

Boards & Commissions

Nebraska Capitol Environs Commission Agenda

NOTICE

Nebraska Capitol Environs Commission

Notice is hereby given that the **Nebraska Capitol Environs Commission** will hold a meeting on Thursday, February 27, 2014 at 8:00 a.m. in the **County-City Building, 555 S. 10th Street, Lincoln, Nebraska, in Room 214 on the 2nd Floor.** For more information, please contact the Lincoln City/Lancaster County Planning Department at 402-441-7491.

AGENDA

Thursday, February 27, 2014

* [Memo from Ed Zimmer](#)

1. Approval of meeting record of [January 23, 2014](#).

Hearing and Action

2. Certificate of Appropriateness for work on the N Street Bikeway at Centennial Mall and N Street, in the Capitol Environs District.
3. Certificate of Appropriateness for inscribed plaques in the Spirit of Nebraska Pathway of Nebraska's Centennial Mall, in the Capitol Environs District.
4. Recommendation on [redevelopment project at 1421 P Street](#) in the Capitol Environs District, and Certificate of Appropriateness for work at and adjacent to 1421 P Street.
5. Recommendation on redevelopment project and Certificate of Appropriateness for work at the [President and the Ambassador Apartments, 1330 and 1340 Lincoln Mall](#).

Discussion and Action

6. Miscellaneous: staff report, etc.

To: **Nebraska Capitol Environs Commission**
From: Ed Zimmer
Re: Agenda of February 27, 2014
Date: February 21, 2014

Item 2:

Urban Development Dept. will attend to update the Commission on the N Street Bikeway and its intersection with Centennial Mall. I listed the item for a Certificate of Appropriateness, to provide the opportunity for a vote if necessary.

Item 3:

I believe we have completed our review of plaques for 2014 installation but as this is the inaugural year, I am cautiously listing the item again in case we learn of any late donations that need to be accommodated. If that occurs, I will distribute the inscriptions by email as soon as I receive any.

Items 4 and 5:

See reports.

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STAFF REPORT

February 21, 2014

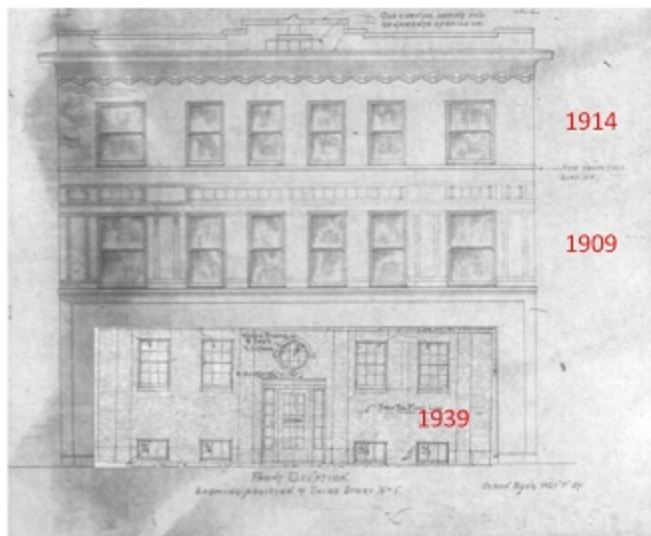
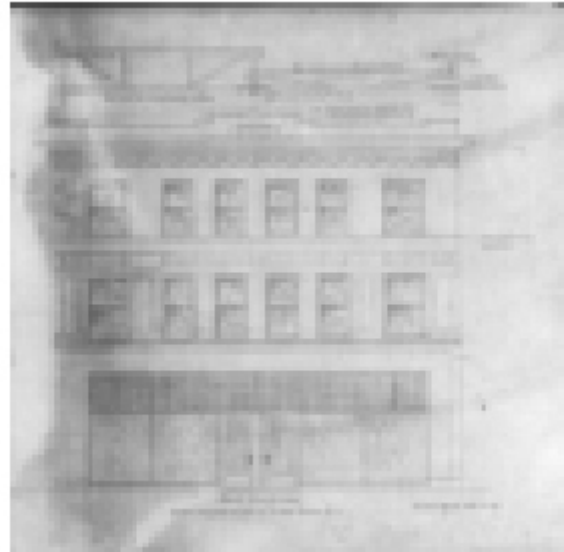
Proposal:

Tru-Built Construction, with city TIF assistance, proposes improvements to 1421 P Street in the Capitol Environs District.

