as seating.

Guideline 18.5:

Use high quality pavement that is durable, neutral or natural color, able to be matched or replaced locally or regionally; nonslip but not too rough for high heels; textured or patterned subtly. Asphalt or asphalt pavers are not acceptable. Design paved areas to allow replacement or repair to occur in sections that maintain the established pavement pattern.

Guideline 18.6:

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Retaining walls, seating walls, planters, and other vertical landscape features should be constructed of durable materials, preferably masonry; neutral or natural colors; horizontal lines; no exposed form lines or form-tie holes.

Design Standard 22: Centennial Mall Landscape

Centennial Mall is the District's most formal landscaped mall, providing a varied, safe, and attractive pedestrian environment, with opportunities for interaction and enjoyment, within a design framework that offers continuous views of the most prominent facade of the Capitol. The redesign and rebuilding, rededicated as "Nebraska's Centennial Mall" in 2016, establishes:

- strong, well-defined edges;
- continuous, accessible walkways lined with pedestrian-scale lighting;
- open center accented with plazas and water features.

This overall design should be maintained and any proposed changes should be evaluated against whether they enhance this design.

Guideline 22.5:

Privately-installed furniture adjacent to the Mall should be reviewed by the Commission for overall compatibility, durability, and high quality.

Design Standard 28: Lighting

The original historic lighting on Capitol Square shall be preserved and replicated if necessary by duplicate fixtures and poles. Other lighting on the Malls should be designed to enhance visual continuity, pedestrian security, and vehicular safety. On all the Malls, a single system of uniform street lights should provide both vehicular and pedestrian lighting, rather than separate systems. It is desirable that the lights along the Malls be visually consistent with the original Capitol Square lights, although replicating those lights for all the Malls is not a goal of the Commission. Lights should be spaced at each intersection and midblock, so the poles will establish a uniform rhythm. Street lights and street trees should be carefully selected and placed to minimize conflicts between lighting and trees. All wiring shall be underground.

Special lighting may be allowed for unique mall features, either to enhance their significance as focal points or for safety reasons. Use light sources that illuminate without spotlighting.

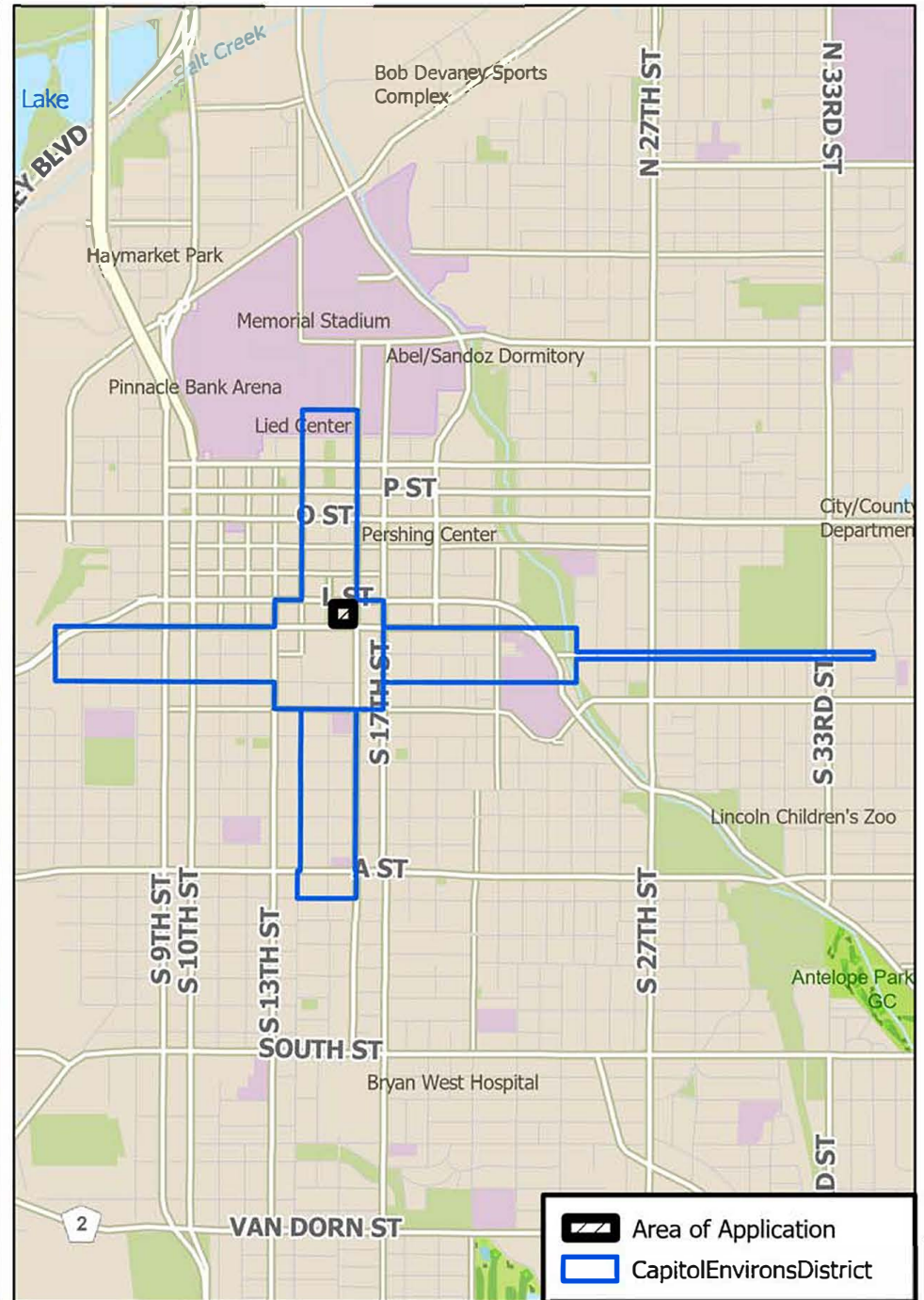
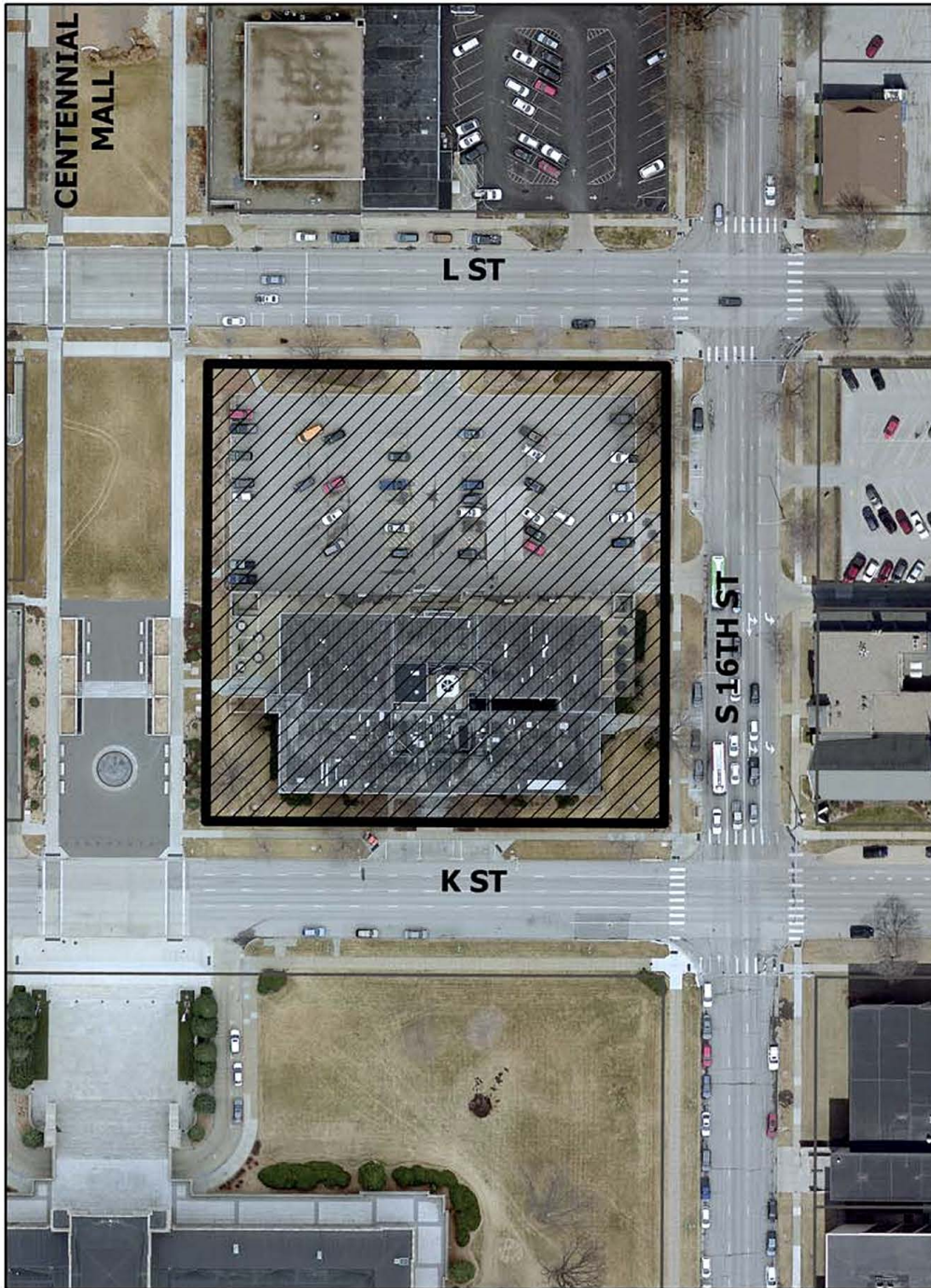
Recommendations

While the proposed work does include some changes in materials and finishes, there appears to be a good faith effort to use high-quality, durable materials that fit within the context of their surroundings. Further, the improvements should serve to make the 1526 K Street site safer and more accessible to employees and visitors alike.

Recommended finding: The proposed renovation work generally complies with the Capitol Environs Design Standards.

Recommended action: Approval of a Certificate of Appropriateness for the proposed renovation work at 1526 K Street.

