



## NEBRASKA CAPITOL ENVIRONS COMMISSION

The Nebraska Capitol Environs Commission will hold a meeting on **Friday, June 26, 2020**. The meeting will convene at **8:00 a.m.** in the **City Council Chambers**, Hearing Room 112 on the 1<sup>st</sup> Floor of the County/City Building, 555 S. 10<sup>th</sup> Street (10<sup>th</sup> & "K" Streets), Lincoln, Nebraska.

For more information, please contact the Lincoln/Lancaster County Planning Department at 402-441-7491.

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### AGENDA

June 26, 2020

1. Approval of meeting record of February 27, 2020

#### **Public Hearing & Action**

2. Residential street rehab work by the City of Lincoln in the public right-of-way of Lincoln Mall from 10<sup>th</sup> to 14<sup>th</sup> Streets, Goodhue Boulevard from A to H Streets, and 14<sup>th</sup> Street from A to K Streets in the Nebraska Capitol Environs District. (*Lincoln Transportation & Utilities; UDR20021*)

#### **Discussion**

3. Miscellaneous & staff report: copy of Certificate of No Material Effect, etc.

#### **Accommodation Notice**

*The City of Lincoln complies with Title VI of the Civil Rights Act of 1964 and Section 504 of the Rehabilitation Act of 1973 guidelines. Ensuring the public's access to and participation in public meetings is a priority for the City of Lincoln. In the event you are in need of a reasonable accommodation in order to attend or participate in a public meeting conducted by the City of Lincoln, please contact the Director of Equity and Diversity, Lincoln Commission on Human Rights, at 402-441-7624 as soon as possible before the scheduled meeting date in order to make your request.*

## MEETING NOTES

**NAME OF GROUP:** NEBRASKA CAPITOL ENVIRONS COMMISSION

**DATE, TIME AND PLACE OF MEETING:** Thursday, February 27, 2020, 8:00 a.m., Conference Room 210, County-City Building, 555 S. 10<sup>th</sup> Street, Lincoln, Nebraska.

**MEMBERS IN ATTENDANCE:** Mary Campbell, Delonte Johnson, Kile Johnson, Karen Karen Nalow and David Quade; (Heidi Cuca and Ann Post absent).

**OTHERS IN ATTENDANCE:** Stacey Hageman, Ed Zimmer and Teresa McKinstry of the Planning Department; Lynn Johnson and J.J. Yost of Parks & Recreation; Matt Hansen with the Nebraska Capitol Commission; Doug Carlson with Nebraska Dept. of Administrative Services; and Elias Sadat.

**STATED PURPOSE OF MEETING:** Nebraska Capitol Environs Commission Meeting

Chair Kile Johnson called the meeting to order and acknowledged the posting of the Open Meetings Act in the room.

Johnson then called for a motion approving the minutes of the regular meeting held December 19, 2019. Motion for approval made by Campbell, seconded by Nalow and carried 4-0: Campbell, K. Johnson, Nalow and Quade voting 'yes'; D. Johnson arrived after the vote; Cuca and Post absent.

### **DEMOLITION AND NEW CONSTRUCTION AT 1515 F STREET IN THE CAPITOL ENVIRONS DISTRICT:**

Members present: Campbell, D. Johnson, K. Johnson, Nalow and Quade; Cuca and Post absent.

Ed Zimmer explained that demolition is linked to new construction in the Capitol Environs District. The applicant has submitted plans for a four-story, four-unit apartment complex. Staff recommends this is in compliance with the standards and the new construction appears to benefit the district. This looks like a good project.

Elias Sadat stated that the house has been vacant for quite a few years. The foundation is not in good shape.

K. Johnson thinks this looks like a good project. He inquired if the applicant plans on following the plans that were submitted. Sadat replied yes. Zimmer stated that the applicant can only construct what is requested and approved. Staff will review any changes that come in with the building permit. If any changes warrant further review, he will bring them to the Commission for review. The building is proposed as tall as can be built. The decision on this would be for demolition and new construction for the design that was submitted. K. Johnson asked if, for example, the siding on the front were to be changed. Zimmer believes the siding and brick are significant features and any changes would need to be reviewed. K. Johnson noted that this building will be a focal point.

Nalow asked about the height of other buildings in the immediate area. Zimmer replied that to the west is a low one and a half story, mid-20<sup>th</sup> century apartment house. To the east is a story and a half frame building. Further east is a later 20<sup>th</sup> century brick apartment, two and a half story. This is a little more to the height of buildings immediately west of the State Capitol. The existing building is an American four-square with a limestone foundation, built *circa* 1900. The limestone foundations of that era tend to be prone to failure as the better local limestone sources were pretty much exhausted.

K. Johnson inquired how long this has been vacant. Sadat stated that the Realtor told him ten years. He believes the number is closer to twenty years, from his research. This was originally a single family home that was converted to four apartments.

Campbell asked about the color of the brick cladding. Sadat replied that he is still working with the architect on those details. Campbell asked about the square footage of the units. Sadat estimated around 1,700 square feet.

K. Johnson wondered about the rental rate. Sadat believes around \$1,550.00 monthly, but that hasn't been set yet. It depends on the market rate for that area.

Nalow echoed what Zimmer mentioned. She appreciates the acknowledgment of the Capitol building and appreciates the materials being proposed. They are important.

Campbell wanted to know if parking is behind the building. Sadat stated that there is a four stall garage already there. They will do some repairs to the garage, such as siding and a new roof. The driveway is fine. There is enough room for cars to park between the garage and the alley of the garage. There will be a total of eight spaces, four in the garage and four in front of the garage. Zimmer noted that the required parking is four spaces. Those four garage stalls meet the requirement. In these districts, you can have shared parking per unit. The driveway parking isn't part of the required count. It is nice that they can make use of the existing garage.

**ACTION:**

Nalow moved approval of the demolition and new construction as proposed, seconded by Quade and approved 5-0: Campbell, D. Johnson, K. Johnson, Nalow and Quade voting 'yes; Cuca and Post absent.

**MISCELLANEOUS:**

## 6 2019 Annual Report

Zimmer reviewed the report. This will be delivered to State and City officials, and placed online.

## 6 Miscellaneous

Zimmer stated that there is a building at 14<sup>th</sup> Street and K Street, northeast corner, that is proposed for demolition. It was perhaps originally a grocery store and more recently has housed offices. The land north of it has stood empty for several years. This property is owned by Nebco. Elsewhere in the district, they have been meticulous in maintaining their properties. The Commission will get to see what Nebco's plans are. He doesn't think they will be building immediately. The standards for demolition require information on plans for future development. He expects this item to be on the March agenda.

6 Next month will be Zimmer's last meeting as he is retiring on April 1, 2020.

There being no further business, the meeting was adjourned at 8:20 a.m.



To: **Nebraska Capitol Environs Commission**  
From: Collin Christopher  
Re: Agenda for June 26, 2020  
Date: June 17, 2020

## **Item 2: Residential street rehab project near McPhee School**

Lincoln Transportation and Utilities (LTU) is planning a residential street rehab project along Lincoln Mall, S 14<sup>th</sup> Street and Goodhue Boulevard. Typically, a rehab project of this nature includes a 2" mill and asphalt overlay within the existing curb and gutter section. These projects also commonly address ADA compliance of the adjacent sidewalks and curb ramps. Beyond those basic improvements, residential rehab projects like this sometimes take on other planned improvements in order to consolidate efforts and be able to complete everything all at once.

For this particular project, the standard mill and overlay and ADA compliance-related improvements are being undertaken in the following areas:

- Lincoln Mall from S 10<sup>th</sup> to S 14<sup>th</sup> Streets
- S 14<sup>th</sup> Street from A to K Streets
- Goodhue Boulevard from A to H Streets

These improvements are intended to enhance the condition and usability of the affected streets and sidewalks. For the most part, they should have little to no impact on the visual quality or character of the Capitol Environs District. One possible exception to this would be the curb ramp improvements along Lincoln Mall. Most of the existing curb ramps on Lincoln Mall were constructed with a colored concrete that differentiates itself from the sidewalk. These same ramps are also surrounded by decorative paver fields that serve as a visual and textural landing zone for pedestrians entering or exiting an intersection. LTU, based on long-term maintenance and liability concerns, is proposing to replace the colored concrete and brick pavers with standard grey concrete in scenarios where curb ramps and sidewalks are being replaced or realigned. Using Lincoln Mall and S 12<sup>th</sup> Street as an example, the two southern corners of this intersection (as shown below) include ADA ramps that will need to be replaced and connecting sidewalks that will need to be realigned to make them fully compliant. As part of this work, it is being proposed that the paver fields be removed and replaced with concrete.



*The photographs above show the southwest and southeast corners of Lincoln Mall and S 12<sup>th</sup> St. As part of the effort to make the curbs ramps ADA compliant, the paver fields at these corners are proposed to be replaced with grey concrete.*

The other significant improvement being proposed along Lincoln Mall is the addition of a 6' wide bike lane on each side of the street, providing on-street bicycle access from S 10<sup>th</sup> to S 14<sup>th</sup> Street. The proposed bike lanes will be unprotected and run directly parallel to 12' drive lanes.

The S 14<sup>th</sup> Street block from Lincoln Mall to K Street is also being proposed to undergo an on-street lane reconfiguration. In this case, this existing one-way block would be converted to accommodate two-way traffic. In addition to new lane markings, the angled parking along the west side of S 14<sup>th</sup> Street will need to be flipped to address the change of traffic direction, and the northbound stop sign on S 14<sup>th</sup> Street will be eliminated.



*The photographs above show S 14<sup>th</sup> Street, looking north from the Lincoln Mall intersection. The proposed one-way to two-way conversion would include a reconfiguration of the angle parking and the removal of the northbound stop sign.*

In reviewing the Capitol Environs Design Standards, *Design Standard 18* and *Guideline 18.5* stand out as relevant to this rehab project:

### **Design Standard 18: General Landscape of All Malls**

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*The landscape of the Capitol Malls should enhance the Capitol setting and vistas:*

- *by providing canopy and definition at the mall edge, but leaving the centers of the malls more open, allowing on-axis views of the Capitol,*
- *by creating a sense of organization and unity through form, color, texture, and spacing that may be lacking in the adjacent architecture,*
- *by establishing a rhythm of visual and physical movement leading ultimately to the Capitol,*
- *by providing seasonal change and interest.*

*There is a delicate balance between a landscape that enhances and one that overwhelms—color and form changes should be in large sweeps and masses to avoid creating small, distracting focal points. The landscape should be bolder and more colorful closest to the Capitol.*

*Facing Capitol Square and the Malls, front yards shall not contain mechanical equipment, above-ground utilities, docks, or unscreened ramps. Architectural or planted screenings may be offered, with maintenance requirements.*

*Active use of the Malls should be encouraged by the selection and placement of landscape elements such as seating.*

The existing decorative pavement treatments at the corners of the Lincoln Mall intersections play a role in the establishment of the rhythm and organization that Design Standard 18 references. Ideally, improvements at these nodes should not disrupt that rhythm and organization. While the preferred course of action would be to preserve and/or restore the existing paver fields as much as possible, LTU's concerns about their ability to maintain these enhancements long-term are valid. Still, their approach will result in an inconsistent visual aesthetic at the corners of Lincoln Mall's intersections that does not fully align with the expectations of the design standards.