Discussion:

The three story residential building at 1421 P Street began in 1909 as a two-story mixed use building, with lodging above storefronts, built and owned by Charles Olson. In 1914 Olson added a third story, also of residences, illustrated at right.

In 1939 a major remodeling was undertaken, also by Olson, to convert the basement and storefront into two more stories of apartments, on a “garden level” and raised first story. The image below adds illustrates the 1939 work within the 1919 drawing.



The planned renovations will make few exterior changes (other than new door and windows) to the P Street facade. However, the project proposes the vacation of the narrow alleys east and west of the building (and the larger alley/yard behind the structure). Gates are proposed at the north end of the opens. A concept for the gates is illustrated on the next page. It would be refined and presented to the Commission if the alley vacation is successful.

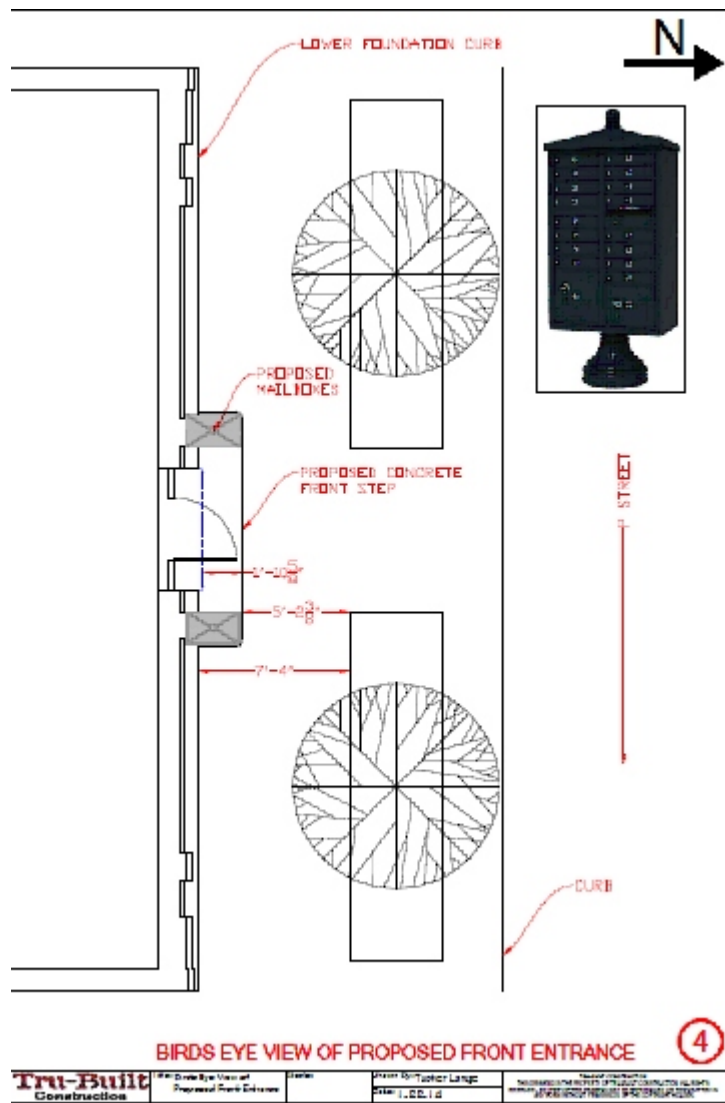


GATE C: LOOKING SOUTH FROM "P" STREET
DESIGN TO BE DETERMINED

5

The other exterior change proposed is to install a pair of mailboxes flanking the north door, which needs to be converted to an outward swing. Structural conditions inside the existing entrance make a recessed door or true vestibule infeasible, so the mailboxes are proposed to shield pedestrians from the door-swing.

The location of 1421 P, around the corner from Centennial Mall, places it at a relatively low level of scrutiny within the Capitol Environs Design Standards in terms of proximity to the Capitol and the Capitol malls. The standard most relevant to the project is to “enhance the overall setting of the Capitol and the Environs District.” The building is in need of renovation and its rehabilitation as housing is welcome.