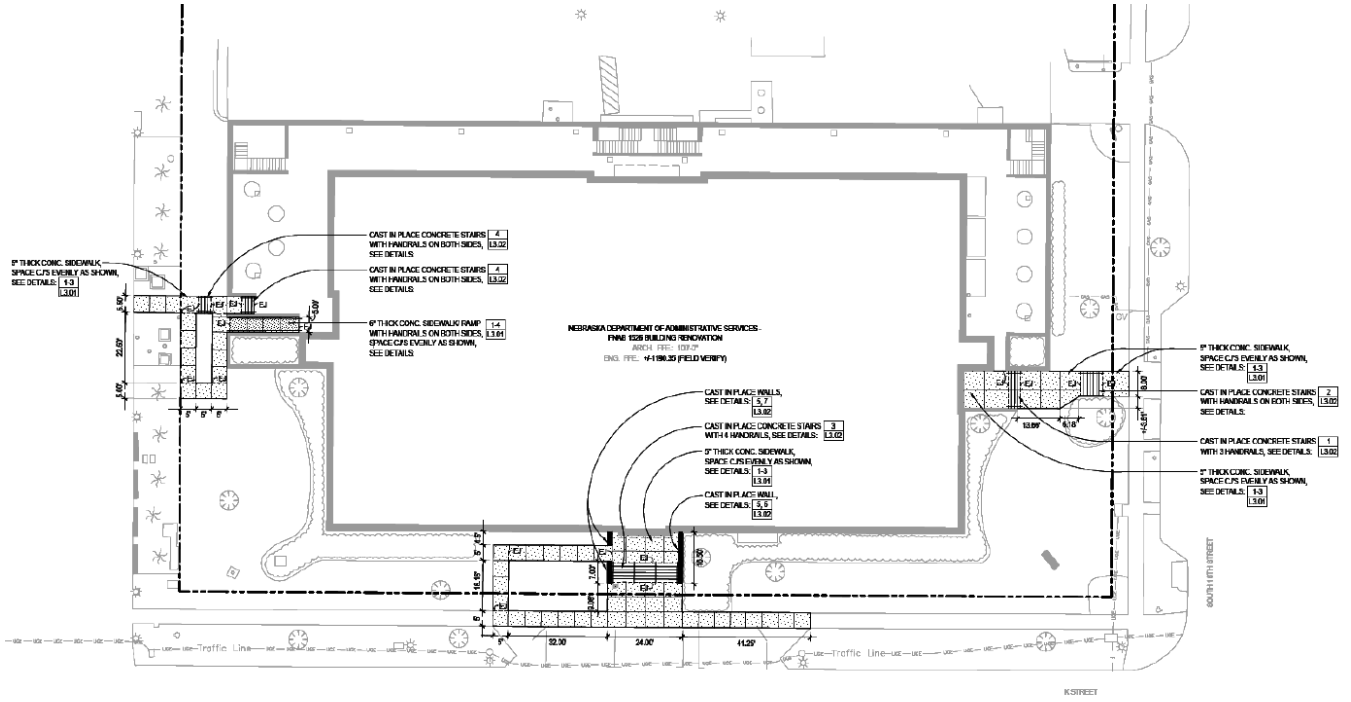
ATTACHMENT A - Location Map



 Area of Application
 Capitol Environs District



ATTACHMENT B – Site Plan



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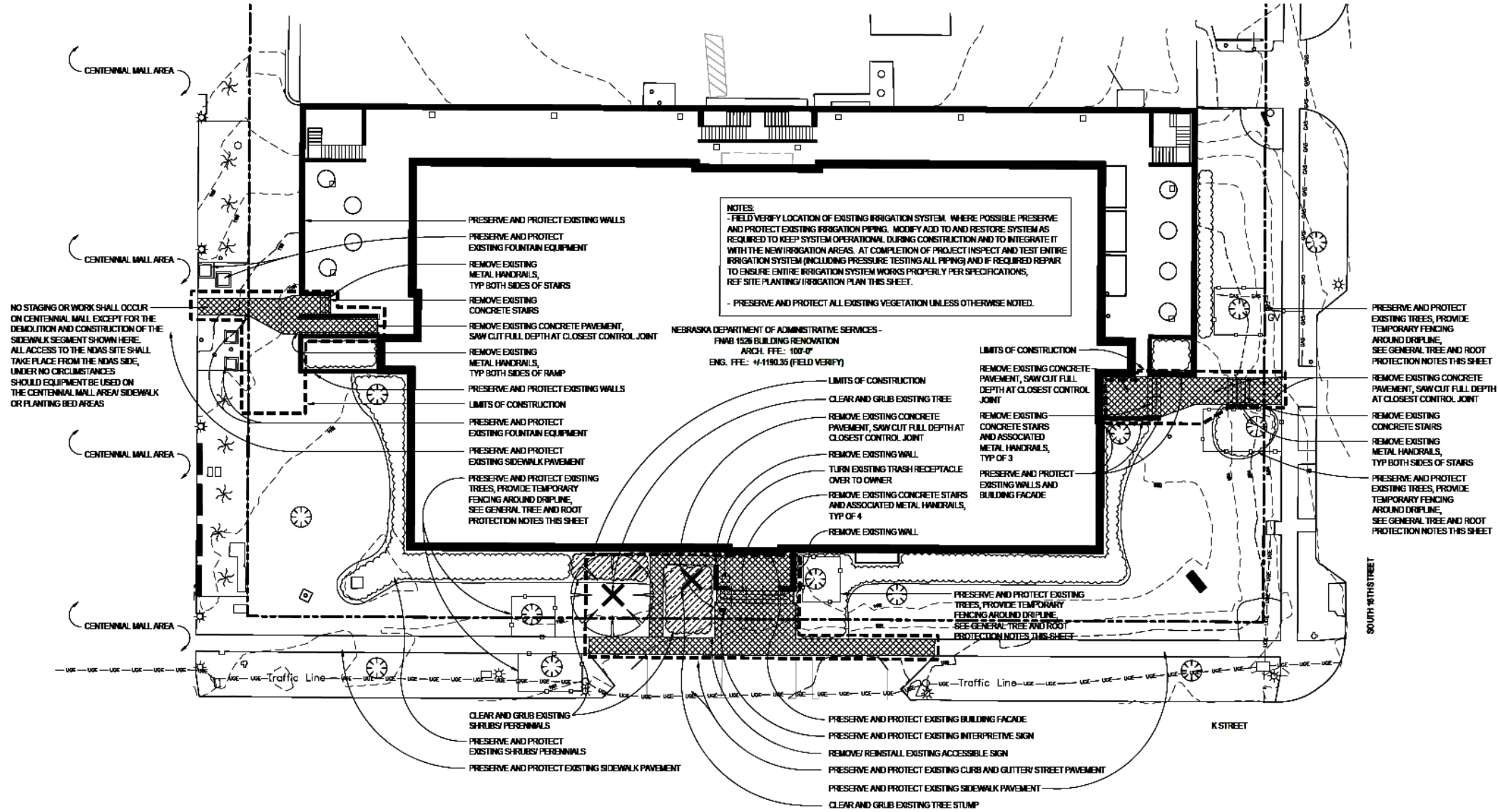
NDAS FNAB 1526 Exterior Renovations
Capitol Environs Review