**Guideline 18.5:**

*Use high quality pavement that is durable, neutral or natural color, able to be matched or replaced locally or regionally; nonslip but not too rough for high heels; textured or patterned subtly. Asphalt or asphalt pavers are not acceptable. Design paved areas to allow replacement or repair to occur in sections that maintain the established pavement pattern.*

Guideline 18.5 references key characteristics of allowed pavement material. It appears that the proposal put forth by LTU meets this guideline.

*Recommended Finding: The proposed residential rehab project generally conforms with the Capitol Environs Design Standards, except that the proposed ADA compliance work at the corners of Lincoln's Mall's intersections deviates from the intent of Design Standard 18.*

*Recommended Action: Approval of a Certificate of Appropriateness for the residential rehab project, under the condition that the applicant revise the design to establish a consistent approach to the pavement treatments at the corners of Lincoln Mall's intersections.*

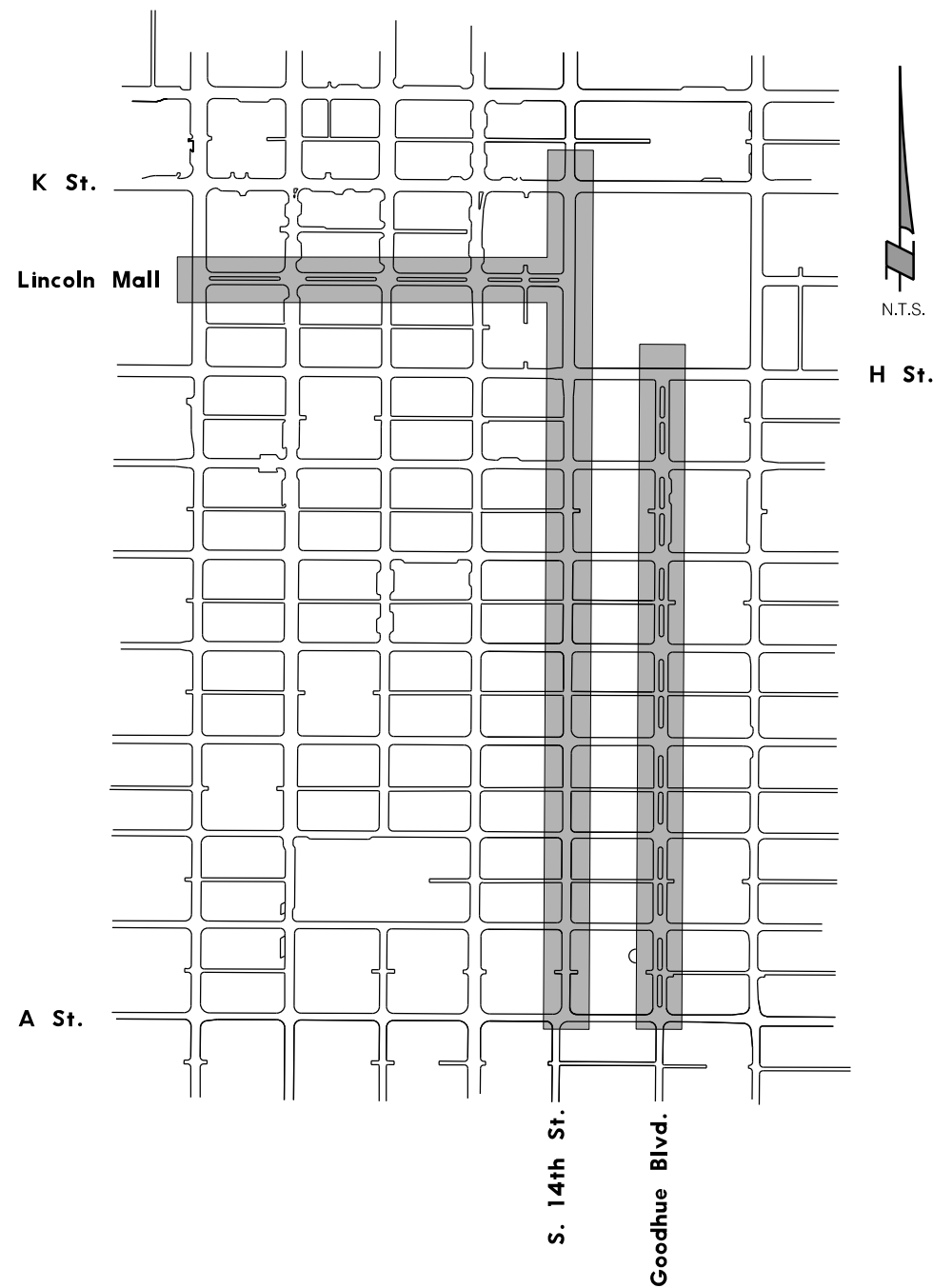
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	PROJECT NO.	SHEET NO.
	705270	1
	Date: 5/8/2020	Drawn: JWH
	Horz. Scale: N.T.S.	Checked: DKV
		Approved: DKV

CITY OF LINCOLN, NE (2020)  
 PAVING REHABILITATION OF THE  
 McPHEE SCHOOL NEIGHBORHOOD  
 PAVING C.I.P. #705270

SHT NO.	SHEET INDEX
1	COVER
2	TYPICAL SECTIONS
3	GENERAL NOTES AND SUMMARY OF QUANTITIES
4-18	CONSTRUCTION AND REMOVAL
19-22	PAVEMENT MARKINGS AND SIGNING

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PRIOR TO CONSTRUCTION:

CALL : 1-800-331-5666 OR 811 FOR LOCATION OF UNDERGROUND TELEPHONE, ELECTRIC, GAS MAINS, CABLEVISION AND CITY OF LINCOLN UTILITIES.

NOTE: EXISTING UNDERGROUND AND OVERHEAD UTILITIES AND DRAINAGE STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL CONTRACTORS TO EXACTLY LOCATE AND PROTECT EACH EXISTING UTILITY BEFORE AND DURING ACTUAL CONSTRUCTION.



APPROVED FOR CONSTRUCTION

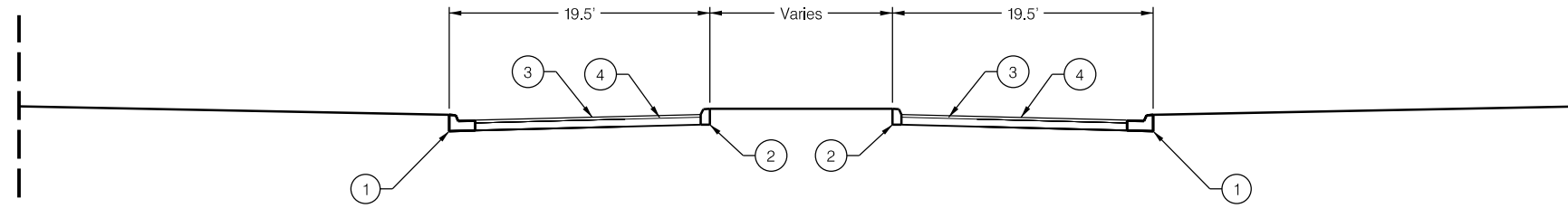
PROJECT CONTACTS

Lincoln Transportation & Utilities Project Delivery: Design 949 West Bond, Suite 200. Lincoln, NE 68521 ATTN: DANIELLE K. VACHAL 531-289-8211	Lincoln Transportation & Utilities Traffic Engineering 949 West Bond, Suite 200. Lincoln, NE 68521 ATTN: MARK LUTJEHARMS 402-416-9925	Lincoln Transportation & Utilities Project Delivery: Construction 949 West Bond, Suite 200. Lincoln, NE 68521 ATTN: MARC ROSSO 513-207-3244
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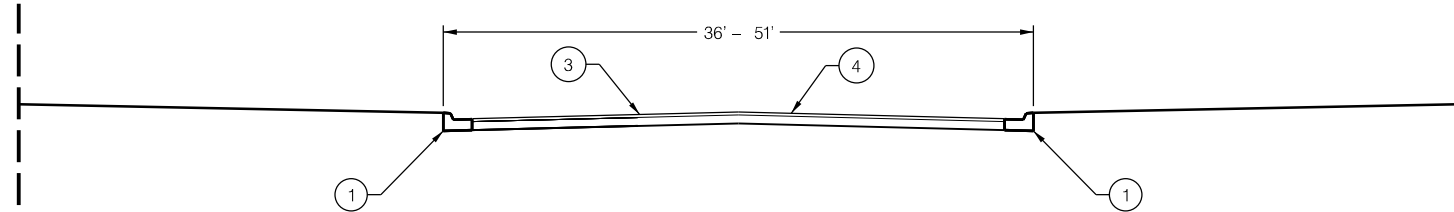
CITY ENGINEER'S OFFICE

DATE  
**COVER**

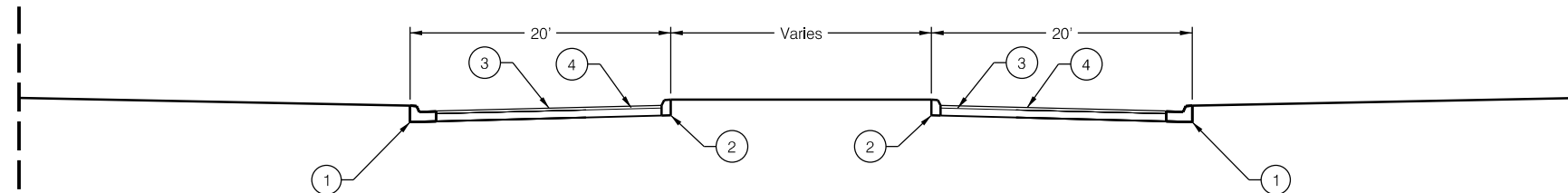
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TYPICAL SECTION OF LINCOLN MALL  
S. 10TH ST. TO S. 14TH ST.



TYPICAL SECTION OF S. 14TH ST.  
A ST. TO K ST.

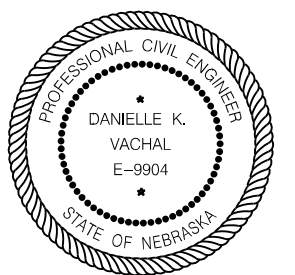


TYPICAL SECTION OF GOODHUE BLVD  
A ST TO G ST.

- ① EXISTING CURB AND GUTTER TO REMAIN
- ② EXISTING BARRIER CURB TO REMAIN
- ③ MILL EXISTNG ASPHALT SURFACE 2"
- ④ PLACE RESIDENTIAL ASPHALTIC CONCRETE TYPE 2, 2.5' THICK

NOTE: CONTRACTOR SHALL CONSTRUCT WHEEL CHAIR RAMPS WITH TRUNCATED DOMES AT EACH INTERSECTION AS SHOWN ON PLANS AS DIRECTED BY THE PROJECT MANAGER. SEE LSP 600

CONTRACTOR SHALL PROTECT STONE BARRIER CURB ALONG 14th ST. FROM H ST. TO K ST.