Recommended finding:

The proposed improvements to 1421 P Street enhance the Capitol Environs District.

Recommended action:

Approval of a Certificate of Appropriateness .

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Proposal:

The Lincoln Urban Development Dept. proposes to assist (with TIF funding) improvements to the President and Ambassador apartments at S. 14th St. and Lincoln Mall.

Discussion:

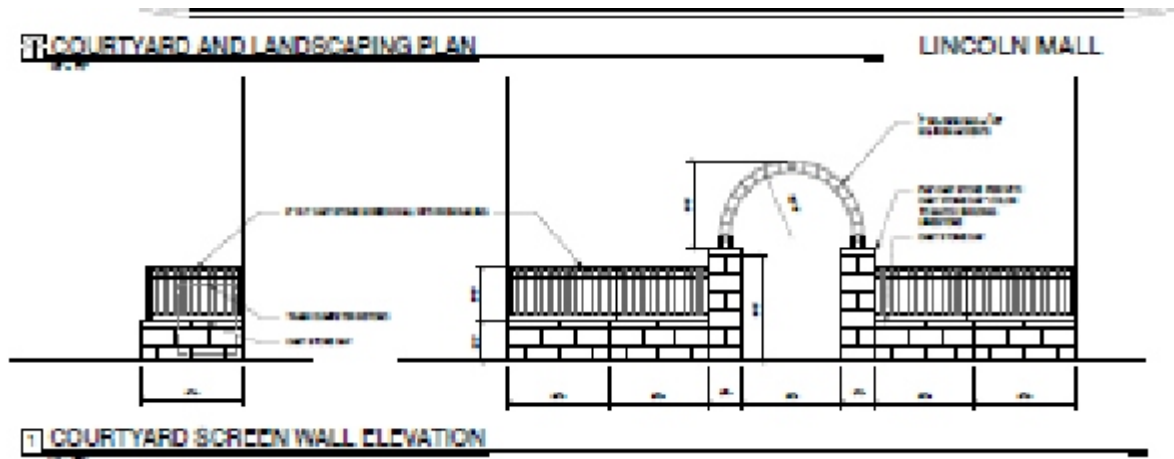
The President and the Ambassador are historic apartment buildings constructed in 1928 and 1929 by John Alexander for the Coryell family at the northwest corner of S. 14th and J Streets (now Lincoln Mall). The buildings are listed on the National Register of Historic Places and were rehabilitated in the early 1990s by a coalition of Lincoln churches to provide housing downtown for low-income individuals. That project worked within the existing configuration of the small apartments, many of which were efficiencies with “Murphy” fold-out beds.

The current owners are proposing to reconfigure the building to create more one-bedroom apartments, improve the mechanicals, and upgrade the site finishes.

