

Boards & Commissions

Nebraska Capitol Environs Commission Agenda

NOTICE

Notice is hereby given that the Nebraska Capitol Environs Commission will hold a meeting on **Thursday, August 23, 2018 at 8:00 a.m.** in the County-City Building, 555 S. 10th Street, Lincoln, Nebraska, in Room 214 on the 2nd Floor. For more information, please contact the Lincoln City/Lancaster County Planning Department at 402-441-7491.

AGENDA

AUGUST 23, 2018

1. Approval of meeting record of [May 31, 2018](#) and acceptance of notes of committee meeting of [June 28, 2018](#).

* [Memo from Ed Zimmer](#).

DISCUSSION and ACTION

2. Certificate of Appropriateness for work at the ["501 Data Center"](#) at 505 S. 14th Street in the Capitol Environs District. - ([UDR18039](#))

DISCUSSION

3. Miscellaneous/staff report: copy of Certificate of No Material Effect, etc.

To: **Nebraska Capitol Environs Commission**

From: Ed Zimmer

Re: Agenda of August 23, 2018

Date: August 17, 2018

Item 3: New entrance treatment at 505 S. 14th Street (on Capitol Square)

The State of Nebraska has engaged DLR to plan site work in the vicinity of the entrance to the 501 Data Center (505 S. 14th) in connection with utility upgrades for the state's 501 and 521 Buildings on Capitol Square. The work includes removing a curb cut for a driveway between the two buildings, redesigning the ADA ramp at the entrance by regrading the sidewalk to incorporate the ramp, and rebuilding pedestrian sidewalks east and south of the 501 Data Center. A description of the project is attached.

Relevant design standards include:

Design Standard 2: Proximity

The nearer a property is to the Capitol, the greater responsibility it bears in the District. Buildings and other improvements facing Capitol Square shall meet very high standards for design, construction, and maintenance. Improvements facing the Capitol Malls shall also meet high standards. Other improvements within the District but not facing the Square or the Malls shall not intrude upon the Capitol's setting and shall contribute to the overall quality of the District.

Design Standard 11: Buildings on Capitol Square

The portion of the District facing the Capitol shall be maintained and improved as an area of top-quality but generally unobtrusive office, residential, and church buildings, with very well-designed and maintained landscape and streetscape elements. The area shall combine construction of first-class new buildings with the preservation of historic landmarks and scrupulous maintenance of all improvements.

Guideline 11.5:

Mechanical units, cooling towers, chimneys, fire towers, stage towers or scenery lofts, noncommercial radio towers or satellite "dishes," or water towers may be permitted atop buildings in the District (in excess of the 57 foot limit) provided they are set back at least fifteen feet from any face of the building, and are screened with permanent materials compatible with the materials of the principal facades of the building. Addition of such screening on the State's building at 501 S. 14th St. is a goal of the Commission.

Design Standard 21: Landscaping Street Frontages

The landscape zones between curb and sidewalk ("curb zone"), and between sidewalk and private property, should be used to provide visual continuity, interest, and physical separation between pedestrians and vehicles.

The project replaces a rather awkward ramp/stair combination with a simplified, less obtrusive entryway. The reduction of the wide curb cut into a much narrower bicycle/wheelchair ramp is similarly welcome. The long-term planning for improving the roof-top profile of the building addresses a specific goal of the Environs design standards.

In observing other buildings and sites surrounding Capitol Square on the opposite side of the street from the Capitol, staff notes that most of the buildings have pavement features acknowledging the principal entrance, such as stairs down to the street (St. Mary's Church, rectory, and School), or widened "plaza" gestures (in brick

pavers) such as at the Governor's Residence and the Nebraska Bar Association entrance.



The proposed modifications to the 501 Building would not be an anomaly in relation to other buildings and sites on Capitol Square.