February 24th, 2023

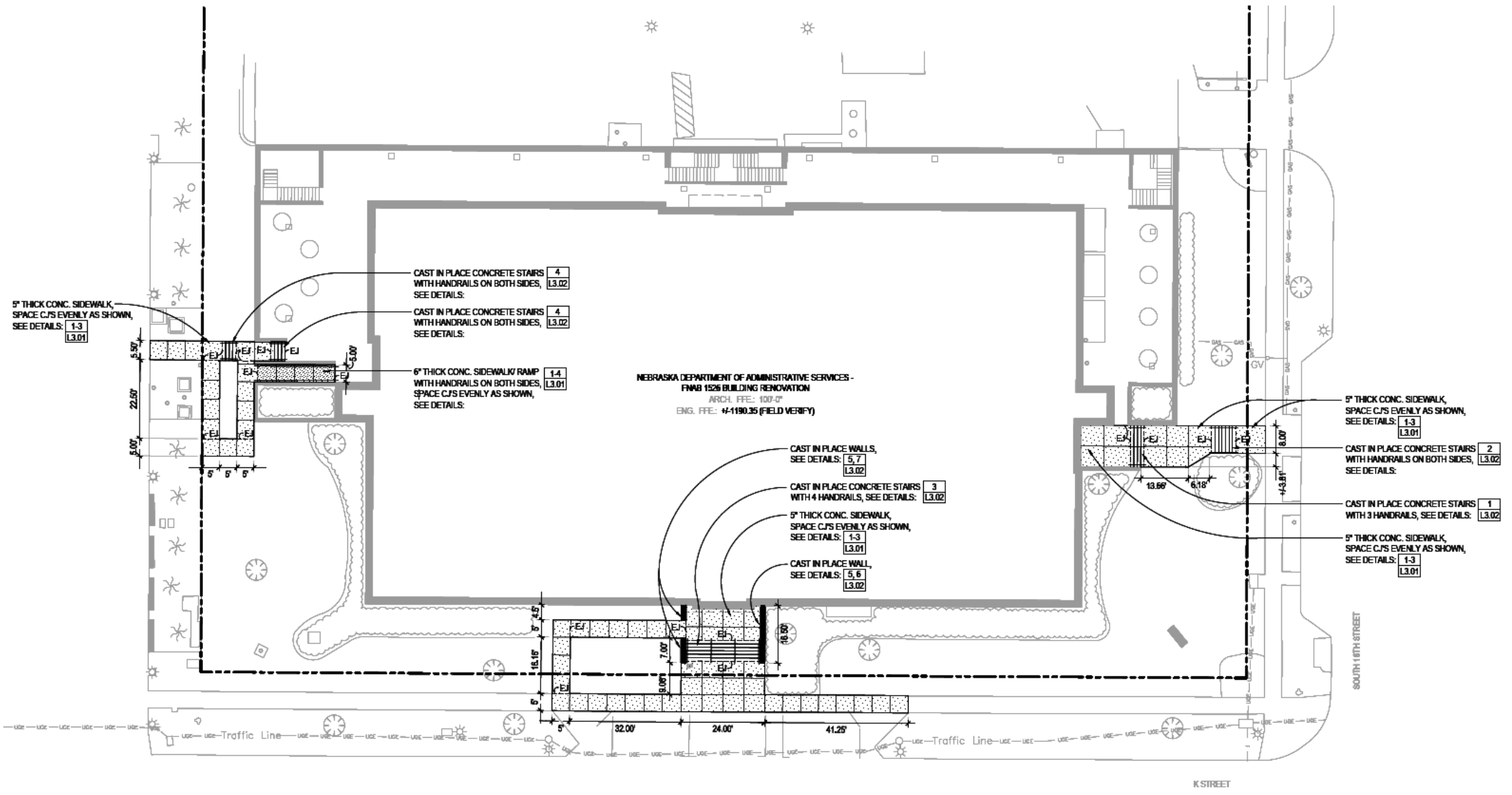
Aerial Site Plan/Location Plan



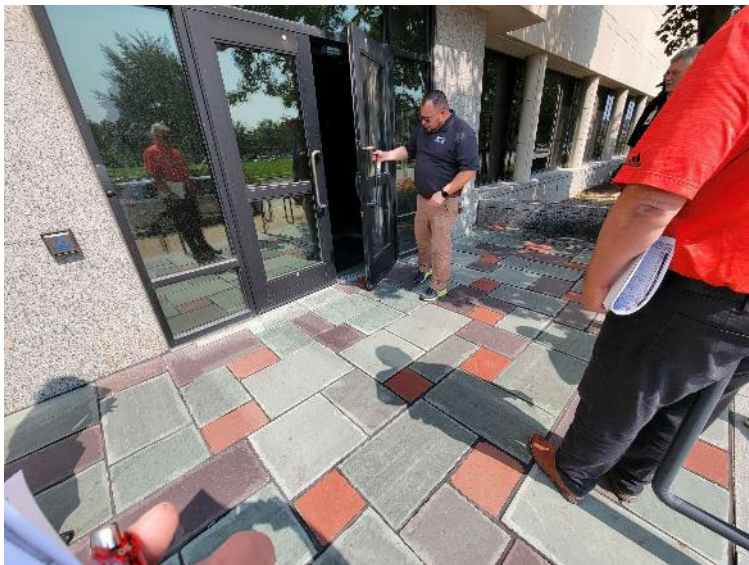
Site Plan – Site Demo



Site Plan – New Site Construction



South Stair/Entrance Existing Conditions



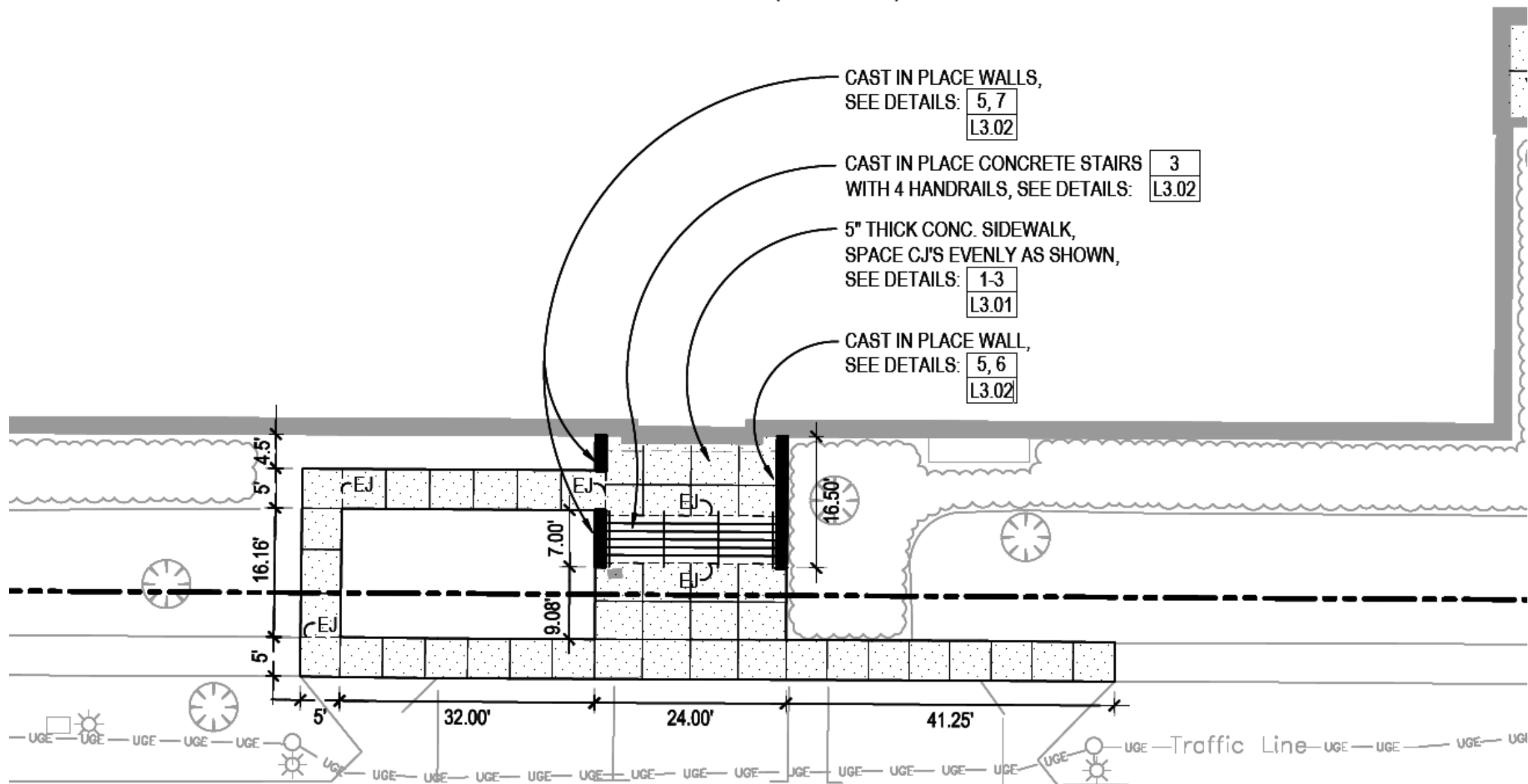
Uneven steps and walking surface, damaged stone at wall/landing/steps, no structural stoop at entrance, non-ADA-compliant joints/gaps

South Stair/Entrance Existing Conditions



Non-ADA-compliant ramp slope/length, insufficient egress lighting

Site – Proposed South Entry Improvements – New Stair, Landing, Ramp, Walls



Site – Proposed South Entry CIP Walls – Site/Environs Precedent

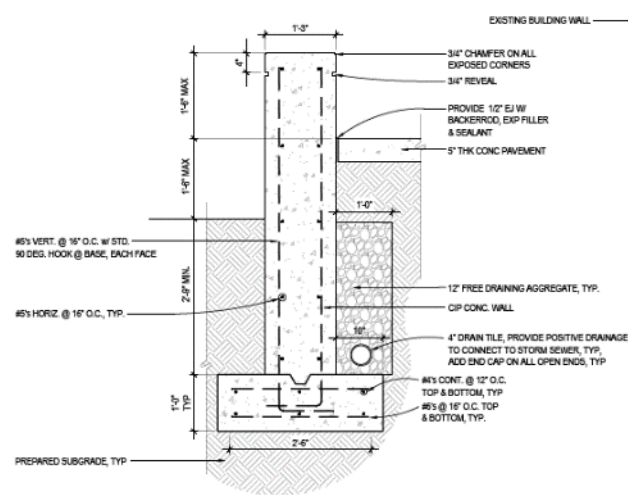
Existing cast-in-place concrete walls with reveals along Centennial Mall adjacent to project



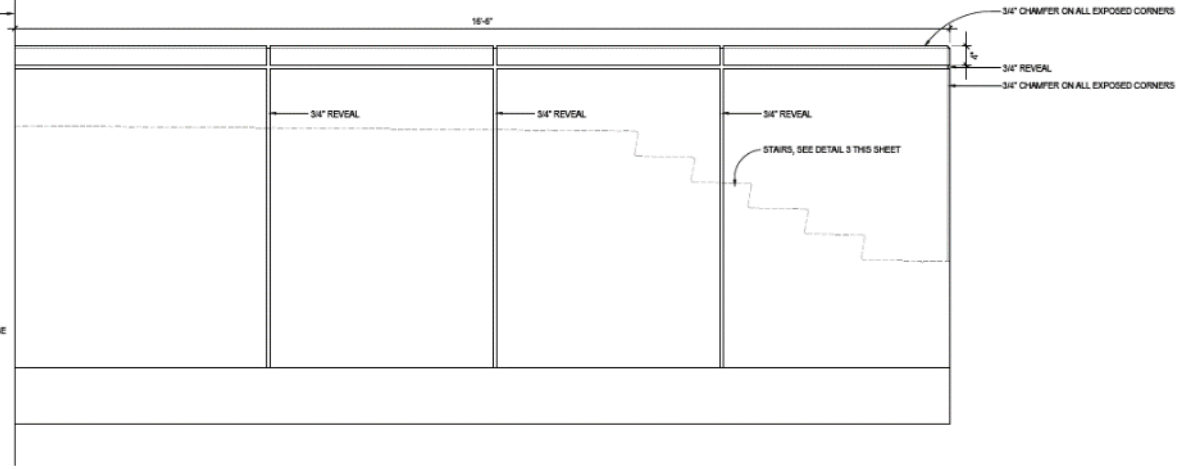
Existing cast-in-place concrete walls with reveals on project



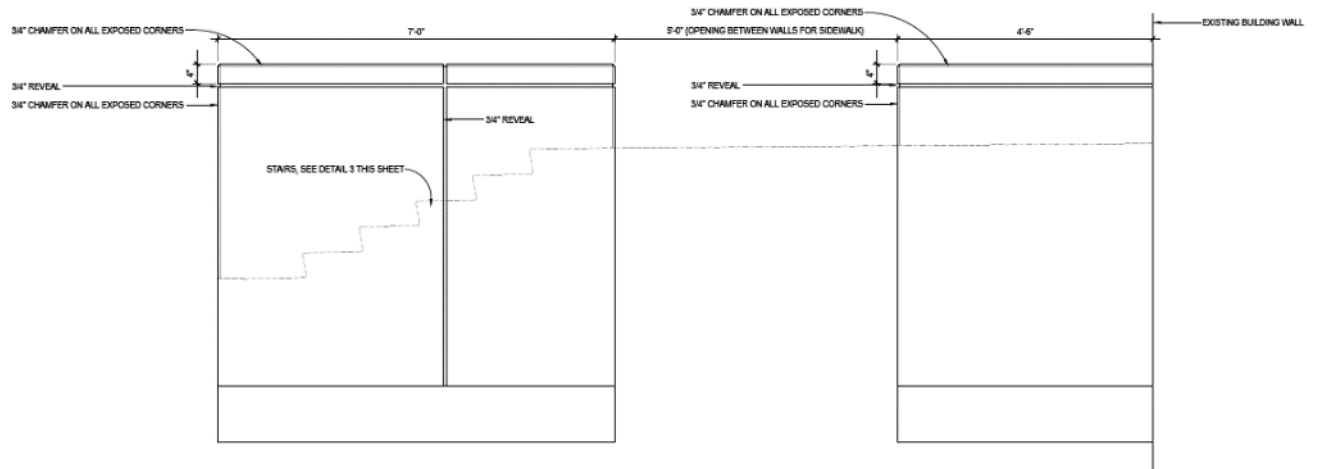
Site – Proposed South Entry CIP Walls – Buff colored concrete to match existing walls



5 CIP CONC WALL
SCALE: 3/8"=1'-0"

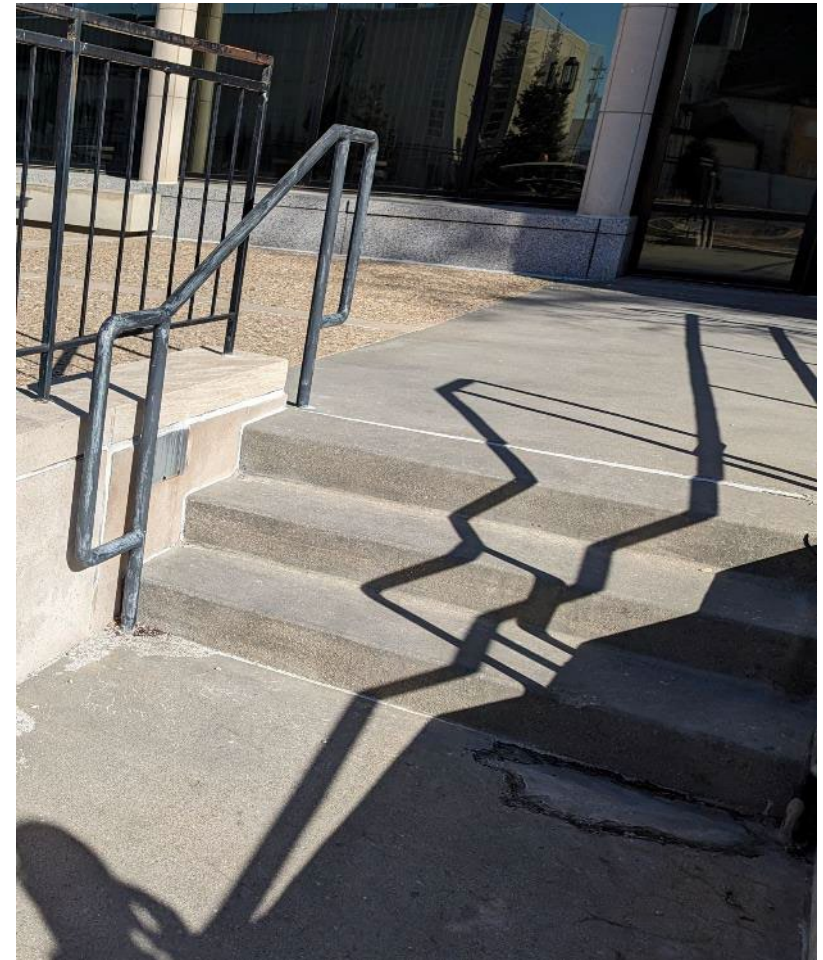
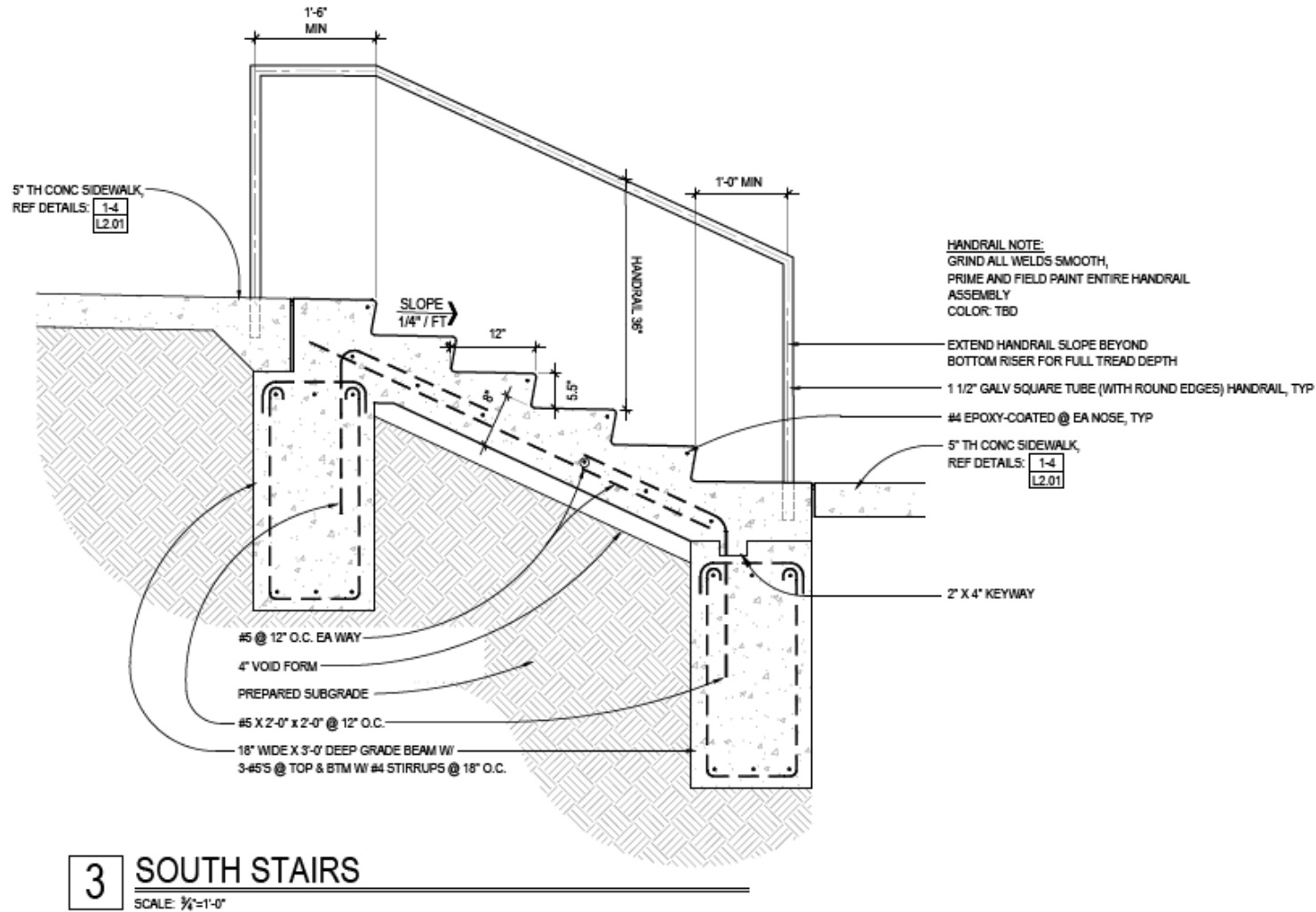