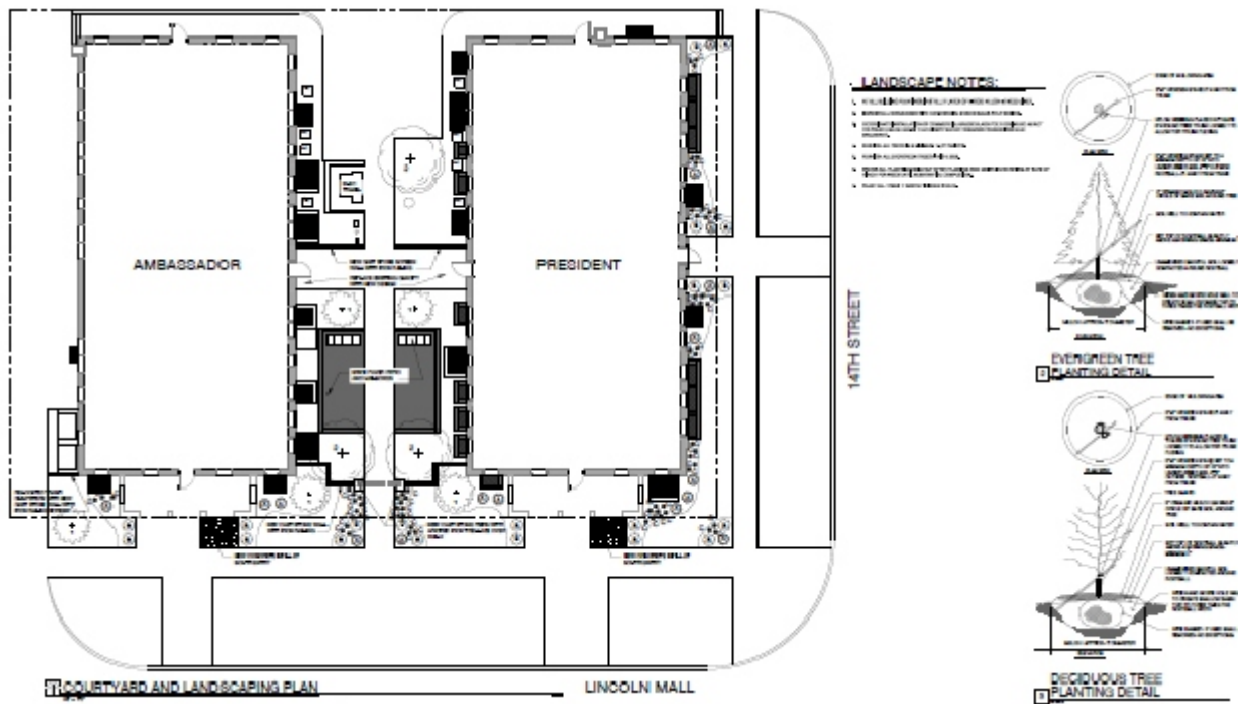
The Capitol Environs Design Standards call for the most careful treatment of sites facing Capitol Square, as well as preservation of historic properties in the Environs, such as these brick and limestone buildings.

The proposed renovations will mostly occur within the structures with little change to exterior appearance, especially on Capitol Square (S. 14th St.). Two welcome changes on Lincoln Mall are an upgrading of the courtyard space between the two buildings (which provides the principal entrances for tenants) and an improvement to the vacated alley south of the Ambassador).

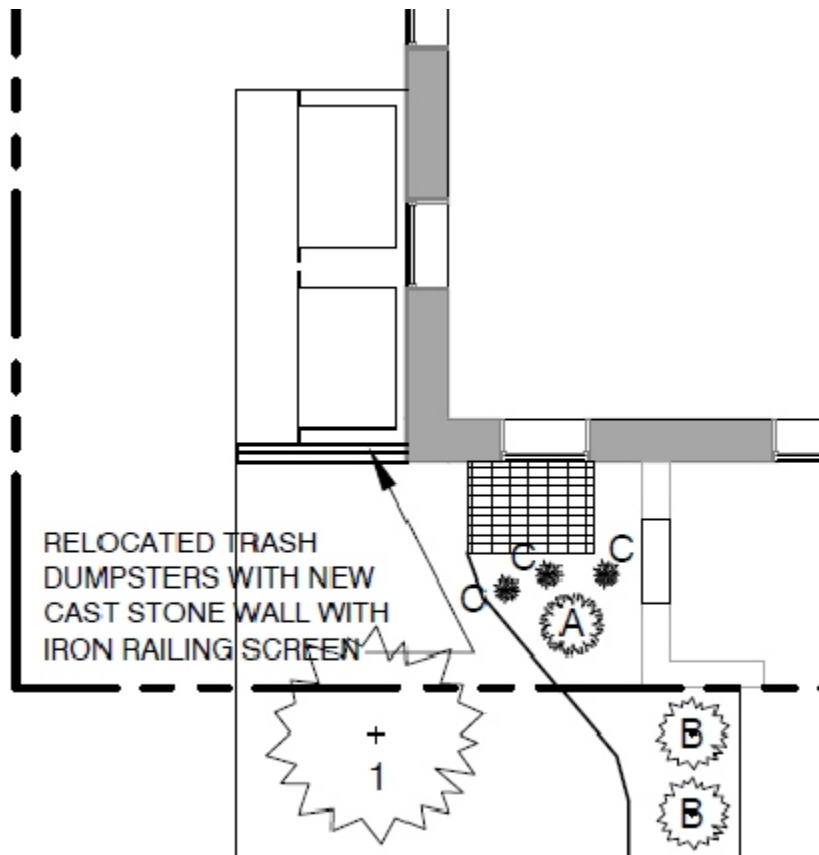




At the south end of courtyard, a cast stone and metal fence is proposed between the buildings, with a central sidewalk and iron archway. Mailboxes currently positioned near the east-west sidewalk would be relocated to the north within the courtyard. Plantings are proposed within and south of the courtyard, along the east-west sidewalk.