<i>Recommended finding:</i>	<i>The project is consistent with the Environs Standards and guidelines and its setting on Capitol Square.</i>
<i>Recommended action:</i>	<i>Approval of a Certificate of Appropriateness.</i>

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To: **Nebraska Capitol Environs Commission**

From: **Scott Gatewood, DLR Group, on behalf of the State of Nebraska, DAS**

Agenda: **501 Data Center Building and ADA Improvements**

Date: **May 24, 2018; 8:00 AM**

Introduction: 501 Data Center Building and ADA Improvements – Environs jurisdictional review.

Good Morning –

The information presented below contains Plan excerpts and photographs showing changes to the existing pavement adjacent to the 501 Data Center Building, located at 510 South 14th Street. This pavement is being removed to facilitate the reconstruction of critical power systems for both the 501 Data Center and the State Capitol Building. The reinstallation of the pavement is designed to create both ADA accessibility as well as less hardscape for pedestrian scale amenities.



Photo #1: Existing 501 Entry:

Note the existing non-compliant ADA ramp and railing. Pavement in front of building is being removed to allow for new Capitol Building critical generator power feeder installation.



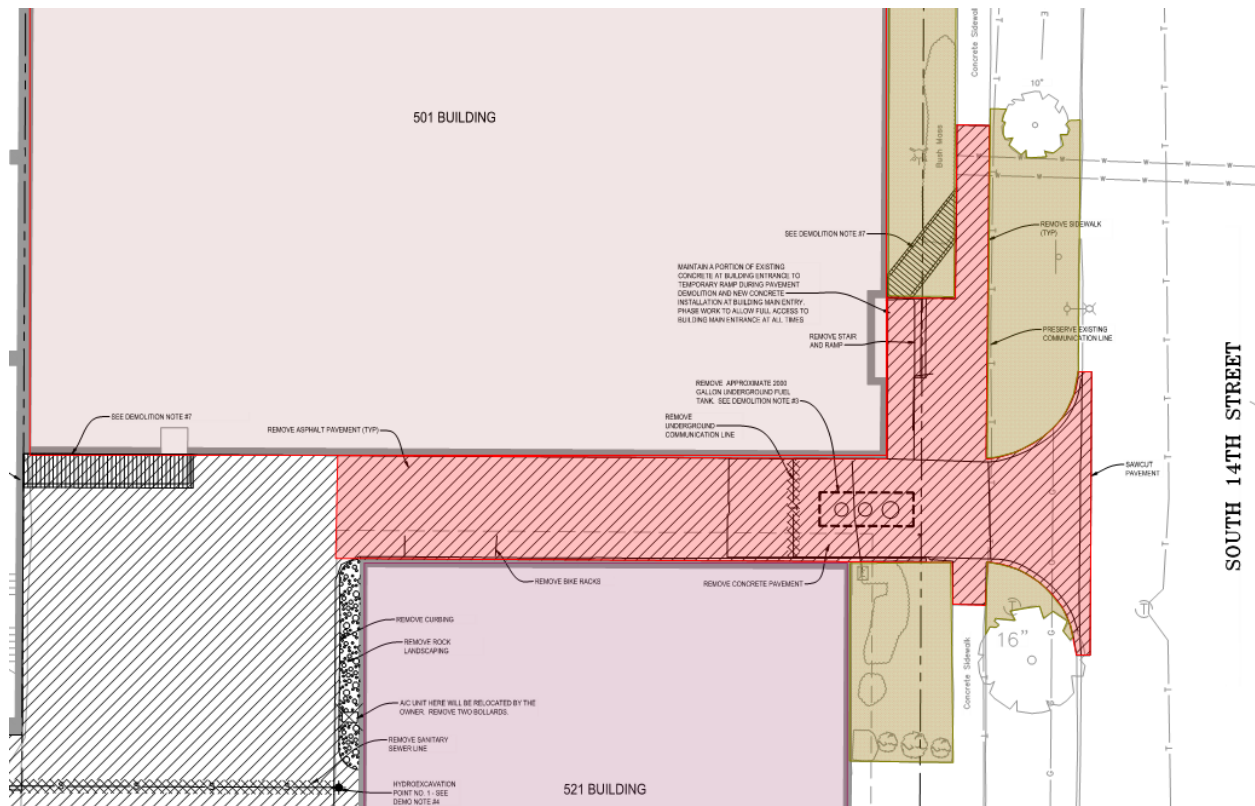
Photo #2: Existing 501 Alley Exit:

Note the alley drive into street will be removed, as vehicles will no longer use this as an exit pathway. The entry will be for pedestrians or bikes. Additional street parking would consequently be available.



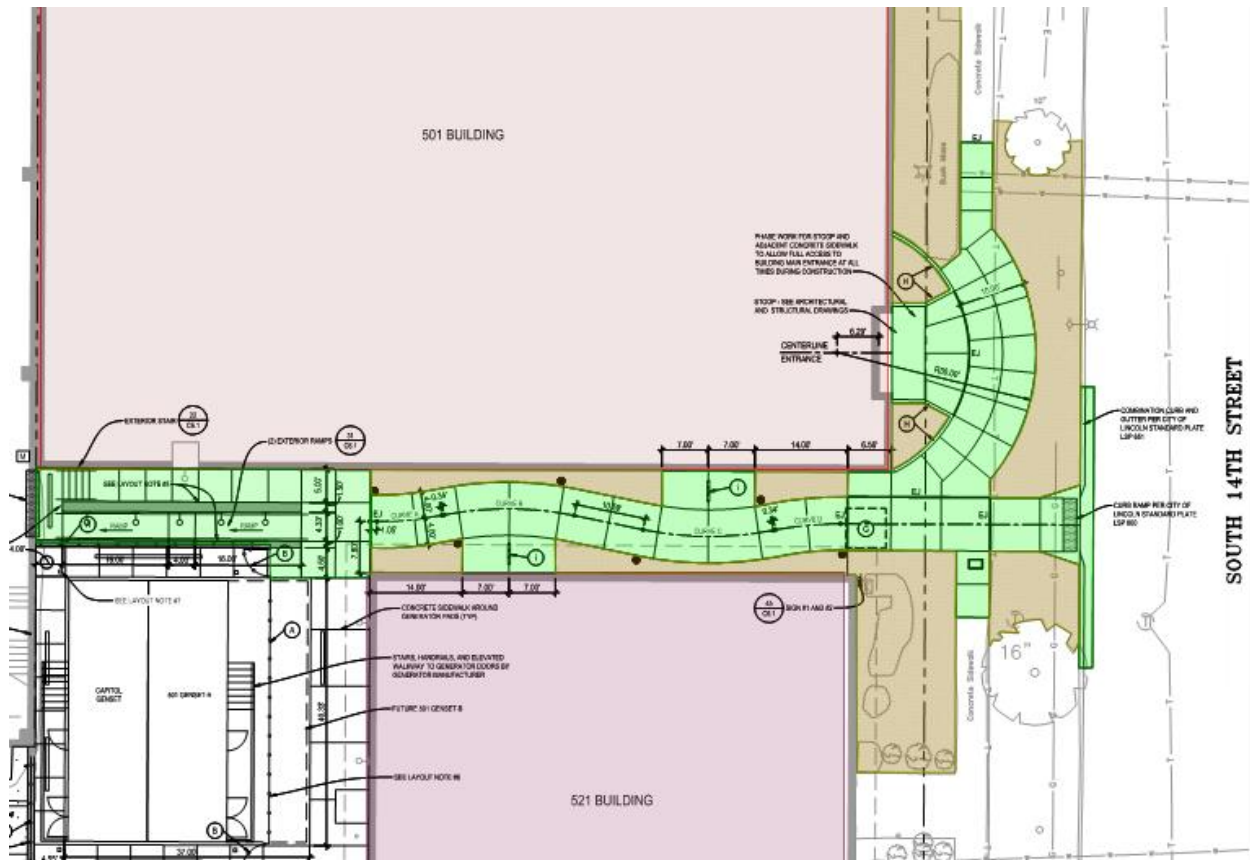
Photo #3: Existing 501 Alley to existing parking structure:

Note the drive along the south side of the 501 Building will be removed to facilitate the required electrical reconstruction. When replaced, vehicles will no longer use this as an exit path. Instead, it will be reconstructed for pedestrians and bikes only with the addition of softscape.



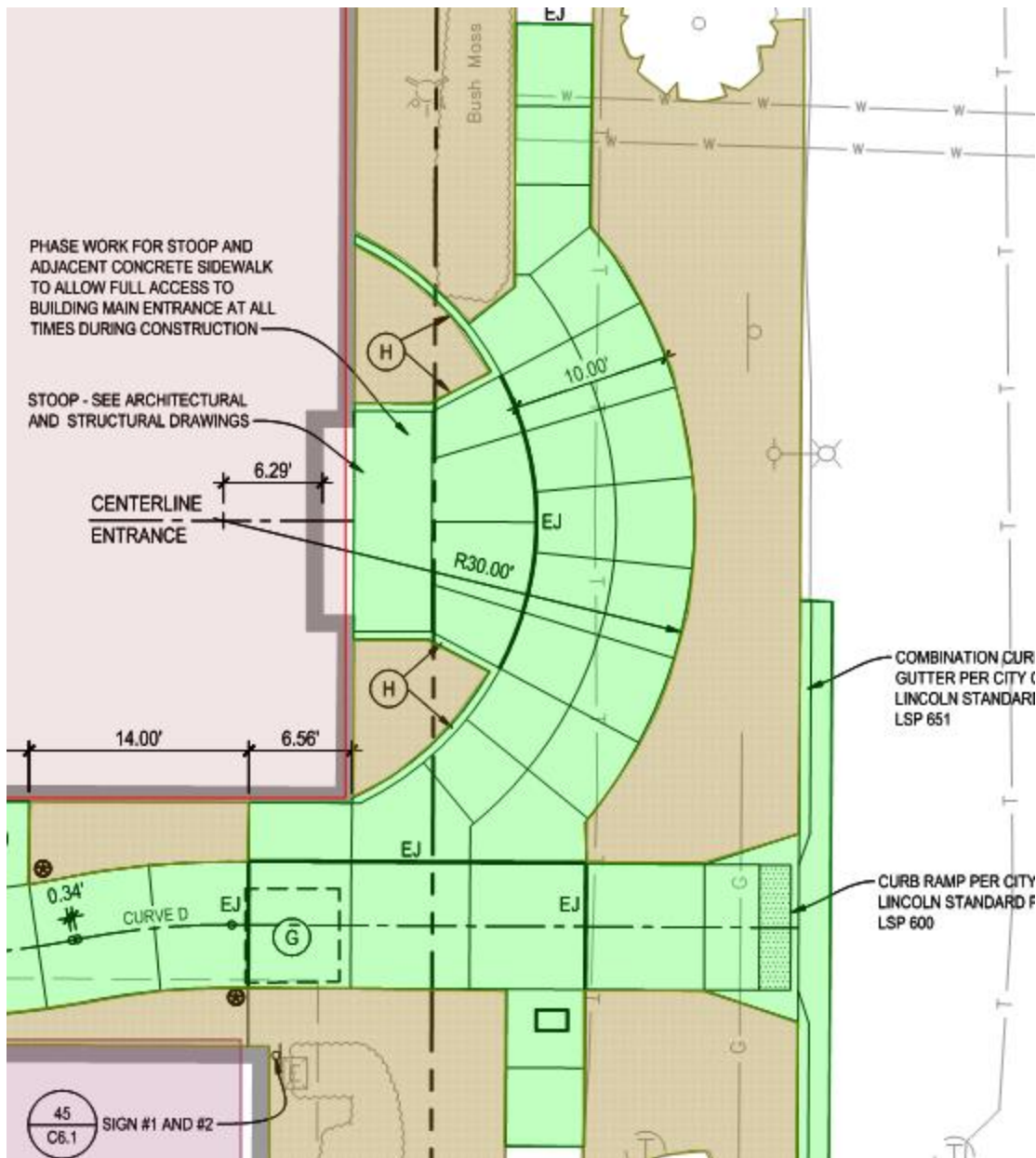
Plan Excerpt #1: Site Demolition Plan

Note the red colored segment is being removed for installation of new underground electrical feeders to the 501 building and the State Capitol. The area directly in front of the 501 building is removed to gain access to existing underground tunnel conduits being salvaged to facilitate critical power connections to the Capitol. The area to the rear of