6 SOUTH WALL ELEVATION
SCALE: 3/8"=1'-0"



7 NORTH WALL ELEVATION
SCALE: 3/8"=1'-0"

Site – Proposed South Entry CIP Stairs



Existing precedent for cast-in-place concrete stairs on project – west/centennial mall facing

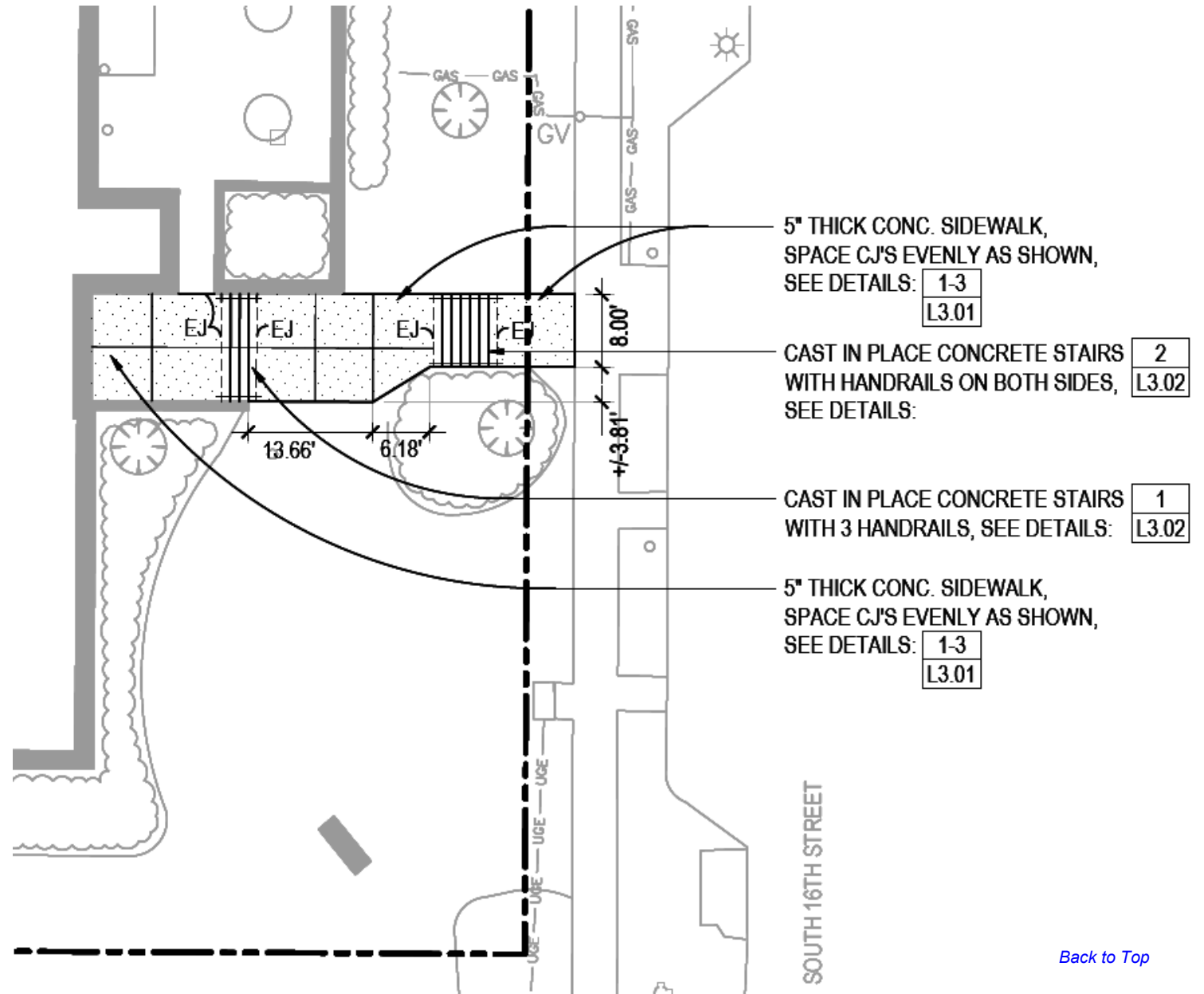
Site – East Entry – Existing Conditions



Damaged Granite Walkway & Non-ADA-Compliant Aggregate Surface

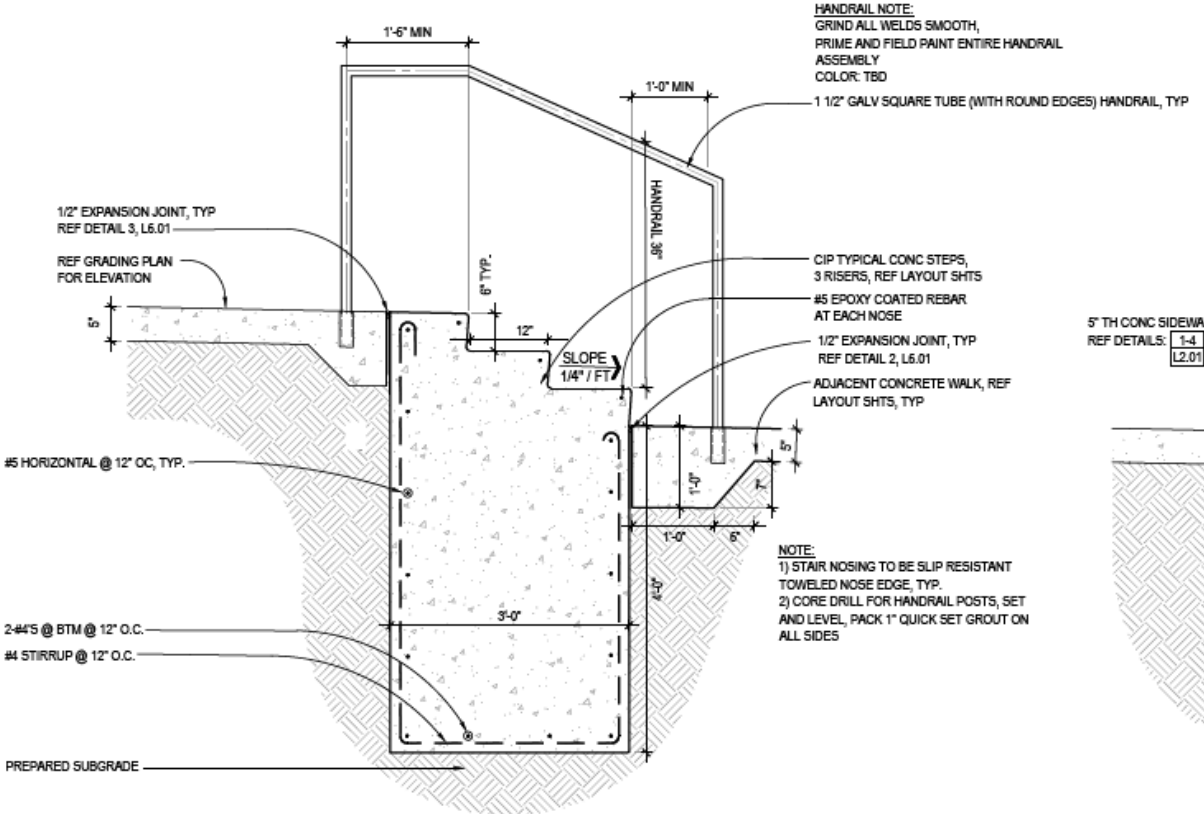


Site – Proposed East Entry CIP Stairs/Walk Improvements

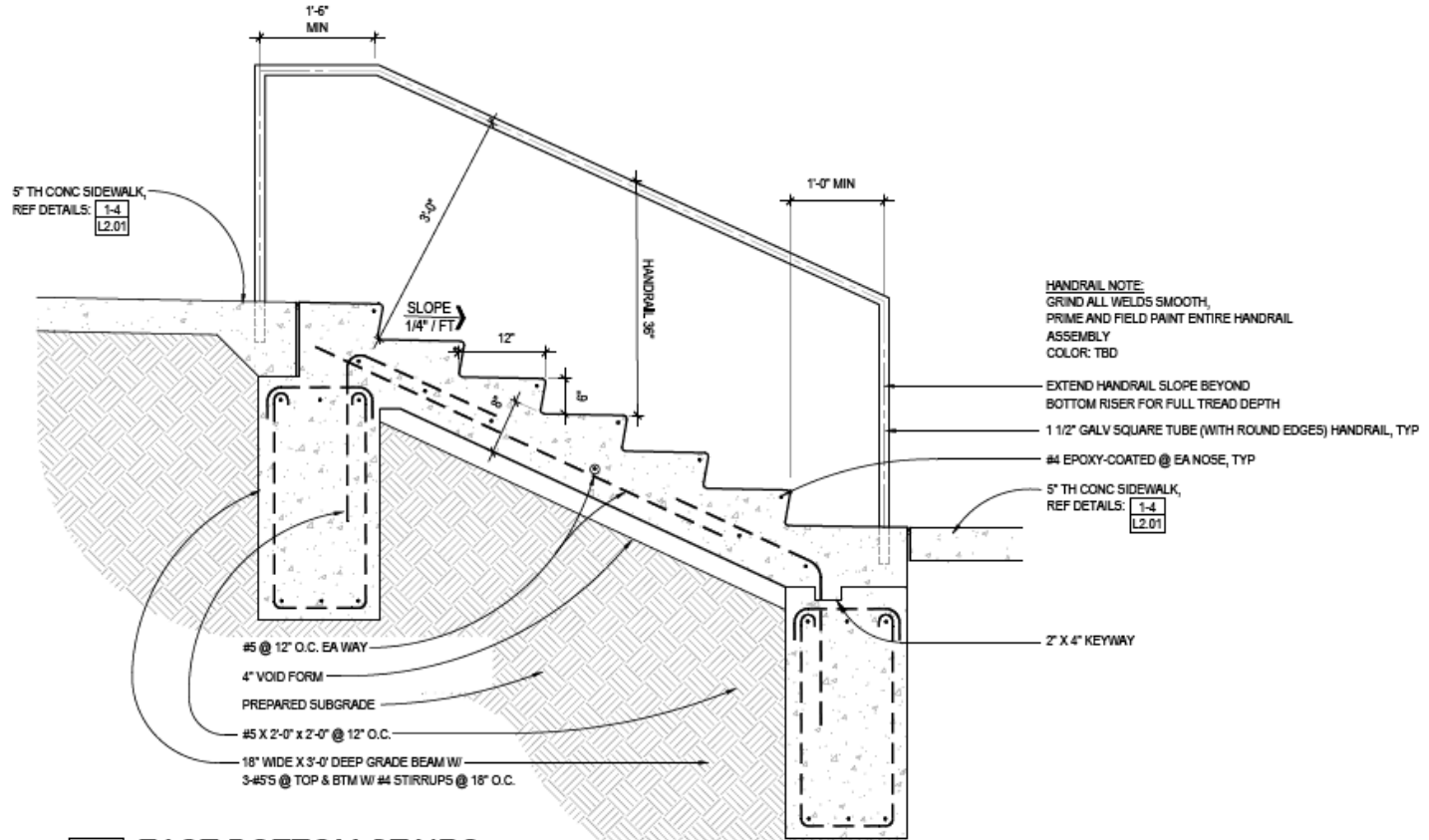