The complex's dumpsters have been located since the renovation in the 1990s forward of the main south wall of the Ambassdor, intruding on the east-west pedestrian experience. The proposed site plan moves the trash area north and screens this necessary feature with a cast stone wall and metal railing.

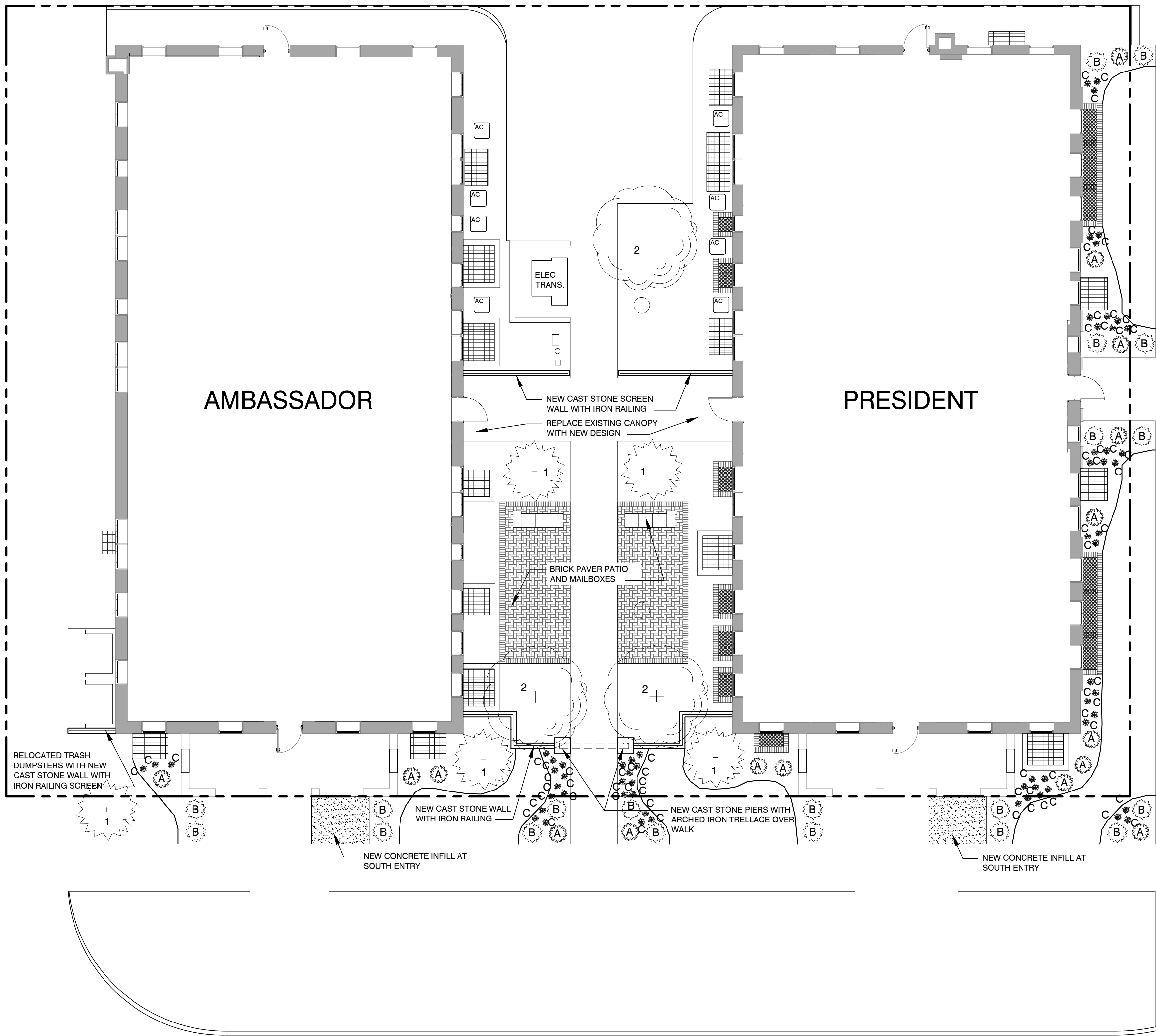


Recommended finding: *The proposed improvements to the President and the Ambassdor apartments enhance a key location in the Capitol Environs and maintain important structures on Capitol Square.*