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**LEGEND - SURVEY (UTILITIES)**

- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRICAL RISER
- GAS BLOW OFF
- GAS METER
- GAS VALVE
- GUY POLE
- GUY ANCHOR
- LIGHT POLE
- MONITORING WELL
- ORNAMENTAL LIGHT
- PULL BOX
- SPRINKLER CONTROL BOX
- SPRINKLER HEAD
- STORM DRAINAGE FLARED END SECTION
- STORM DRAINAGE GRATE INLET
- STORM DRAINAGE CURB INLET
- STORM DRAINAGE MANHOLE
- TELEPHONE BOX
- TELEPHONE PULL BOX
- TELEVISION/CABLE RISER BOX
- TRAFFIC SIGNAL
- TRAFFIC CONTROL BOX
- UTILITY POLE
- WASTE WATER MANHOLE
- WATER HYDRANT
- WATER BLOW OFF
- WATER MANHOLE
- WATER PRIVATE WELL
- WATER STOP BOX
- WATER VALVE
- WATER YARD HYDRANT
- 30" RCP
- 24" WASTE WATER
- 8" WATER

**LEGEND - SURVEY (NON SURVEYED UTILITIES)**

- UG GAS LINE
- UE ELECTRICAL SERVICE
- OE ELECTRICAL SERVICE OVERHEAD
- UWW WASTE WATER
- 8" RCP USD STORM DRAINAGE
- 8" UW WATER
- UT TELEPHONE LINE
- OT TELEPHONE LINE OVERHEAD
- FIBER FIBER OPTIC TELE. LINE
- UTV TELEVISION/CABLE TV LINE
- OTV TELEVISION/CABLE TV LINE OVERHEAD
- TRAFFIC SIGNAL

**LEGEND - SURVEY (MISC.)**

- BENCHMARK
- BORING
- 48" FENCE
- 36" FENCE
- 60" FENCE
- FENCE - R.O.W. OR WIRE
- FENCE - CHAIN LINK
- FENCE - PICKET, PRIVACY OR SPLIT RAIL
- FLOWLINE
- GUARDRAIL
- HEAD STONE
- MAILBOX
- RAILROAD CROSSING SIGNAL
- RAILROAD SWITCH
- RAILROAD TRACKS
- 6" BLOCK WALL
- RETAINING WALL
- SIGN
- WATER EDGE

**LEGEND - SURVEY (LANDSCAPE)**

- 2' BUSH - CONIFEROUS
- 2' BUSH - DECIDUOUS
- BUSH - CONIFEROUS BUSH ROW
- BUSH - DECIDUOUS BUSH ROW
- 8" STUMP - < 12"
- 18" STUMP - 12" TO 23"
- 28" STUMP - 24" TO 35"
- 38" STUMP - > 36"
- TREE - CONIFEROUS MASS PERIMETER
- 8" TREE - CONIFEROUS < 12"
- 18" TREE - CONIFEROUS 12" TO 23"
- 28" TREE - CONIFEROUS 24" TO 35"
- 38" TREE - CONIFEROUS > 36"
- TREE - CONIFEROUS TREE LINE
- TREE - DECIDUOUS MASS PERIMETER
- 8" TREE - DECIDUOUS < 12"
- 18" TREE - DECIDUOUS 12" TO 23"
- 28" TREE - DECIDUOUS 24" TO 36"
- 38" TREE - DECIDUOUS > 36"
- TREE - DECIDUOUS TREE LINE
- 8" TREE REMOVAL

**LEGEND - EROSION & SEDIMENT CONTROL**

- SYNTHETIC FABRIC SILT FENCE
- SEEDING
- SEEDING
- SODDING
- EROSION CONTROL MAT - STRAW
- EROSION CONTROL MAT - SYNTHETIC
- EROSION CONTROL MAT - BLEND

**LEGEND - RIGHT-OF-WAY**

- LOT CORNER
- RIGHT-OF-WAY
- EXISTING CONTROL ACCESS
- EXISTING PERMANENT EASEMENT
- EXISTING ROW
- PROPERTY LINE

**LEGEND - PROPOSED (MISC.)**

- PROPOSED LOC - CUT
- PROPOSED LOC - FILL
- PROPOSED RETAINING WALL
- ASPHALT SURFACE
- CONCRETE BIKEWAY
- CONCRETE DRIVEWAY
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE SIDEWALK RAMPS
- CRUSHED ROCK SURFACING
- EARTH
- RIP RAP
- TACK ON MEDIAN

**GENERAL NOTES:**

TREES TO BE REMOVED ONLY UPON APPROVAL OF THE FIELD ENGINEER.

CURRENT LINCOLN STANDARD PLANS SHALL BE USED WHERE APPLICABLE. REVISIONS AVAILABLE ON REQUEST FROM ENGINEERING SERVICES OR ARE AVAILABLE ON LINE AT: [lincoln.ne.gov](http://lincoln.ne.gov) keyword: Standard

CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES THROUGH THE USE OF POTHOLING, EXCAVATION, OR OTHER MEANS, PRIOR TO CONSTRUCTION ON THIS PROJECT.

CONTACT TRAFFIC ENGINEERING FOR THE REMOVAL AND RESETTING OF ANY SIGNS

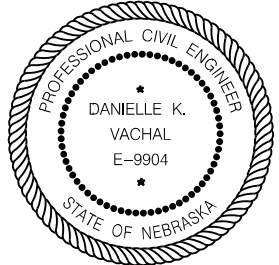
QUANTITIES			
GENERAL			
01.00001	Mobilization	LS	1
01.01001	Const Staking	LS	1
01.04001	Pavt & Sidewalk Rem *	CY	997
01.06001	Sawing, Type "B" *	LF	45663
01.07001	Sawing, Type "C" *	LF	544
01.11001	Adjust MH to Grade	EA	15
01.13001	Adjust Water Valve Box to Grade	EA	29
PAVING			
04.09304	Conc. Sidewalk, 4" *	SF	8993
04.09308	Conc. Sidewalk, 8"	SF	3691
04.09405	Conc. Driveway, 5' *	SF	500
04.09601	Combined Curb & Gutter *	LF	1057
04.09602	Conc Barrier Curb (9"x20")*	LF	60
04.10006	PCC Alley Pav, 6"	SF	40
04.11001	Detectable Warning Panels	SF	688
05.07006	Conc. Base, LB-3500, 6" *	SY	3760
06.04000	Surface Milling	SY	37583
06.06002	Asphaltic Concrete, Type 2	TON	5637
07.08030	Modular Block Retaining Wall *	SF	200
PAVEMENT MARKINGS			
13.02001	Preformed Thermoplastic Pavement Markings, Bike Arrow	EA	8
13.02001	Preformed Thermoplastic Pavement Markings, Bike End	EA	2
13.02001	Preformed Thermoplastic Pavement Markings, Bike	EA	10
13.03004	Molten Thermoplastic Pavement Marking, 4"	LF	1999
13.03006	Molten Thermoplastic Pavement Marking, 6"	LF	4701
13.03024	Molten Thermoplastic Pavement Marking, 24"	LF	1160
TRAFFIC CONTROL			
15.09001	Traffic Control for Construction	LS	1

QUANTITIES			
STORM DRAINAGE			
21.08006	Storm Drain Inlet Top Only, 72"	EA	1
21.13006	Remove Existing Inlet Top Only	EA	1
EROSION CONTROL			
30.07002	Seeding, Type B	AC	0.1
MISCELLANEOUS			
50.00040	Concrete Milling	SY	86
50.00050	Dump Truck, 10CY	HRS	20
50.00050	Skid Loader	HRS	20
50.00050	Front End Loader, 3CY	HRS	20

\* INCLUDES ALLOWANCE FOR QUANTITIES TO BE USED AS DIRECTED BY THE CITY'S PROJECT MANAGER.

QUANTITIES AND LOCATIONS ON PLANS ARE ESTIMATES ONLY. ACTUAL REPAIR AREAS WILL BE MARKED BY CITY STAFF

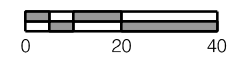
Portions of N. 14th between H St. and K St. are full depth concrete and will require Concrete Surface Milling



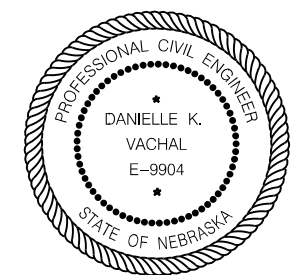
**GENERAL NOTES**



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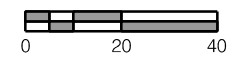
Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	45	CY
1.06001	Sawing, Type B	2378	LF
1.07001	Sawing, Type C	55	LF
1.13001	Adjust Water Valve Box to Grade	2	EA
4.09304	Concrete Sidewalk, 4"	192	SF
4.09308	Concrete Sidewalk, 8"	254	SF
4.09601	Combined Curb & Gutter	63	LF
4.11001	Detectable Warning Panel	40	SF
5.07005	Concrete Base, 6" LB-3500	197	SY
6.04000	Surface Milling	1972	SY
6.06002	Asph Conc, Type 2	296	TN



**CONSTRUCTION AND REMOVAL**

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<b>LTU</b>	PROJECT NO.	SHEET NO.
	705270	5
	Date: 5/8/2020	Drawn: JWH
	Horz. Scale: 1/40	Checked: DKV
		Approved: DKV



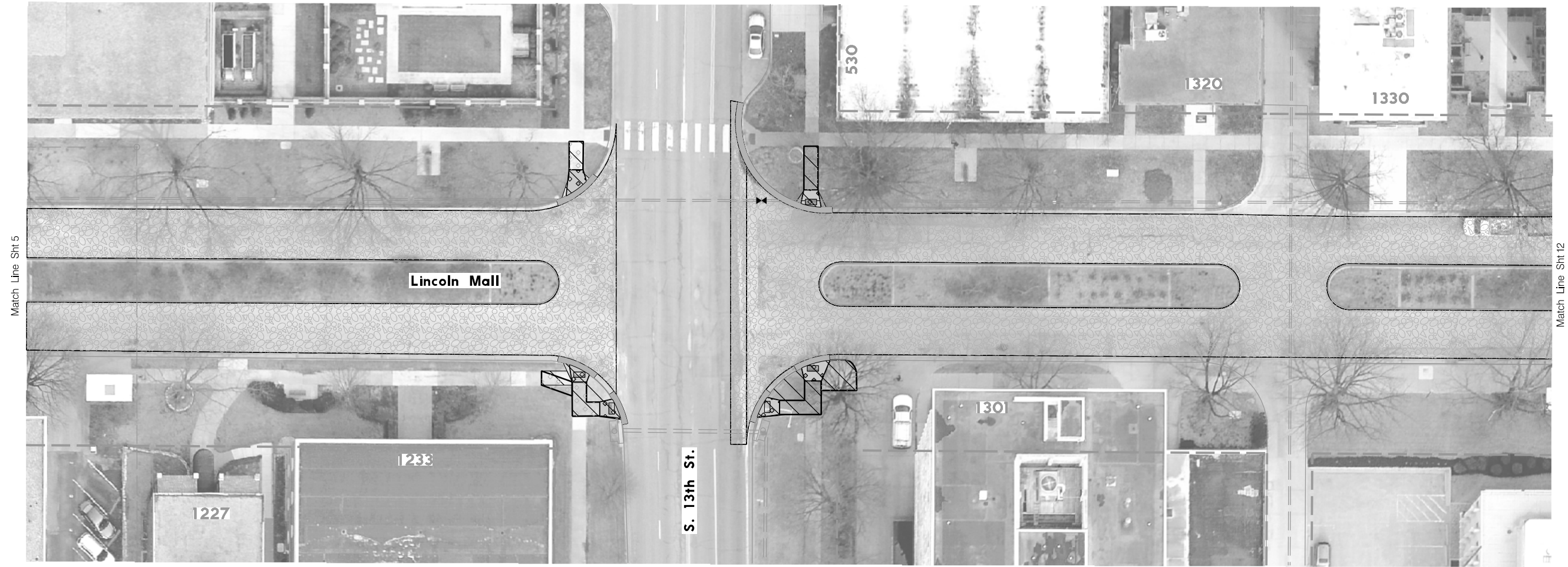
Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	66	CY
1.06001	Sawing, Type B	3208	LF
1.07001	Sawing, Type C	40	LF
1.13001	Adjust Water Valve Box to Grade	1	EA
4.09304	Concrete Sidewalk, 4"	530	SF
4.09308	Concrete Sidewalk, 8"	255	SF
4.09601	Combined Curb & Gutter	83	LF
4.11001	Detectable Warning Panel	56	SF
5.07006	Concrete Base, 6" LB-3500	265	SY
6.04000	Surface Milling	2652	SY
6.06002	Asph Conc, Type 2	398	TN