SOUTH 16TH STREET

Site – Proposed East Entry CIP Stairs/Walk Improvements

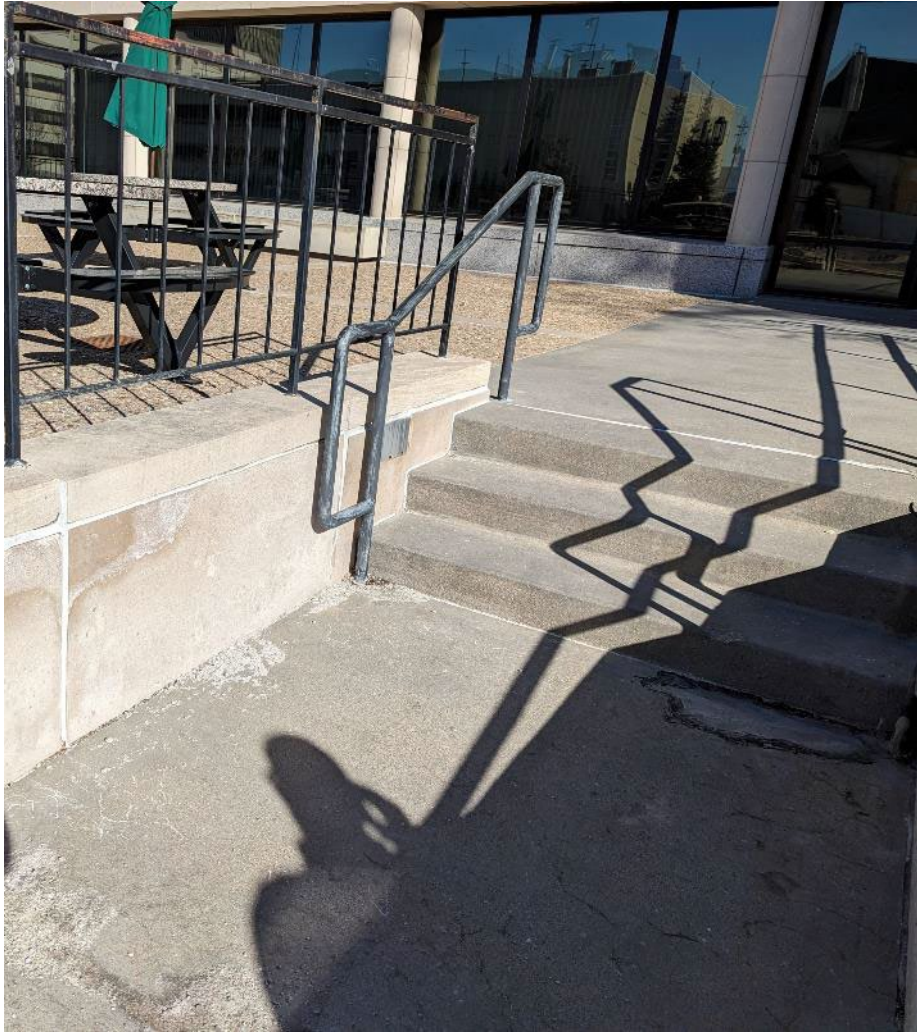


1 EAST TOP STAIRS
SCALE: 3/8"=1'-0"



2 EAST BOTTOM STAIRS
SCALE: 3/8"=1'-0"

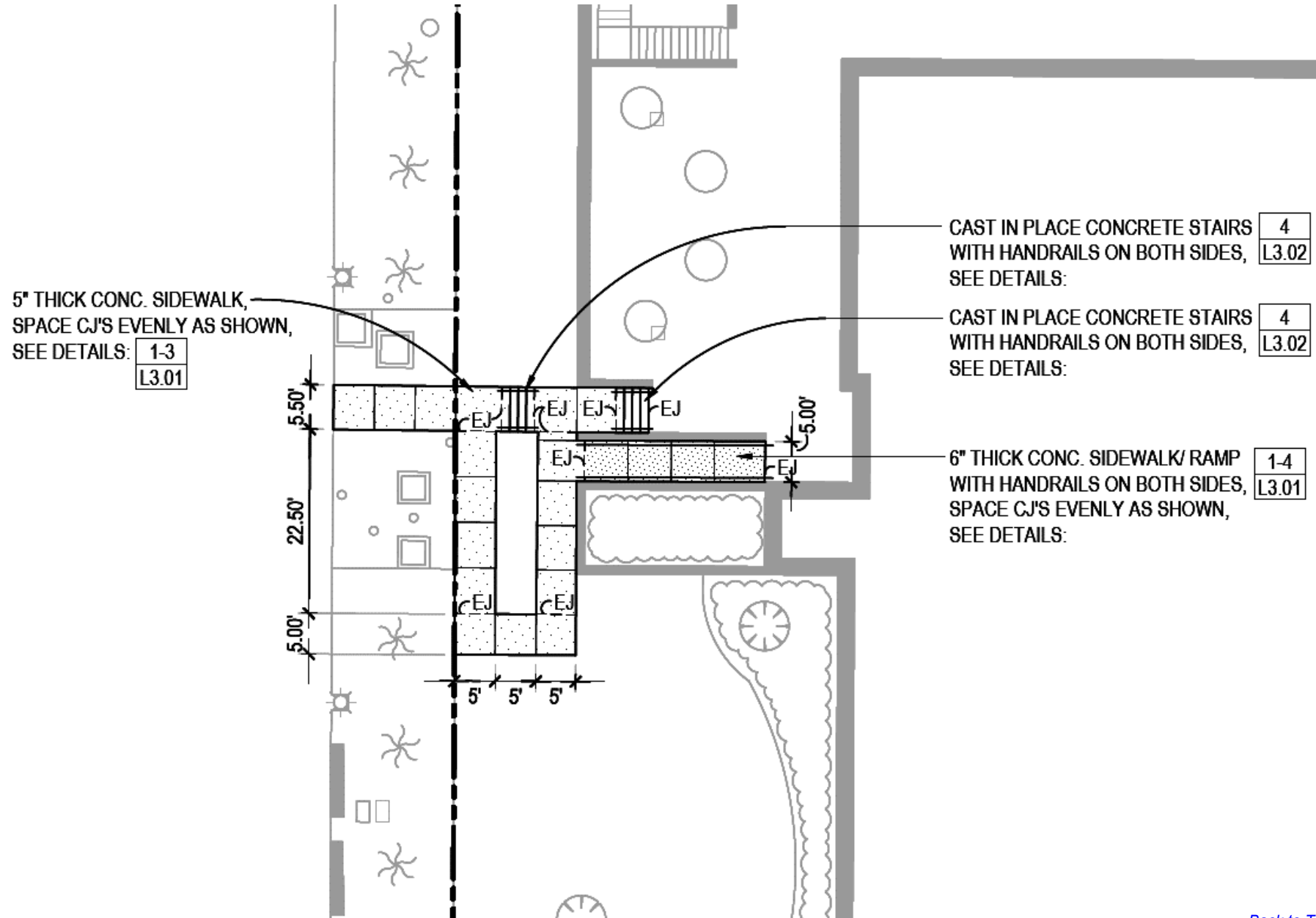
Site – West Entry – Existing Conditions



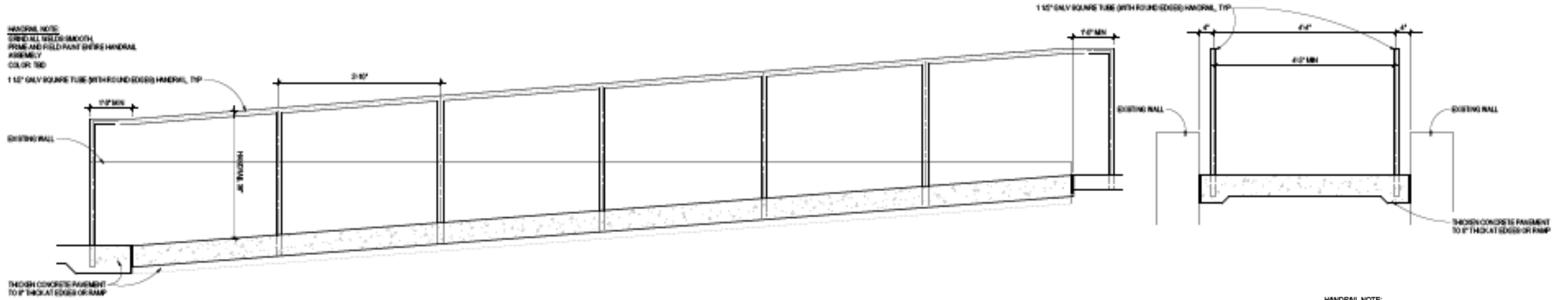
Damaged Concrete Walkway and Walls

Damaged Limestone Wall and Non-ADA-Compliant Ramp

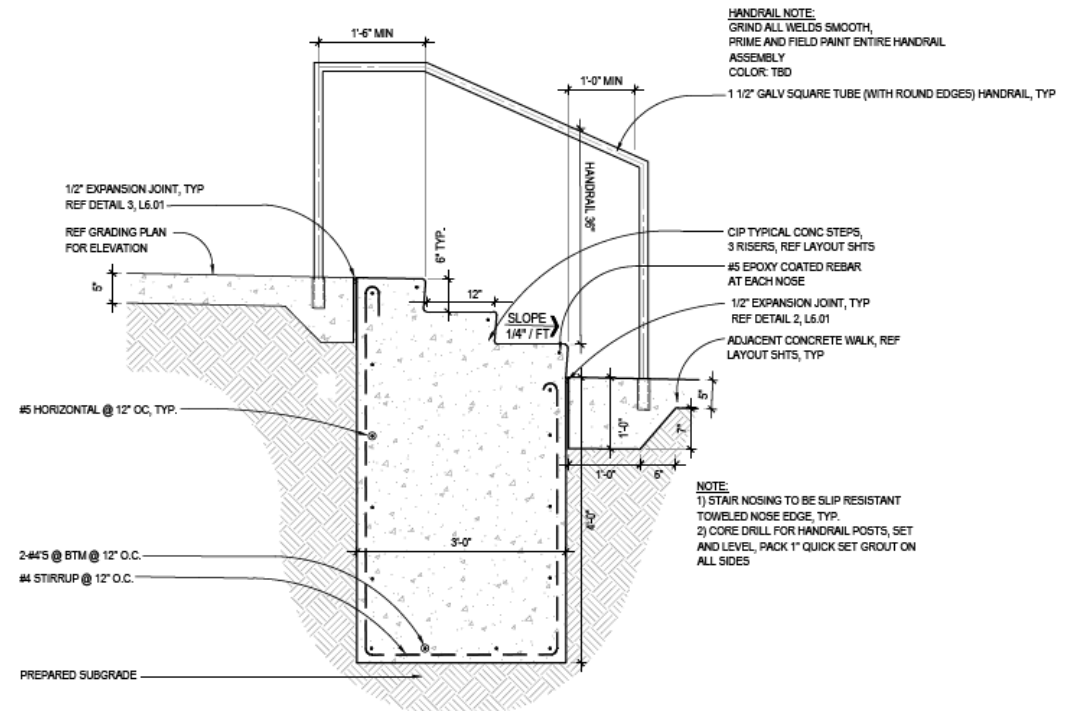
Site – Proposed West Entry CIP Stairs/Walk