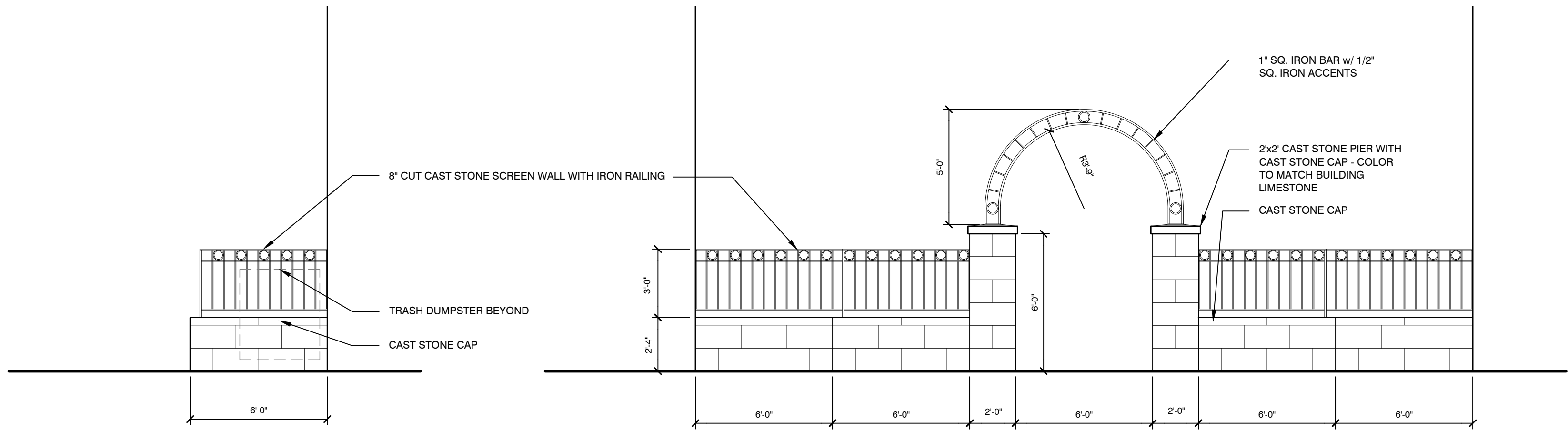
Recommended action: *Approval of a Certificate of Appropriateness .*

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FILENAME: R:\PROJECTS 2012\EXCEL DEVELOPMENT\A&P II APARTMENT RENOVATION\REV\SITE PLAN