**CONSTRUCTION AND REMOVAL**



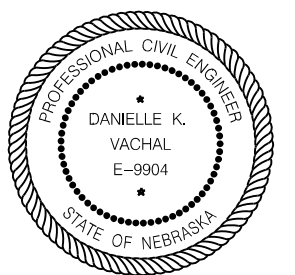
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Match Line Sht 5

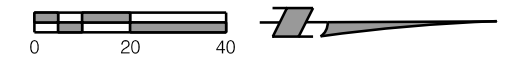
Match Line Sht 12

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	55	CY
1.06001	Sawing, Type B	2772	LF
1.07001	Sawing, Type C	31	LF
1.13001	Adjust Water Valve Box to Grade	1	EA
4.09304	Concrete Sidewalk, 4"	501	SF
4.09308	Concrete Sidewalk, 48"	225	SF
4.09601	Combined Curb & Gutter	123	LF
4.11001	Detectable Warning Panel	40	SF
5.07006	Concrete Base, 6" LB-3500	219	LF
6.04000	Surface Milling	2187	SY
6.06002	Asph Conc, Type 2	328	TN



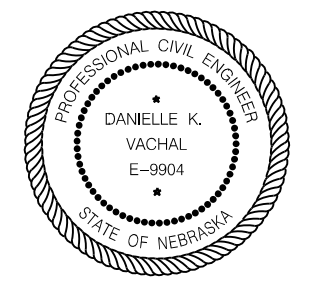
**CONSTRUCTION AND REMOVAL**

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 USER: SIC,JWH  
 DATE: 6/15/2020  
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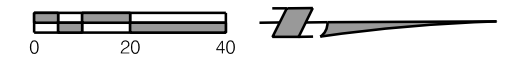
Note:  
 The Contractor shall use caution during surface milling in S 14th St. due to brick paving under the existing asphalt

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	36	CY
1.06001	Sawing Type "B"	2184	LF
1.11001	Adjust MH to Grade	1	EA
1.13001	Adjust Water Valve Box to Grade	2	EA
5.07006	Concrete Base, 6" LB-3500	182	SY
6.04000	Surface Milling	1824	SY
6.06002	Asph Conc, Type 2	274	TN



**CONSTRUCTION AND REMOVAL**

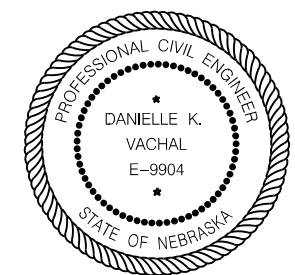
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 USER: SIC,JWH  
 DATE: 6/15/2020  
 DGN: ..\\705270\\CR05.DGN



Additional sidewalk repair:  
 1123/1125 S. 14th (240 SF)  
 As directed by the  
 Project Manager

Note:  
 The Contractor shall use caution  
 during surface milling in S 14th St.  
 due to brick paving under the  
 existing asphalt

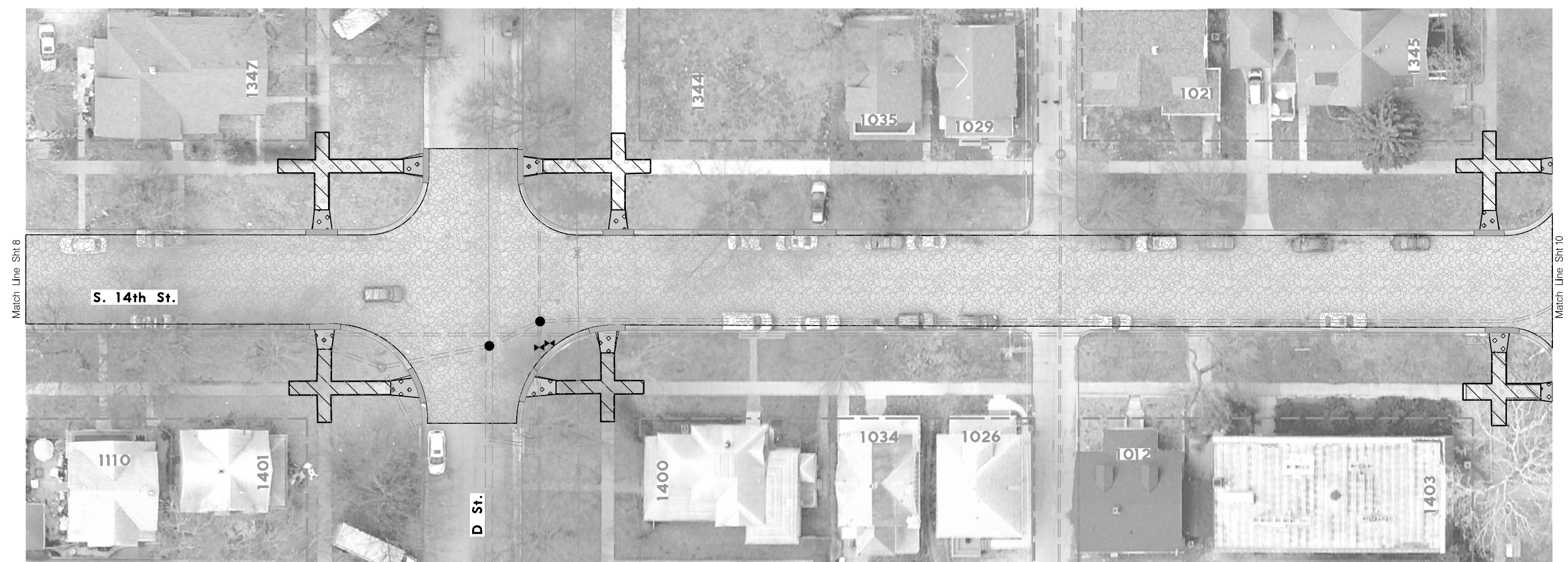
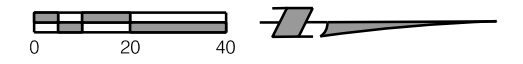
Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	40	CY
1.06001	Sawing, Type B	2148	LF
1.07001	Sawing, Type C	24	LF
4.09304	Concrete Sidewalk, 4"	240	SF
5.07006	Concrete Base, 6" LB-3500	179	SY
6.04000	Surface Milling	1789	SY
6.06002	Asph Conc, Type 2	268	TN



**CONSTRUCTION AND REMOVAL**

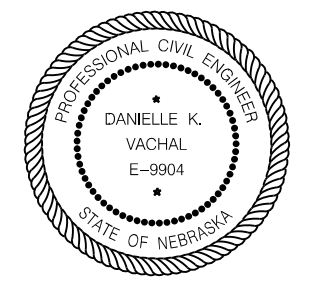


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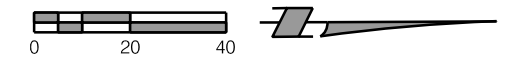


Note:  
 The Contractor shall use caution during surface milling in S 14th St due to brick paving under the existing asphalt

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	91	CY
1.06001	Sawing Type "B"	2780	LF
1.07001	Sawing Type "C"	61	LF
1.11001	Adjust MH to Grade	2	EA
1.13001	Adjust Water Valve Box to Grade	2	EA
4.09304	Conc Sidewalk 4"	1723	SF
4.09308	Conc Sidewalk 8"	497	SF
4.09601	Combined Curb Gutter	134	LF
4.11001	Detectable Warning Panel	80	SF
5.07006	Concrete Base, 6" LB-3500	232	SY
6.04000	Surface Milling	2315	SY
6.06002	Asph Conc, Type 2	347	TN

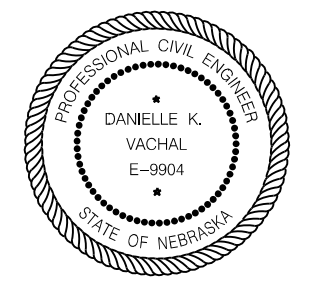


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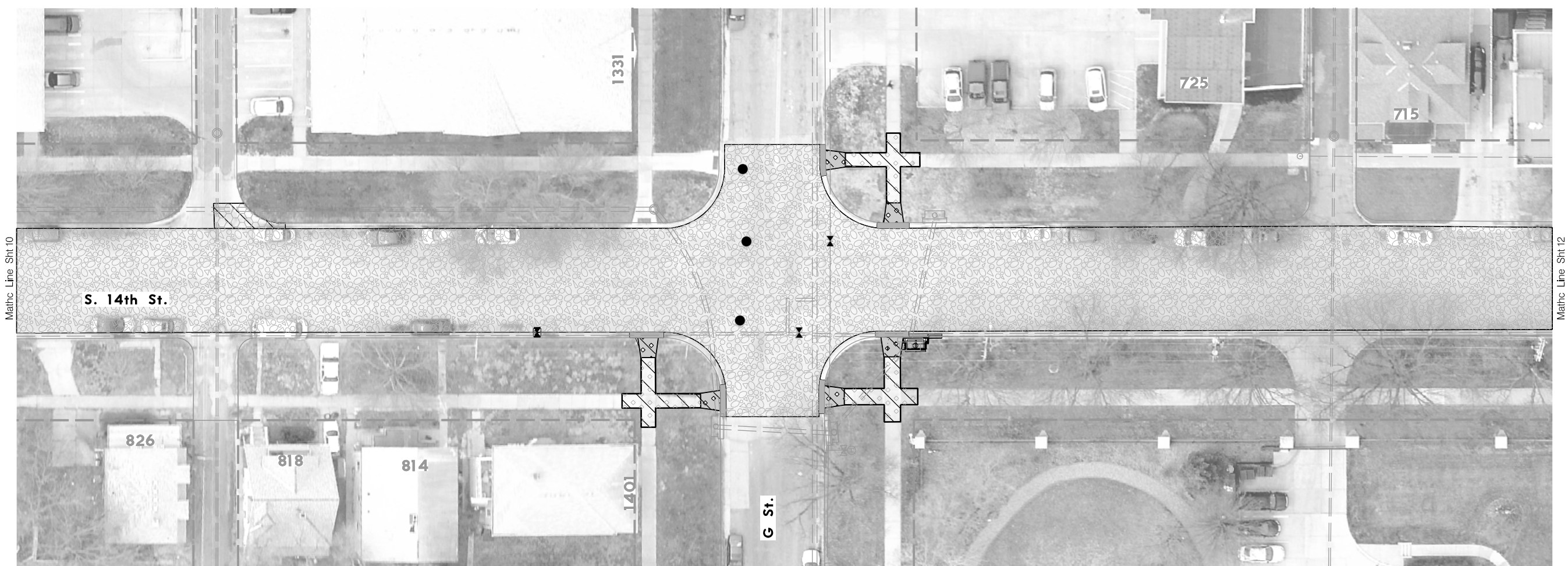
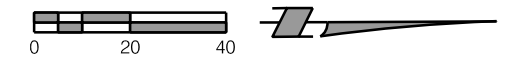
Note:  
 The Contractor shall use caution during surface milling in S 14th St due to brick paving under the existing asphalt