Site – Proposed West Entry CIP Stairs/Walk



4 WEST RAMP
SCALE: 1/2"=1'-0"



4 WEST TOP AND BOTTOM STAIRS
SCALE: 3/4"=1'-0"

North Plaza Improvements – Existing Conditions



Deteriorating non-ADA-compliant plaza surface, non-compliant railing, joints and sealant

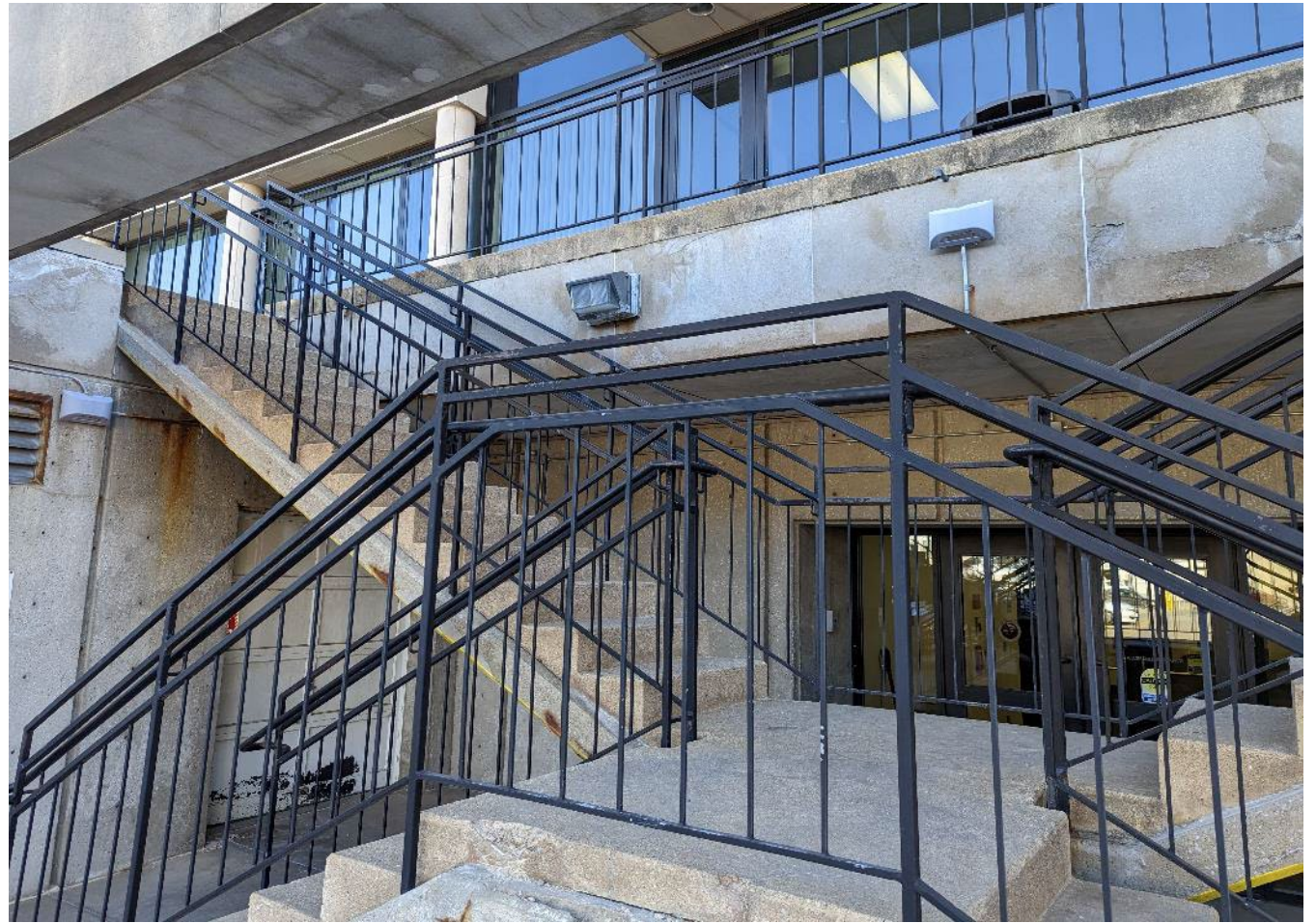


North Plaza Improvements – Existing Conditions – North-Central Egress Stair



Existing deteriorating north-central egress stair with spalling concrete, exposed rebar, and moisture damage. Current stair configuration blocks view to main north entrance and limits mobility. Head clearance does not meet ADA.

North Plaza Improvements – Existing Conditions – North-Central Egress Stair



Existing deteriorating north-central egress stair with spalling concrete, exposed rebar, and moisture damage. Current stair configuration blocks view to main north entrance and limits mobility. Head clearance does not meet ADA.

North Plaza Improvements – Existing Conditions – Corner Egress Stairs



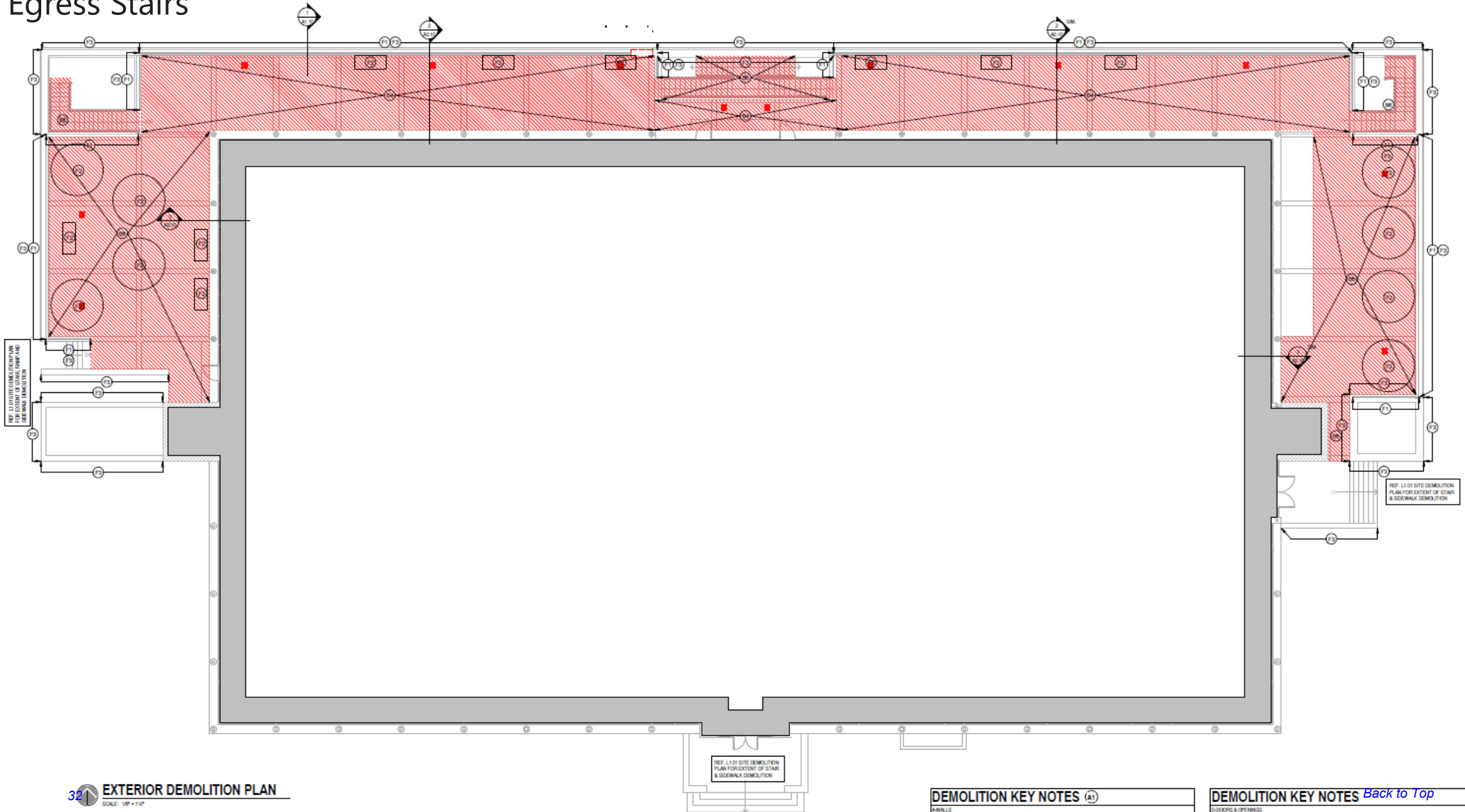
Existing deteriorating east and west egress stairs with spalling concrete, exposed rebar, and moisture damage.

North Plaza Improvements – Existing Conditions – Wall Degredation



Existing deteriorating limestone panels, joints, and sealant. Existing Stone and Concrete requires cleaning, patching, repair, and replacement.

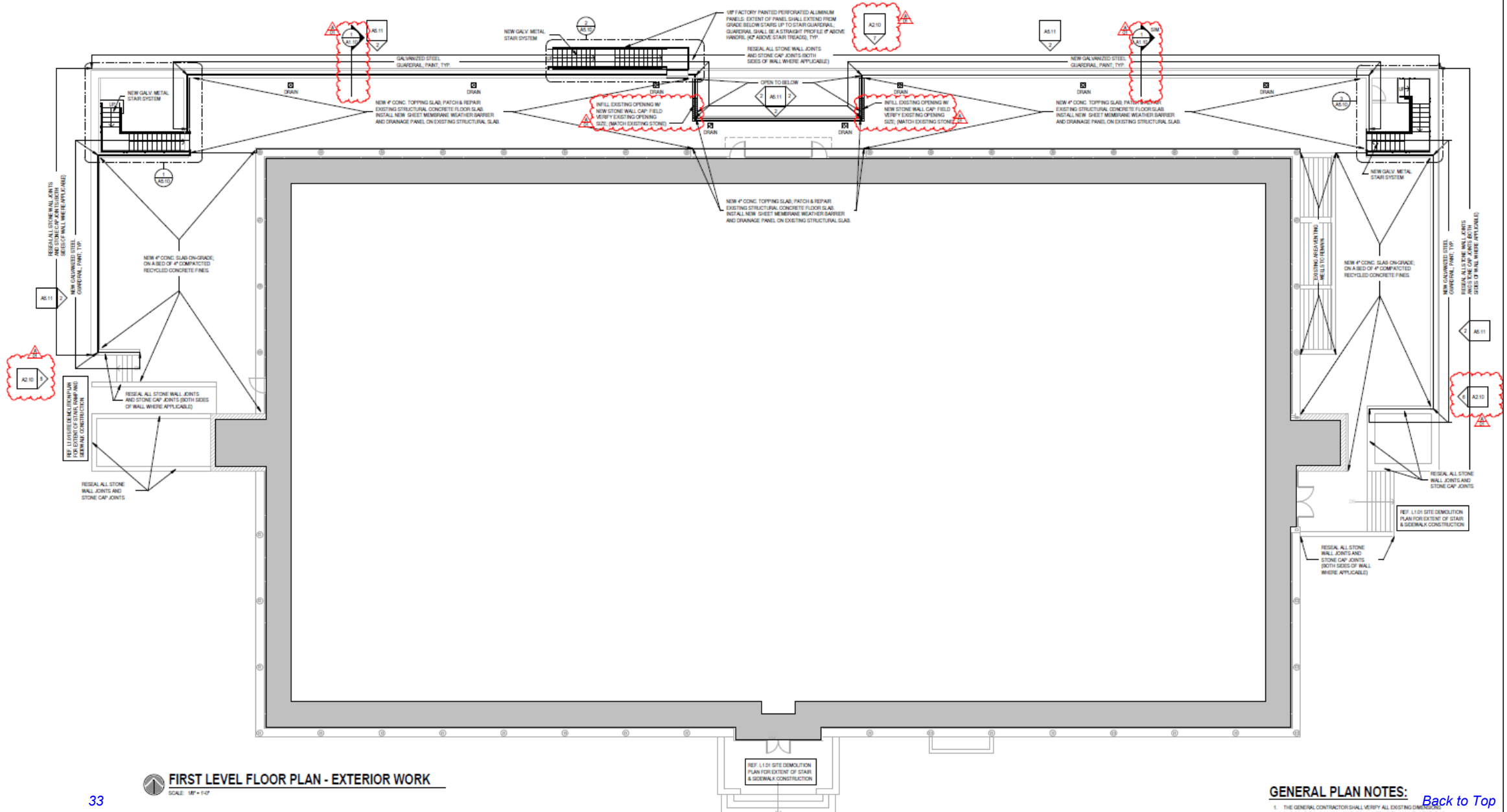
North Plaza Improvements – Proposed Demolition of Existing Plaza Walking Surface, Railing, & Egress Stairs



DEMOLITION KEY NOTES (A1)	
AWALLS	
A1	REMOVE EXISTING GYP. BOARD & STUD FRAMED WALL PARTITION IN ITS ENTIRETY FROM FLOOR TO TOP OF WALL TO THE EXISTING CURB, INCLUDING BUT NOT LIMITED TO GYP. BOARD, TRIM, FRAMING, ETC.