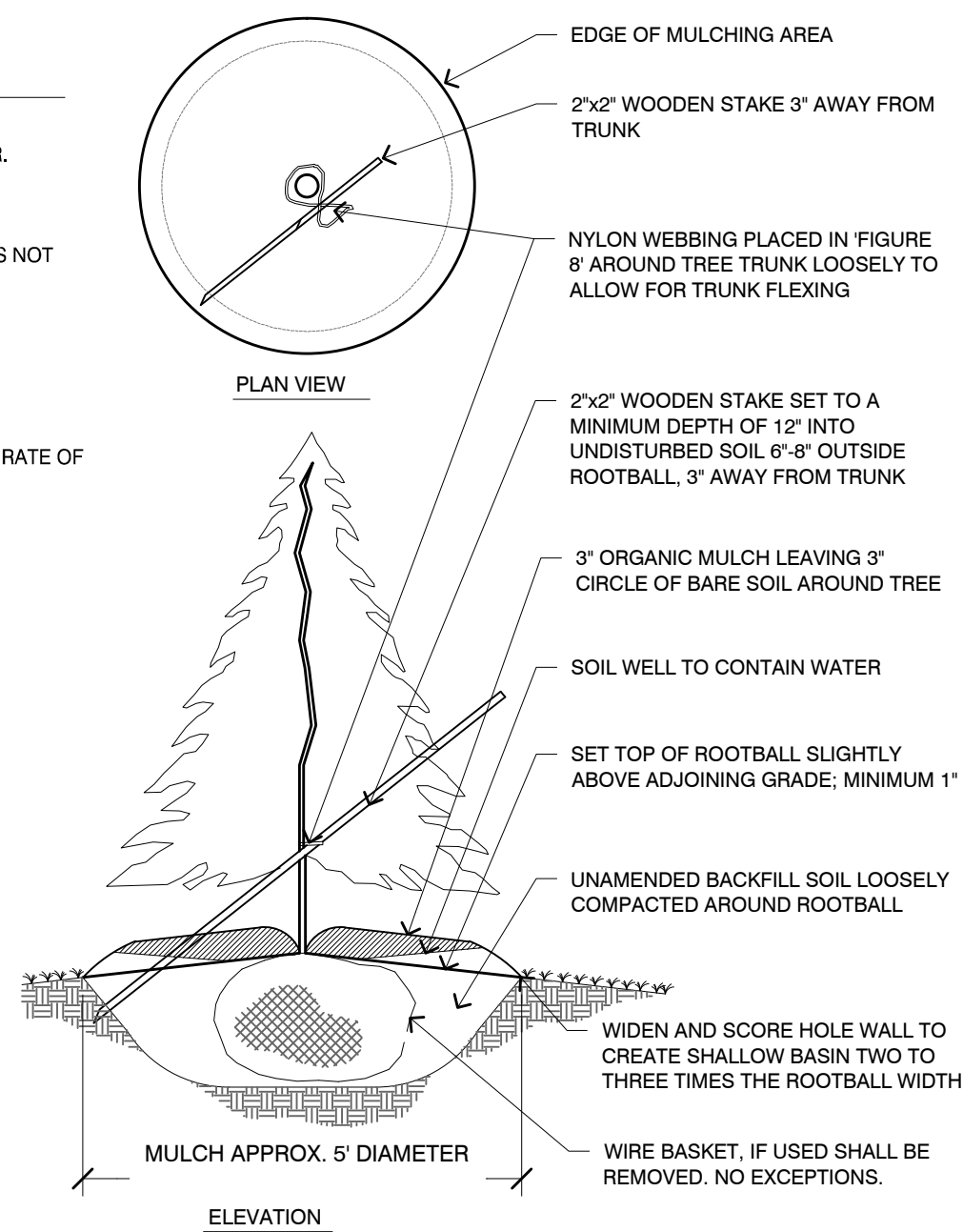
COURTYARD AND LANDSCAPING PLAN
1/8" = 1'-0"