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	94	CY
1.06001	Sawing Type "B"	3404	LF
1.07001	Sawing Type "C"	49	LF
1.11001	Adjust MH to Grade	3	EA
1.13001	Adjust Water Valve Box to Grade	2	EA
4.09304	Conc Sidewalk 4"	1141	SF
4.09308	Conc Sidewalk 8"	451	SF
4.09601	Combined Curb Gutter	135	LF
4.10006	PCC Alley Pav, 6"	22	SY
4.11001	Detectable Warning Panel	96	SF
5.07006	Concrete Base, 6" LB-3500	277	SY
6.04000	Surface Milling	2770	SY
6.06002	Asph Conc, Type 2	415	TN



**CONSTRUCTION AND REMOVAL**

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Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	75	CY
1.06001	Sawing Type "B"	3094	LF
1.07001	Sawing Type "C"	33	LF
1.11001	Adjust MH to Grade	3	EA
1.13001	Adjust Water Valve Box to Grade	3	EA
4.09304	Conc Sidewalk 4"	740	SF
4.09308	Conc Sidewalk 8"	266	SF
4.09601	Combined Curb Gutter	70	LF
4.10006	PCC Alley Pav, 6"	18	SF
4.11001	Detectable Warning Panel	48	SF
5.07006	Concrete Base, 6" LB-3500	254	SY
6.04000	Surface Milling	2539	SY
6.06002	Asph Conc, Type 2	381	TN
7.08030	Modular Block Retaining Wall	100	SF
21.08006	Storm Drain Inlet Top Only, 72"	1	EA
21.13006	Remove Existing Inlet Top Only	1	EA

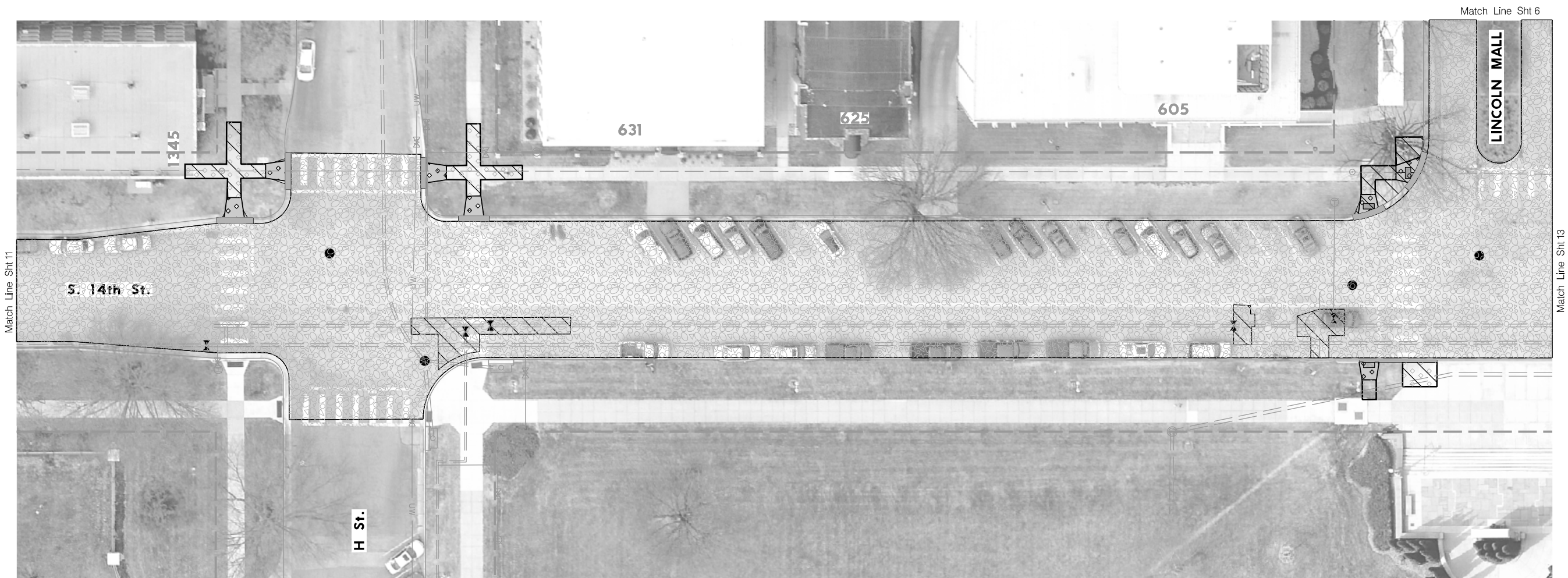
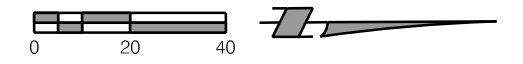
Note:  
 The Contractor shall use caution during surface milling in S 14th St due to brick paving under the existing asphalt



**CONSTRUCTION AND REMOVAL**



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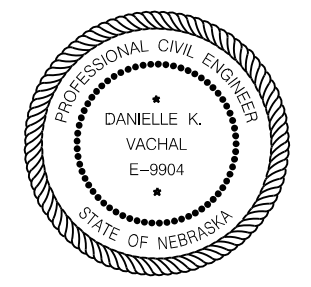


Note:  
 The Contractor shall use caution during surface milling in S 14th St due to brick paving under the existing asphalt

Contractor shall protect STONE BARRIER curb during construction

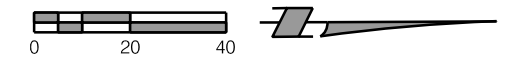
Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	76	CY
1.06001	Sawing Type "B"	4236	LF
1.07001	Sawing Type "C"	59	LF
1.11001	Adjust MH to Grade	2	EA
1.13001	Adjust Water Valve Box to Grade	5	EA
4.09304	Conc Sidewalk 4"	819	SF
4.09308	Conc Sidewalk 8"	288	SF
4.09601	Combined Curb Gutter	74	LF
4.09602	Conc Barrier Curb (9"x20")	28	LF
4.11001	Detectable Warning Panel	56	SF
5.07006	Concrete Base, 6" LB-3500	346	SY
6.04000	Surface Milling	3461	SY
6.06002	Asph Conc, Type 2	519	TN
50.00040	Concrete Milling	86	SY

Portions of N. 14th between H St. and K St. are full depth concrete and will require Concrete Surface Milling



**CONSTRUCTION AND REMOVAL**

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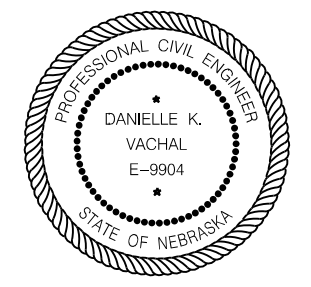


Portions of N. 14th between H St. and K St. are full depth concrete and will require Concrete Surface Milling

Note:  
 The Contractor shall use caution during surface milling in S 14th St due to brick paving under the existing asphalt

Contractor shall protect STONE BARRIER curb during construction

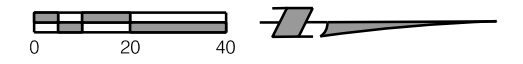
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1.04001	Pav & Sidewalk Rem	44	CY
1.06001	Sawing, Type B	2571	LF
1.07001	Sawing, Type C	27	LF
1.13001	Adjust Water Valve Box to Grade	10	EA
4.09304	Concrete Sidewalk, 4"	269	SF
4.09308	Concrete Sidewalk, 8"	93	SF
4.09602	Conc Barrier Curb (9"x20")	32	LF
4.11001	Detectable Warning Panel	24	SF
5.07006	Conc Base, 6" LB-3500	208	SY
6.04000	Surface Milling	2080	SY
6.06002	Asph Conc, Type 2	312	TN



**CONSTRUCTION AND REMOVAL**



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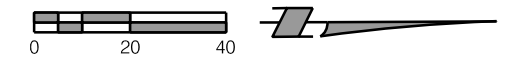
Match Line Sht 15

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	69	CY
1.06001	Sawing Type "B"	3280	LF
1.07001	Sawing Type "C"	24	LF
1.11001	Adjust MH to Grade	1	EA
1.13001	Adjust Water Valve Box to Grade	1	EA
4.09304	Conc Sidewalk 4"	421	SF
4.09308	Conc Sidewalk 8"	215	SF
4.09601	Combined Curb Gutter	58	LF
4.11001	Detectable Warning Panel	40	SF
5.07006	Concrete Base, 6" LB-3500	272	SY
6.04000	Surface Milling	2714	SY
6.06002	Asph Conc, Type 2	407	TN



**CONSTRUCTION AND REMOVAL**

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Match Line Sht 14

Match Line Sht 16

C St.

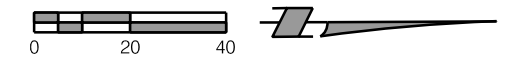
Goodhue Blvd.