DEMOLITION KEY NOTES Back to Top	
DOORS & OPENINGS	
D1	REMOVE EXISTING DOOR IN ITS ENTIRETY TO THE ROUGH OPENING, INCLUDING BUT NOT LIMITED TO DOOR, CASE, DOOR FRAME, SILL, PLANTING, FRAMING & FINISH HARDWARE AND ALL SURFACE FINISHES AND

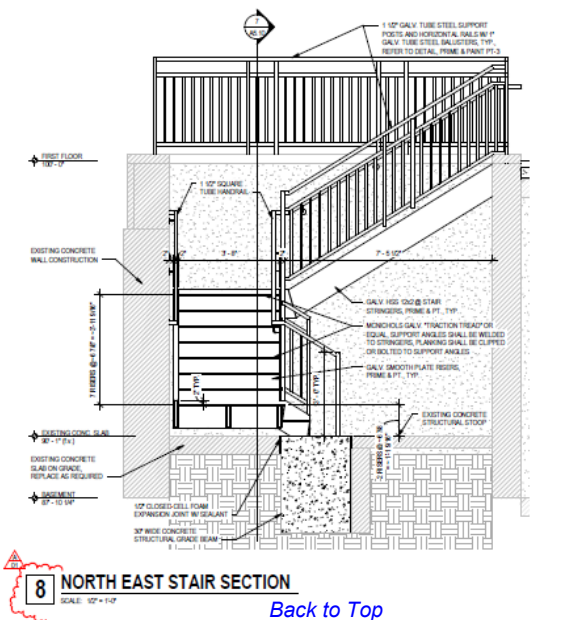
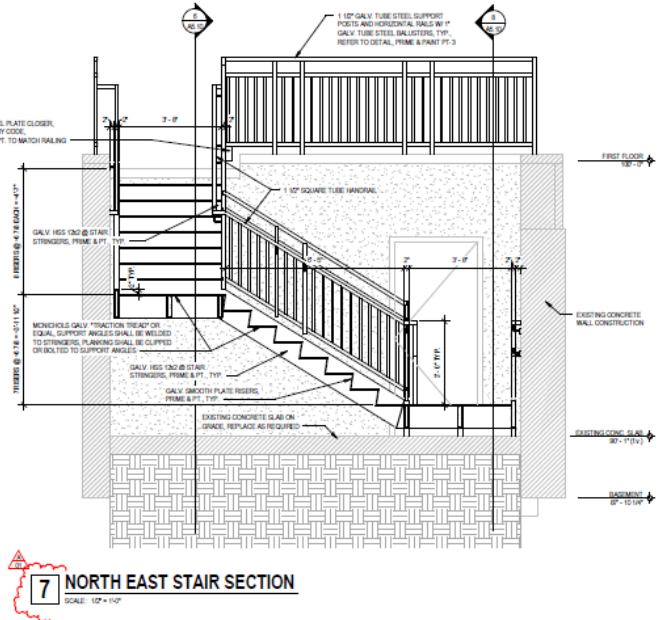
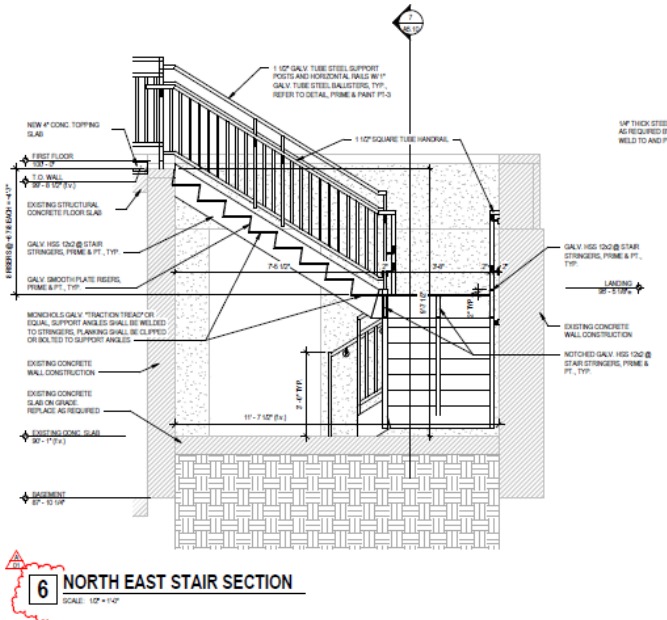
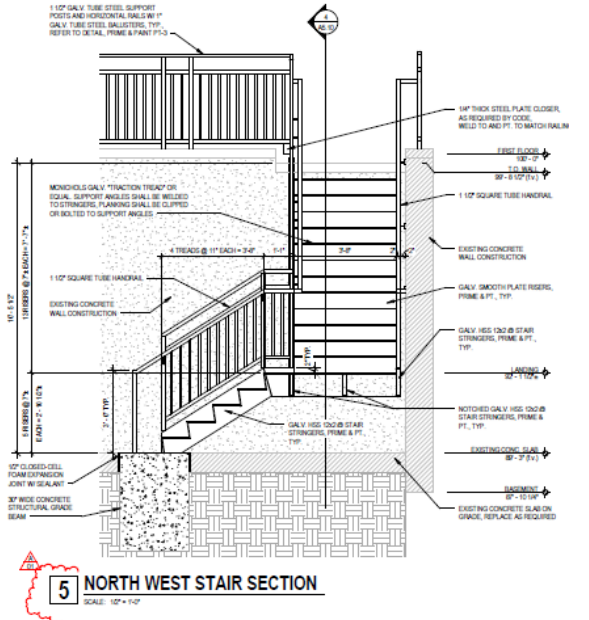
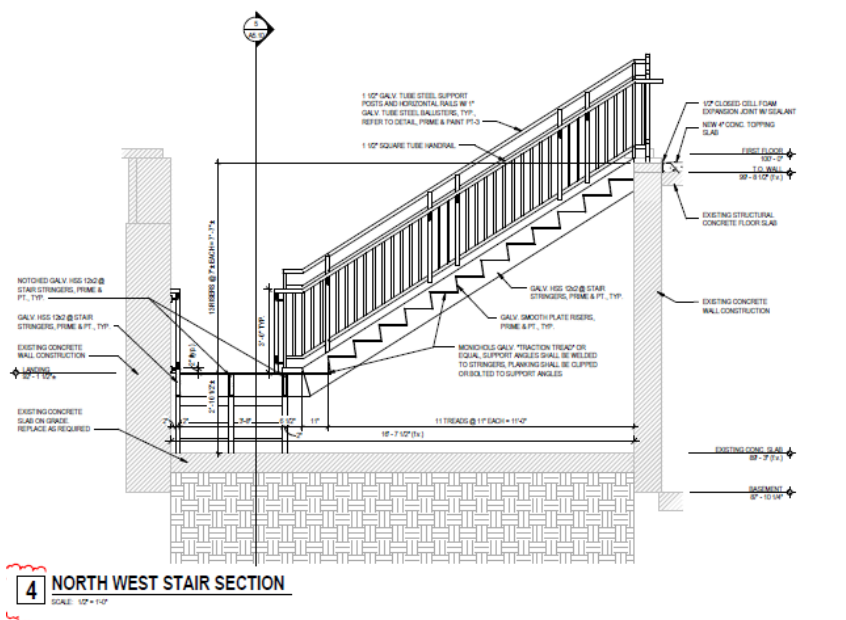
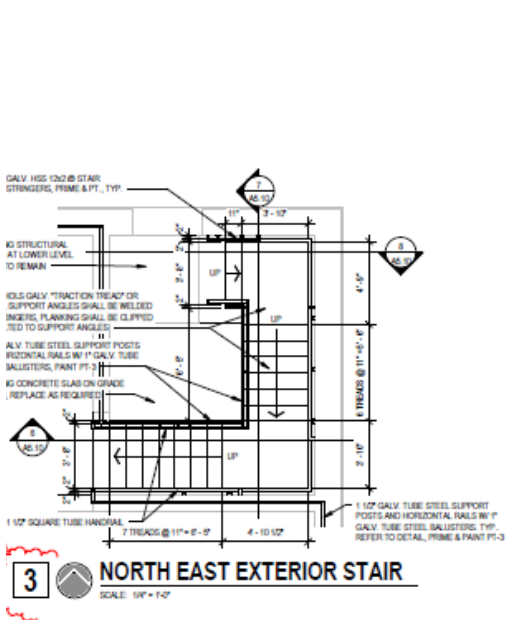
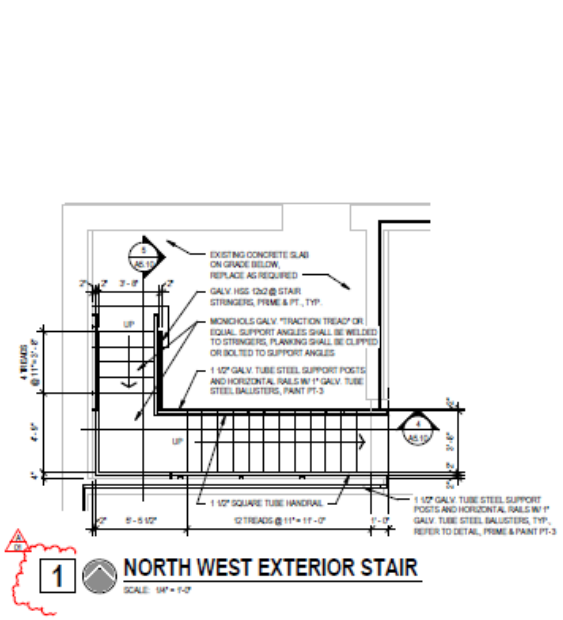
North Plaza Improvements – Proposed Improvements to Plaza Walking Surface, Railing, & Egress Stairs