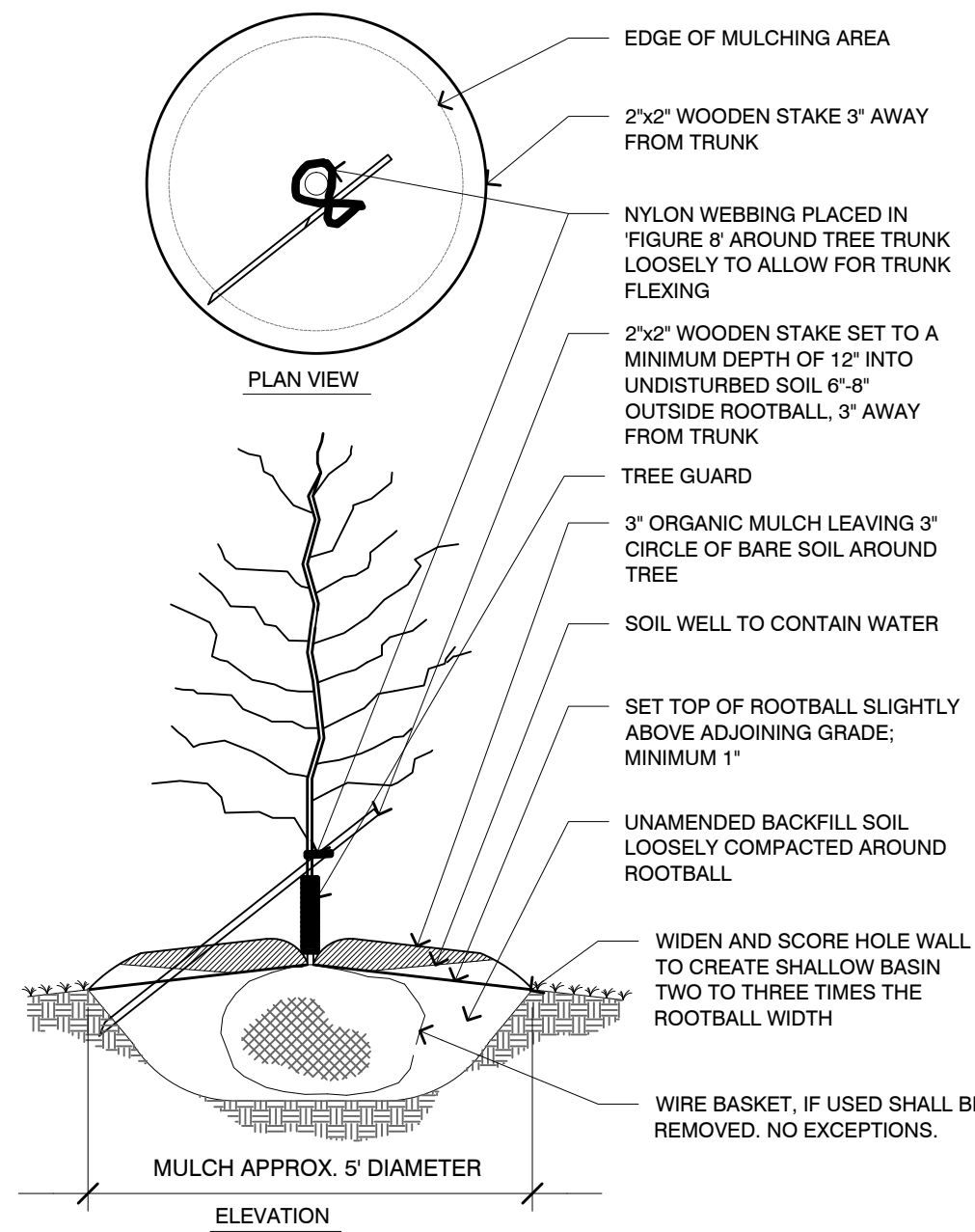
1 COURTYARD SCREEN WALL ELEVATION
1/4" = 1'-0"

LANDSCAPE NOTES:

1. AT ALL BUILDING PLANTINGS, INSTALL 3" LAYER OF WOOD MULCH w/ WEED LINER.
2. BORDER ALL SHRUB BEDS WITH COMMERCIAL GRADE BLACK POLY EDGING.
3. COORDINATE INSTALLATION OF COMMERCIAL GRADE BLACK POLY EDGING SO AS NOT TO CREATE WATER DAMS THAT DIRECT WATER TOWARDS FOUNDATIONS AND WALKWAYS.
4. FURNISH ALL TREES IN A MINIMUM 1-1/2" CALIPER.
5. FURNISH ALL EVERGREEN TREES 5' HIGH, B&B.
6. WATER ALL PLANTS IMMEDIATELY AFTER PLANTING AND MAINTAIN WATERING AT RATE OF 1 INCH PER WEEK UNTIL SUBSTANTIAL COMPLETION.
7. PLANT ALL TREES 1" ABOVE FINISHED GRADE.



2 EVERGREEN TREE PLANTING DETAIL
NO SCALE



3 DECIDUOUS TREE PLANTING DETAIL
NO SCALE

TREE MATERIAL LIST

NO.	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE	SPACING
1	TECHNY ARBORVITAE	THUJA OCCIDENTALIS	5	20'	10'
2	CHANTICLEER	PYRUS CALLERYANA	3	25'	15'

PLANT MATERIAL LIST - BUILDING PERIMETERS

NO.	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE	SPACING
A	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	20	4'	4'
B	GREEN VELVET BOXWOOD	BUXUS MICROPHYLLA VAR. KOREANA X B. SEMPERVIRENS	16	3'	4'
C	FEATHER REEDGRASS	CALAMAGROSTIS KARL FOERSTER	63	6'	1"



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**AMBASSADOR AND PRESIDENT II
RENOVATION PROJECT
14TH AND LINCOLN MALL
LINCOLN, NE**

Project number

Date
3-27-2013

Revisions

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