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	53	CY
1.06001	Sawing Type "B"	3156	LF
1.07001	Sawing Type "C"	5	LF
4.09304	Concrete Sidewalk, 4"	28	SF
5.07006	Concrete Base, 6" LB-3500	263	SY
6.04000	Surface Milling	2626	SY
6.06002	Asph Conc, Type 2	394	TN



**CONSTRUCTION AND REMOVAL**

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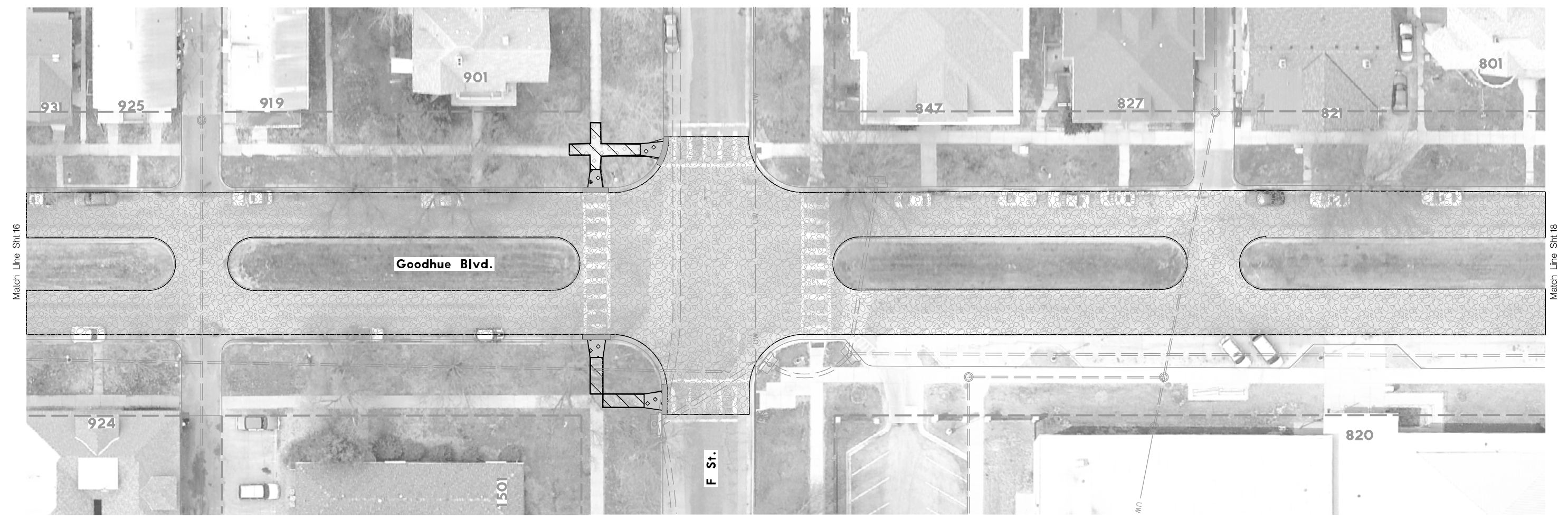
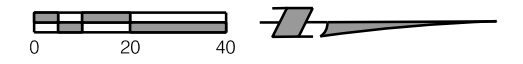
Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	108	CY
1.06001	Sawing Type "B"	4100	LF
1.07001	Sawing Type "C"	63	LF
1.11001	Adjust MH to Grade	2	EA
4.09304	Conc Sidewalk 4"	1172	SF
4.09308	Conc Sidewalk 8"	591	SF
4.09601	Combined Curb Gutter	161	LF
4.11001	Detectable Warning Panel	112	SF
5.07006	Concrete Base, 6" LB-3500	337	SY
6.04000	Surface Milling	3372	SY
6.06002	Asph Conc, Type 2	506	TN



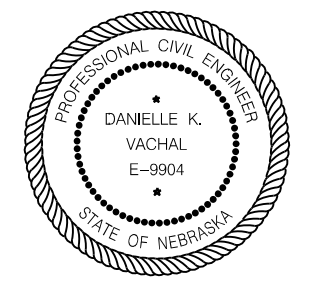
**CONSTRUCTION AND REMOVAL**



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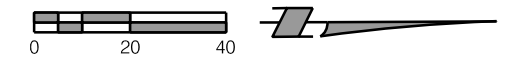


Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	70	CY
1.06001	Sawing Type "B"	3520	LF
1.07001	Sawing Type "C"	19	LF
4.09304	Conc Sidewalk 4"	345	SF
4.09308	Conc Sidewalk 8"	165	SF
4.09601	Combined Curb Gutter	44	LF
4.11001	Detectable Warning Panel	32	SF
5.07006	Concrete Base, 6" LB-3500	296	LF
6.04000	Surface Milling	2955	SY
6.06002	Asph Conc, Type 2	443	TN



**CONSTRUCTION AND REMOVAL**

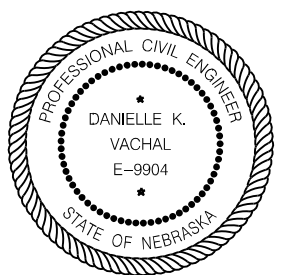
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Match Line Sht 17

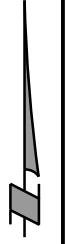
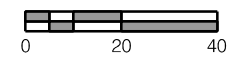
Additional sidewalk repair:  
 1441 G St. (50 SF)  
 As directed by the  
 Project Manager

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	75	CY
1.06001	Sawing Type "B"	2832	LF
1.07001	Sawing Type "C"	54	LF
1.11001	Adjust MH to Grade	1	EA
4.09304	Conc Sidewalk 4"	872	SF
4.09308	Conc Sidewalk 8"	391	SF
4.09601	Combined Curb Gutter	89	LF
4.11001	Detectable Warning Panel	64	SF
5.07006	Concrete Base, 6" LB-3500	233	SY
6.04000	Surface Milling	2327	SY
6.06002	Asph Conc, Type 2	349	TN



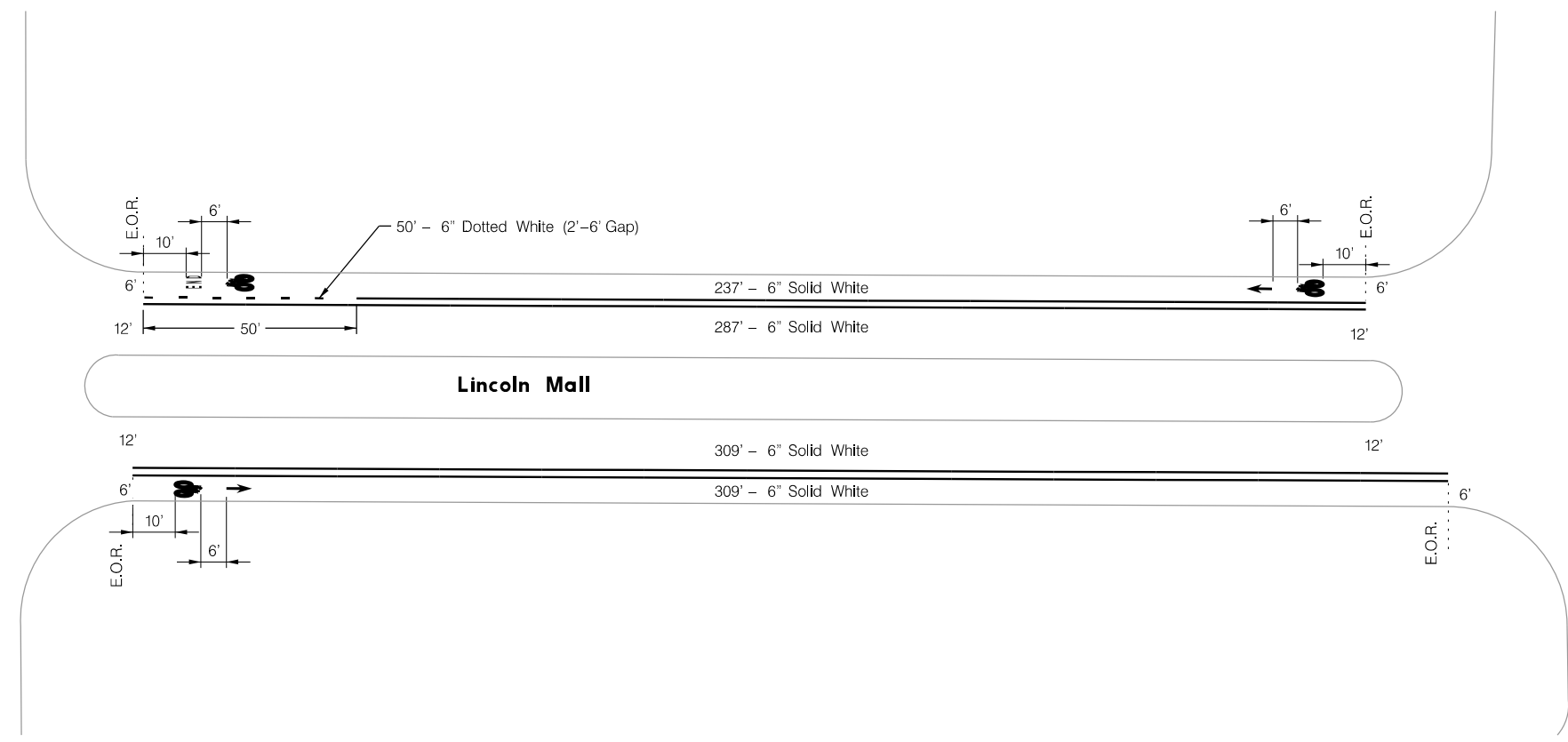
**CONSTRUCTION AND REMOVAL**

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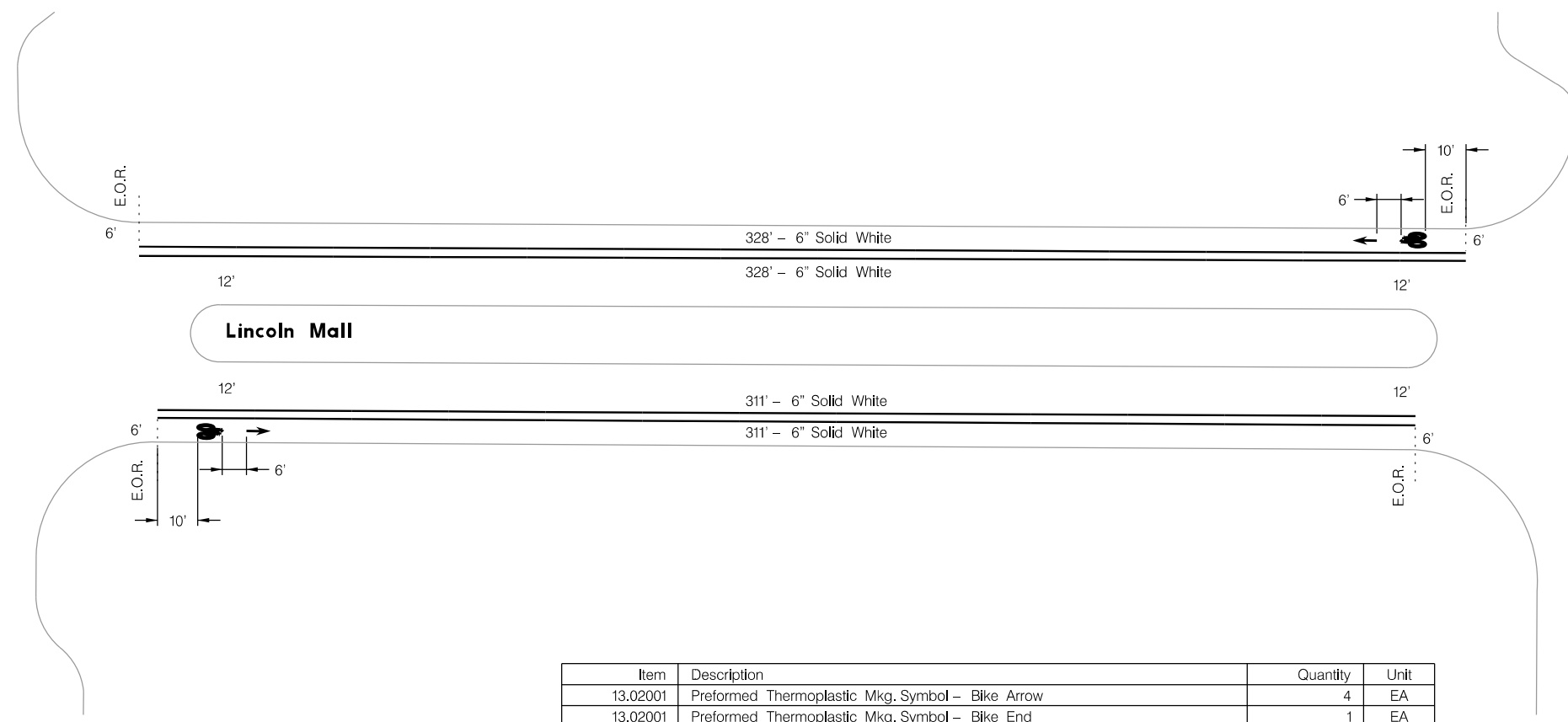
S 10th St.