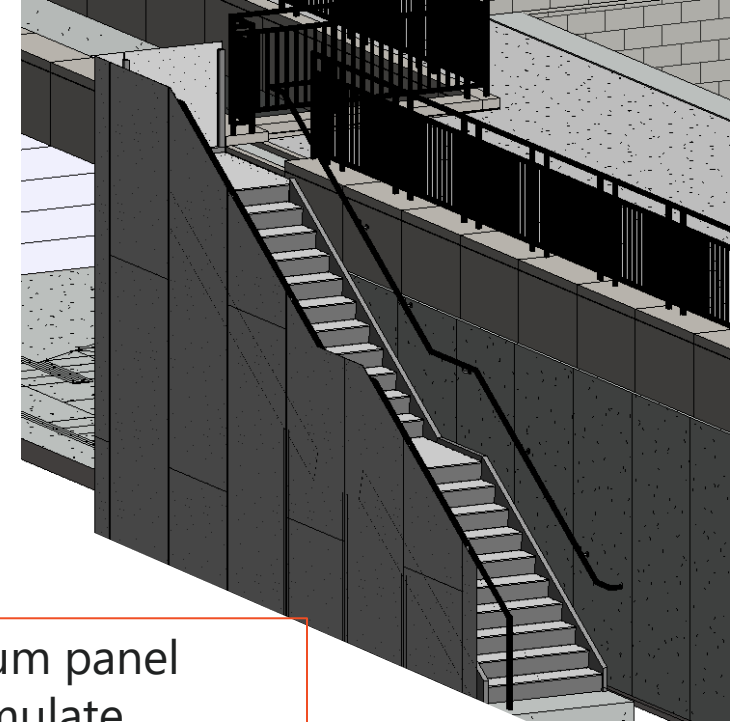
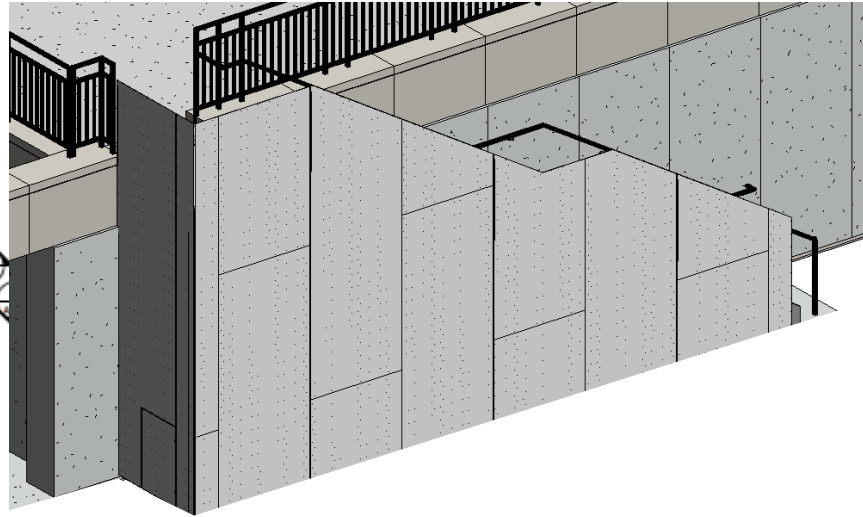
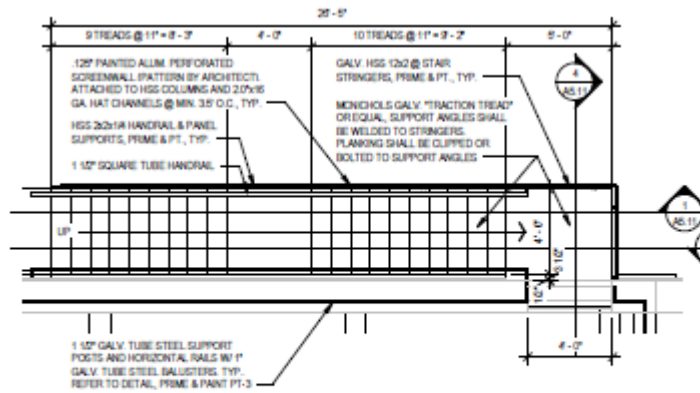
FIRST LEVEL FLOOR PLAN - EXTERIOR WORK
SCALE: 1/8" = 1'-0"

GENERAL PLAN NOTES: [Back to Top](#)
1. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS SHOWN ON THE PLANS PRIOR TO COMMENCEMENT OF THE WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO

North Plaza Improvements – Proposed East & West Steel Egress Stairs

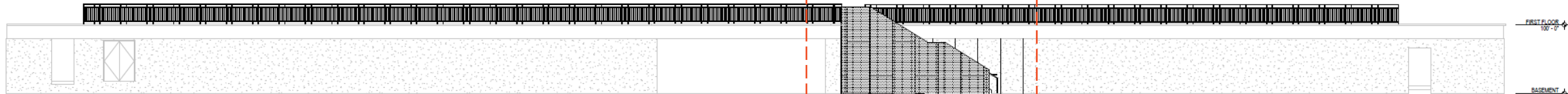


North Plaza Improvements – Proposed Central Steel Egress Stair w/ Perforated Metal Screen Wall/ Guardrail



2 NORTH EXTERIOR STAIR
SCALE: 1/4" = 1'-0"

New North-Central steel egress stair with perforated prefinished aluminum panel screen wall to enclose underside of stair for security. Panel jointing to emulate existing concrete wall joint spacing. Aluminum Panels Prefinished in Kynar dark bronze coating to match new railing and existing building frames and hardware color.

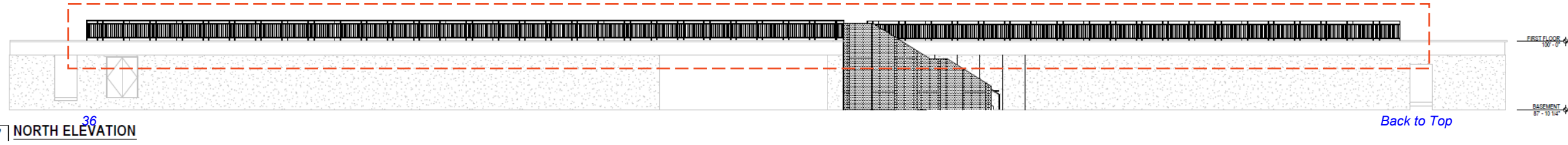
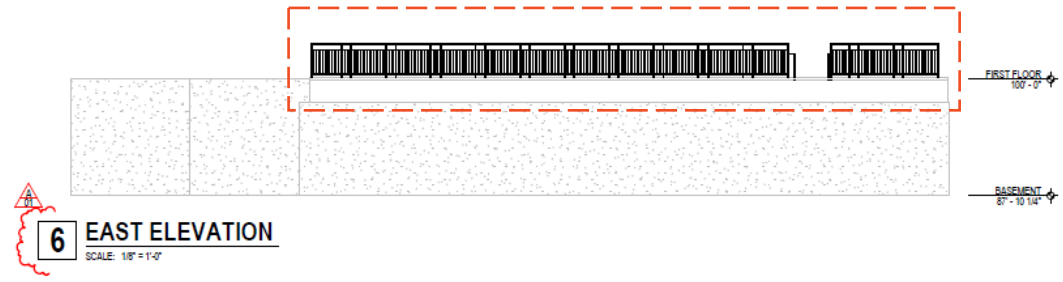
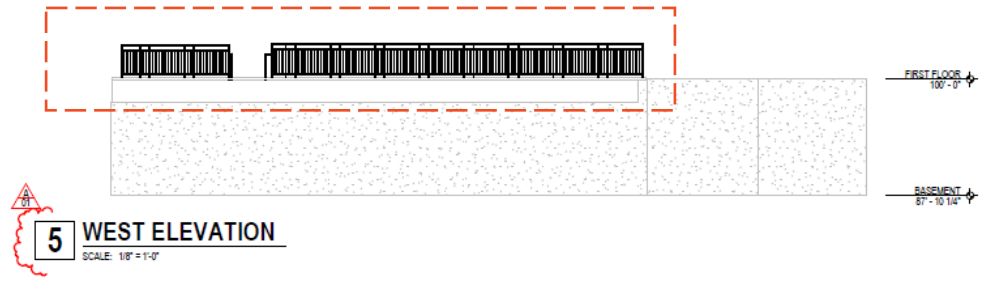
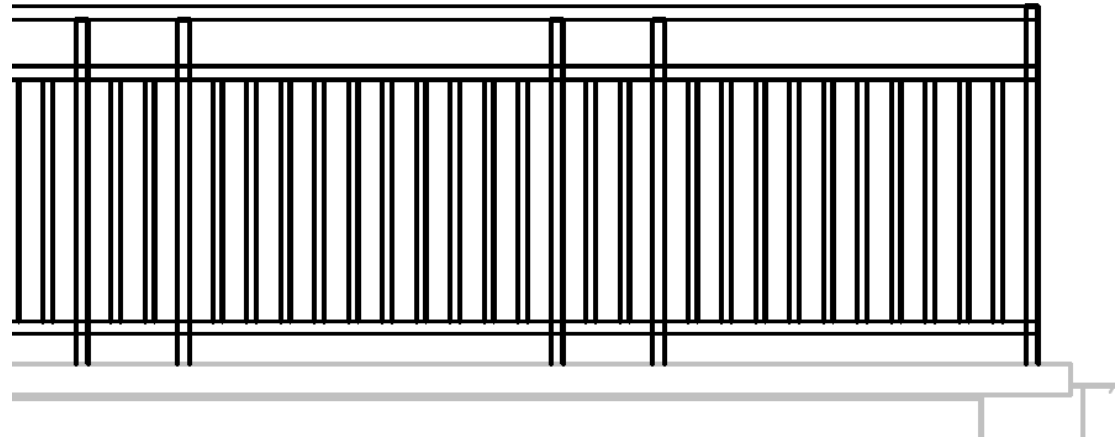


7 NORTH ELEVATION

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North Plaza Improvements – Proposed Guardrail Improvements

Proposed replacement handrails/guardrails will match the character and design intent of the original while meeting current ADA and structural codes/requirements. The railings are intended to be finished in a dark bronze color to match existing glazing frames and building elements.



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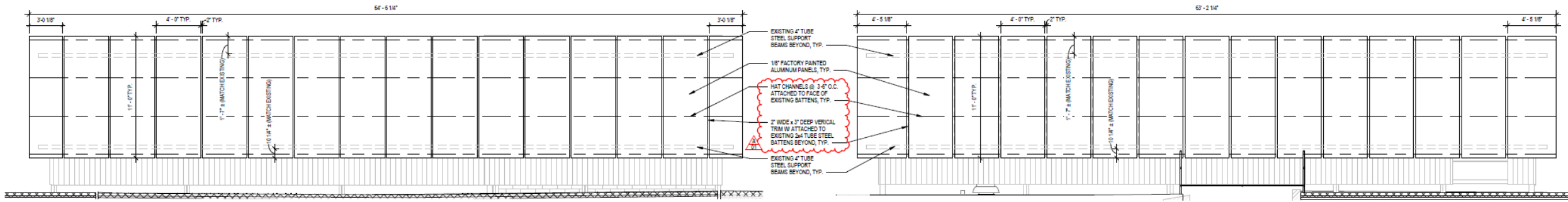
Roof Screen Wall – Existing Conditions



The existing screen wall has delaminated over time and seen additional physical damage and deterioration.



Roof Screen Wall – Proposed Design

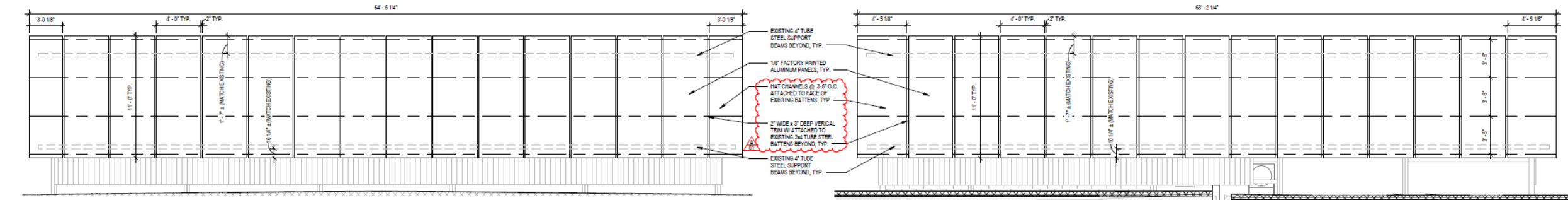


1 MECHANICAL SCREEN ELEVATIONS (NORTH)

SCALE: 1/4" = 1'-0"

2 MECHANICAL SCREEN ELEVATIONS (EAST)

SCALE: 1/4" = 1'-0"



3 MECHANICAL SCREEN ELEVATIONS (SOUTH)

SCALE: 1/4" = 1'-0"

4 MECHANICAL SCREEN ELEVATIONS (WEST)

SCALE: 1/4" = 1'-0"

The proposed screen wall will align with the design intent of the original and will feature the same height and joint spacing. The new panels will be prefinished aluminum panels with a 20-year Kynar finish aligning with the current panel color.

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