S 11th St.



S 11th St.

S 12th St.

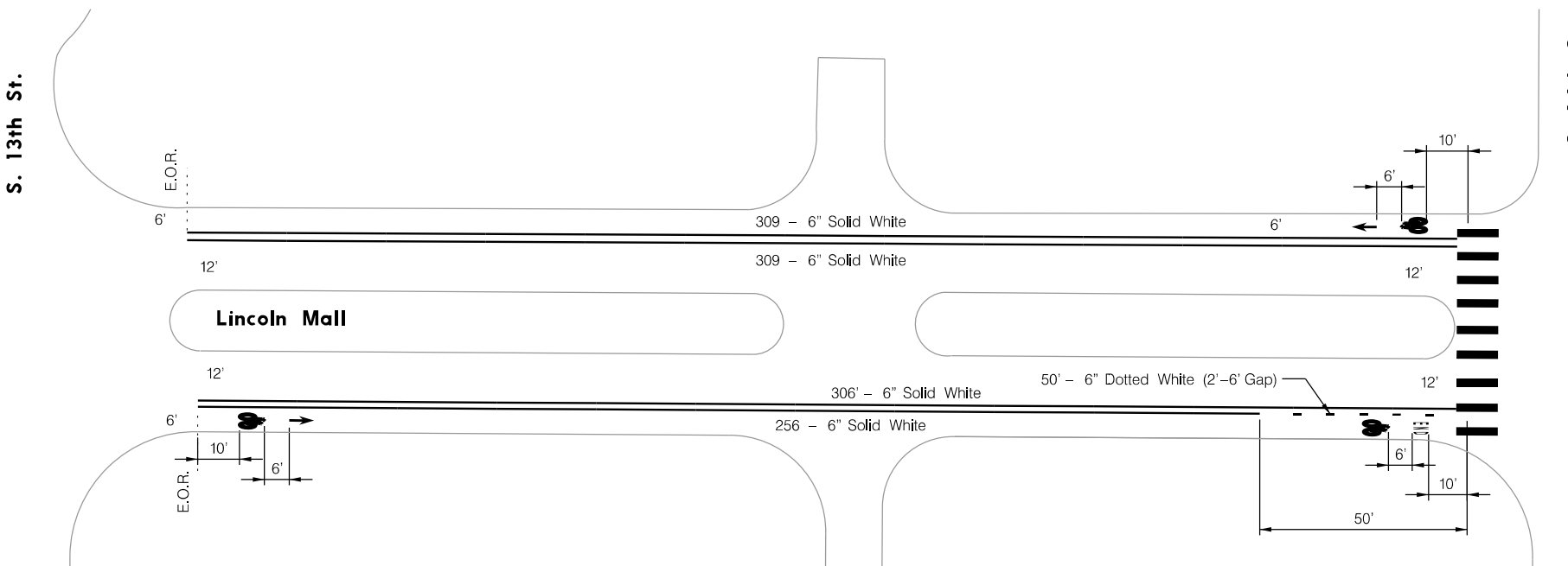
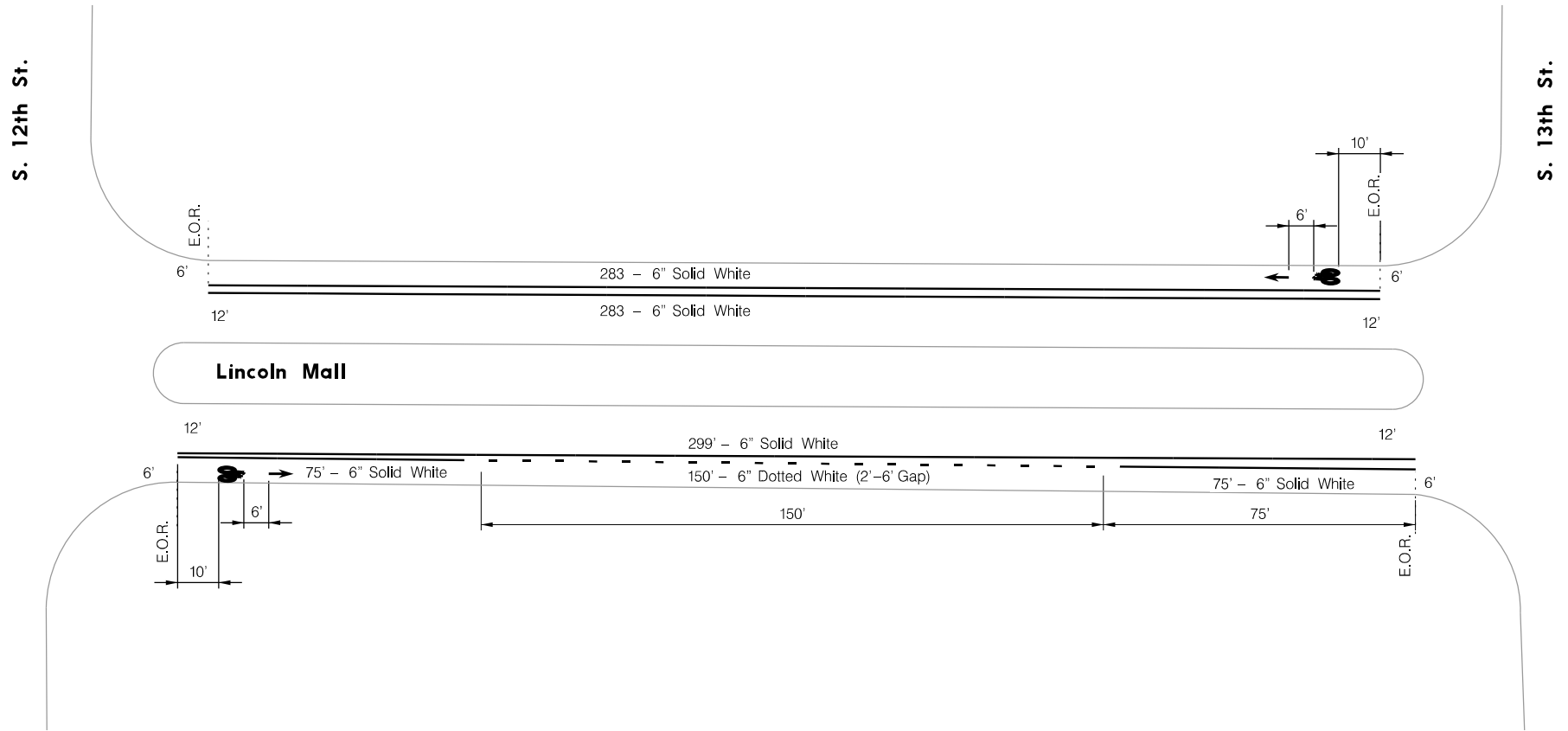
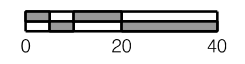


Item	Description	Quantity	Unit
13.02001	Preformed Thermoplastic Mkg. Symbol - Bike Arrow	4	EA
13.02001	Preformed Thermoplastic Mkg. Symbol - Bike End	1	EA
13.02001	Preformed Thermoplastic Mkg. Symbol - Bike	5	EA
13.03006	Molten Thermoplastic Mkg. 6" W Solid	2456	LF



PAVEMENT MARKING AND SIGNING

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 DATE: 6/15/2020  
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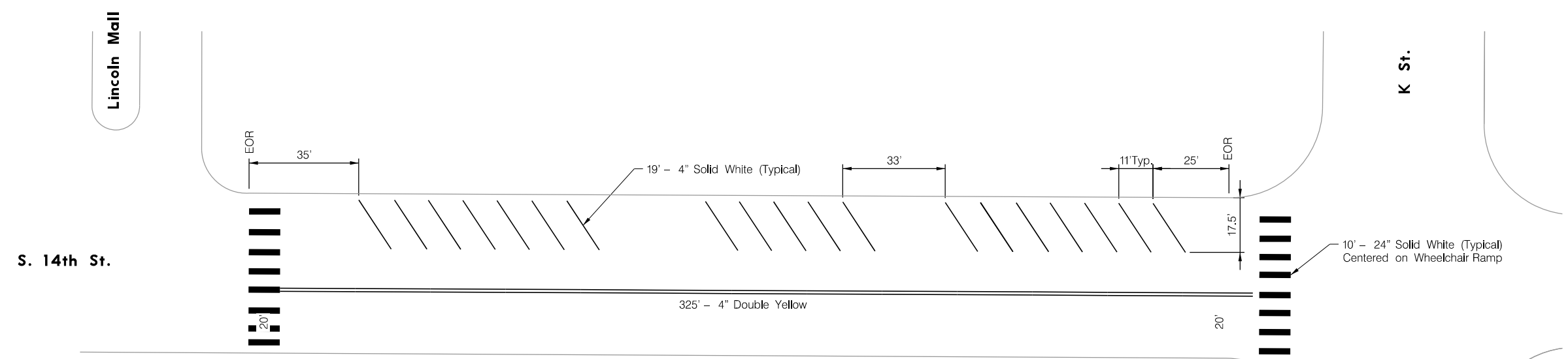
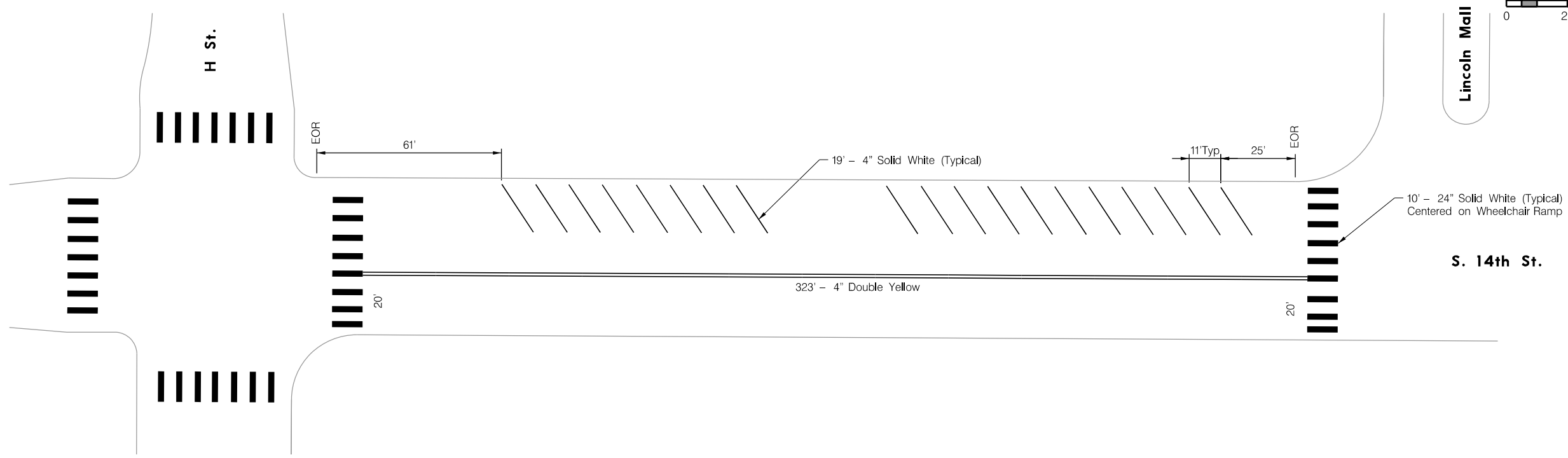
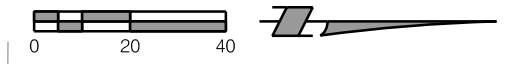


Contractor shall center crosswalks on existing or proposed wheelchair ramps. Location of markings will be indicated by Traffic Engineering.

Item	Description	Quantity	Unit
13.02001	Preformed Thermoplastic Mkg. Symbol - Bike Arrow	4	EA
13.02001	Preformed Thermoplastic Mkg. Symbol - Bike End	1	EA
13.02001	Preformed Thermoplastic Mkg. Symbol - Bike	5	EA
13.03006	Molten Thermoplastic Mkg. 6" W Solid	2245	LF
13.03024	Molten Thermoplastic Mkg. 24" W Solid	90	LF



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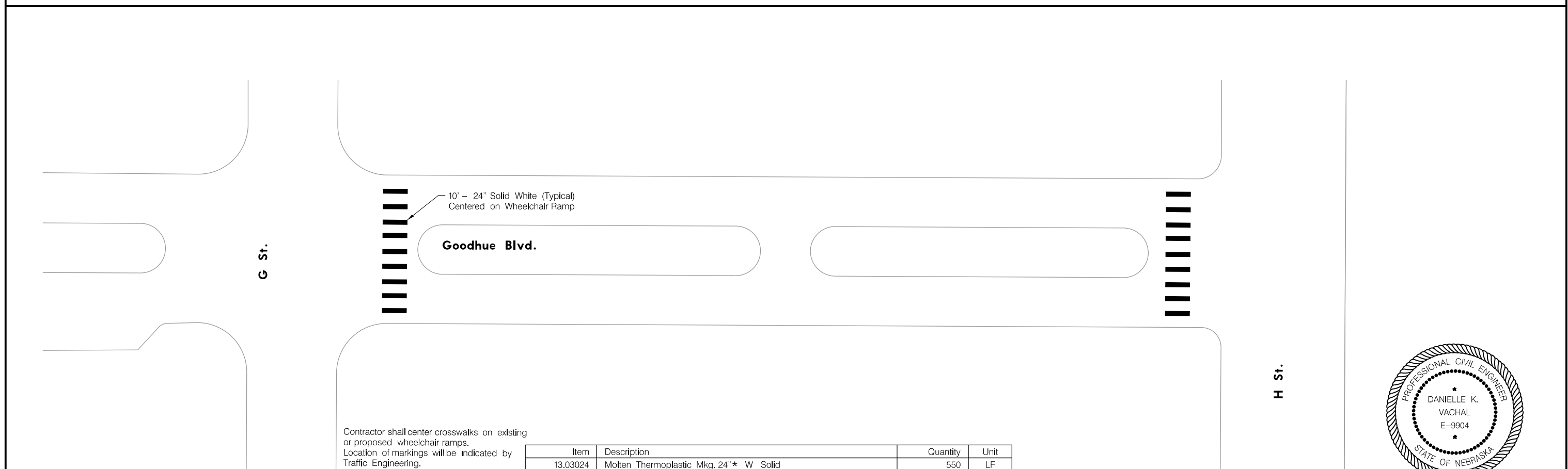
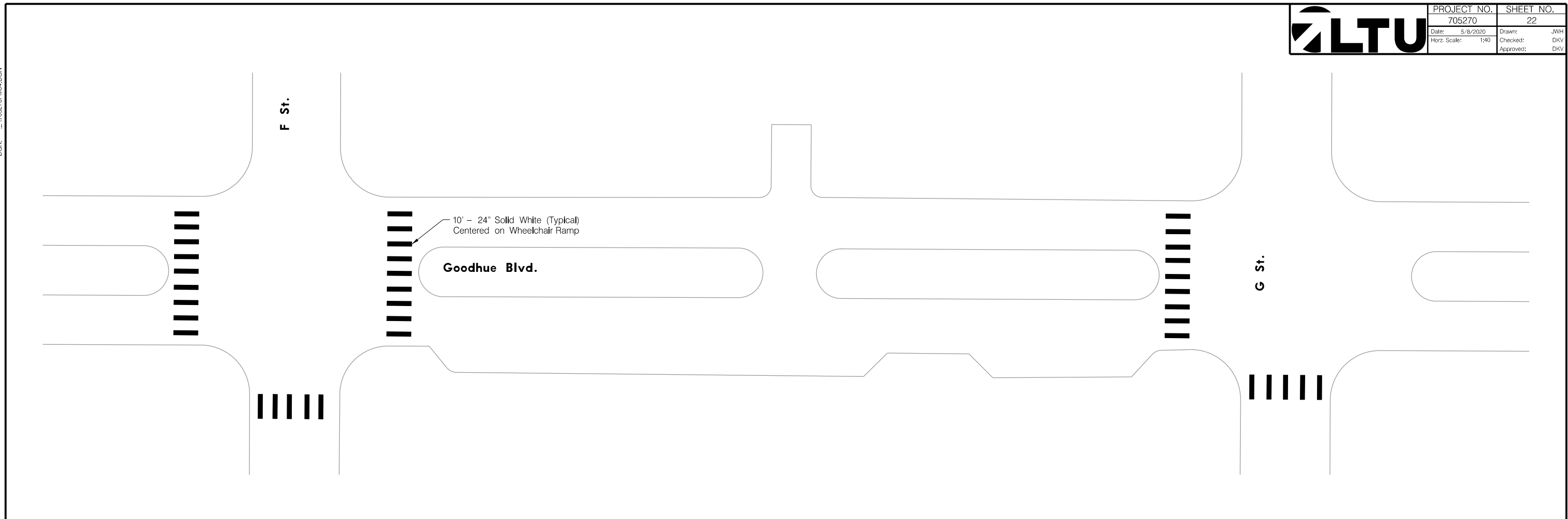
Contractor shall center crosswalks on existing or proposed wheelchair ramps. Location of markings will be indicated by Traffic Engineering.

Item	Description	Quantity	Unit
13.03004	Molten Thermoplastic Mkg. 4" W Solid	703	LF
13.03004	Molten Thermoplastic Mkg. 4" * Y Dbl Solid	1296	LF
13.03024	Molten Thermoplastic Mkg. 24" * W Solid	550	LF



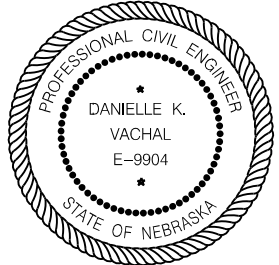


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 DATE: 6/15/2020  
 DGN: ..\705270\PM04.DGN



Contractor shall center crosswalks on existing or proposed wheelchair ramps. Location of markings will be indicated by Traffic Engineering.

Item	Description	Quantity	Unit
13.03024	Molten Thermoplastic Mkg. 24" * W Solid	550	LF



**NEBRASKA CAPITOL ENVIRONS DISTRICT  
CERTIFICATE OF NO MATERIAL EFFECT**

TO: David Cary, Planning Director  
Kile Johnson, Chair, NCEC

DATE: May 8, 2020

CC: NCEC agenda packet

FROM: Collin Christopher, Planning Department

RE: Certificate of No Material Effect for stair  
replacement, 826 S. 14<sup>th</sup> St.

Olderbak Enterprises North, LLC (property owner) has applied for a building permit to replace the rear entry stairs at 826 S. 14<sup>th</sup> Street. The subject property is a two-story, single family structure that sits in the Capitol Environs District, but faces neither Capitol Square nor any of the four "malls" extending from Capitol Square.

The enabling ordinance for the Nebraska Capitol Environs District requires that an owner obtain a certificate for any improvements impacting the appearance of the District that requires a building permit. However, the Environs District chapter of the zoning code (LMC 27.56) provides that the Planning Director may recommend and the Environs Commission chair may issue a "certificate of no material effect" allowing work in the District to proceed when the work is minor, does not affect the architectural or landscape features that contribute to the District, and is on a site that does not face a district mall or Capitol Square.

The replacement work being proposed at 826 S 14<sup>th</sup> Street is minor in nature and will not impact the appearance of the District in a meaningful way. Further, the stairs being replaced are in the rear of the property and are not visible from any of the adjacent public streets.

Therefore, I request that the Planning Director recommend and the NCEC Chair approve this communication as a "certificate of no material effect."

	5-19-2020		5-8-20
Recommended, Planning Director	(date)	Approved, NCEC Chair	(date)

**NEBRASKA CAPITOL ENVIRONS DISTRICT  
CERTIFICATE OF NO MATERIAL EFFECT**

TO: Kile Johnson, Chair, NCEC                      DATE: March 24, 2020  
DEPT:                                                      FROM: David Cary, Planning Director  
CC: NCEC agenda packet                              DEPT: Planning  
RE: **Certificate of No Material Effect for  
demolition, 440 S. 13<sup>th</sup> St.**

Sampson Construction Co. and NEBCO (property owner) have applied to demolish the building at 440 S. 13<sup>th</sup> Street (on the southwest quarter of Block 97, Original Plat of Lincoln). The subject property is in the Capitol Environs District but faces neither Capitol Square nor any of the four "malls" extending from Capitol Square.

The enabling ordinance for the Nebraska Capitol Environs District requires that an owner obtain a certificate prior to demolition in the Environs District. The Capitol Environs Design Standards also require that information on future redevelopment accompany requests for demolition. A proposal for a parking lot on the west half of Block 97 (excluding the east-west alley) has been received as an illustration of a possible interim redevelopment.

Bob Caldwell, CEO of NEBCO, has communicated further to Planning staff (phone conversation with Ed Zimmer, 3/18/2020) that his company has not finalized plans for the site and that their short-term intention is to maintain the half-block in turf. Their preference is to develop a building as soon as possible. They will install a parking lot only if current discussions do not result in a project to build. Finally, if they decide to install a parking lot, it will be submitted to the Commission for approval and will be fully compliant with Downtown Lincoln and Capitol Environ design standards, as NEBCO's other parking lots in the Environs District are.

The Environs District chapter of the zoning code (LMC 27.56) provides that the Planning Director may recommend and the Environs Commission chair may issue a "certificate of no material effect" allowing work in the District to proceed when the work is minor, does not affect the architectural or landscape features that contribute to the District, and is on a site that does not face a district mall or Capitol Square.

440 S. 13<sup>th</sup> Street is not a building that contributes to the quality of the Capitol Environs District, nor would it comply with Downtown Design Standards if proposed for construction today. Retention of the subject building does not promote the purposes of the Environs District. NEBCO has an excellent record for maintaining its properties in the Environs.

Therefore the Planning Director recommends that the NCEC Chair approve this communication as a "certificate of no material effect."

 3/24/2020  
Recommended, Planning Director                      (date)

 3-24-20  
Approved, NCEC Chair                                      (date)