the 521 Executive Building will not be visible from the street and will contain two large generators within a fully louvered fence.



Plan Excerpt #2: New Site Plan

Note the green colored segment is the new pavement installed. This includes ADA access to the garage and to the front entry of the 501 building, which are non-existent and noncompliant, respectively. The tan colored area represents pervious landscape down the pedestrian-bike corridor where none exists today.



Plan Excerpt #3: New Site Plan (highlighting the 501 entry)

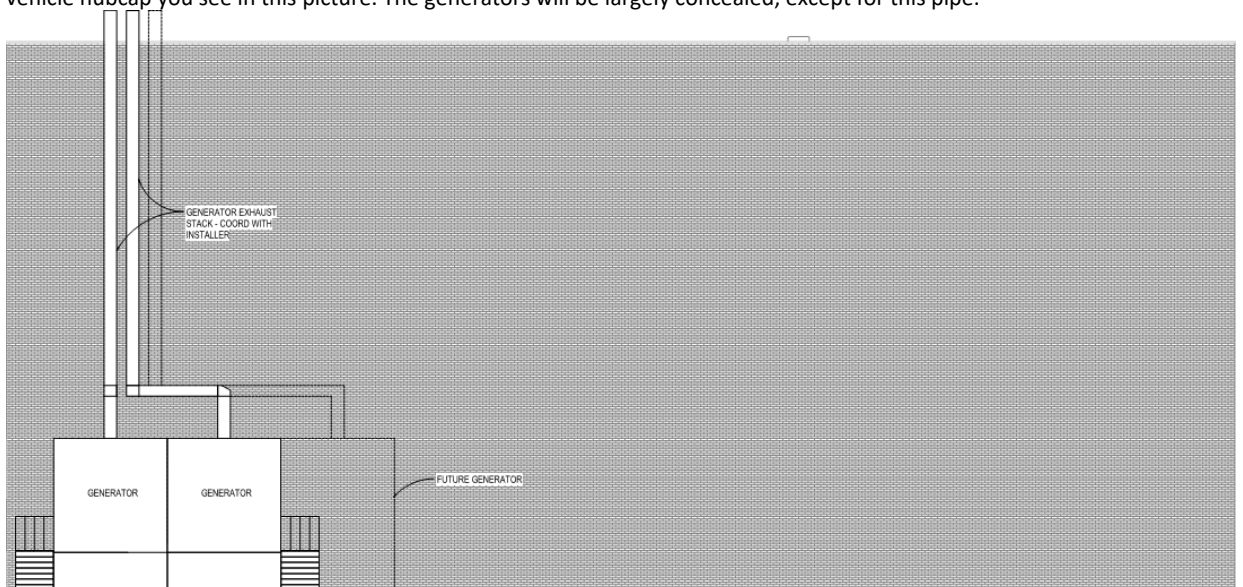
Note the existing 501 entry area. Today, no structural stoop exists. As the new pavement is installed, a stoop is being created. This will allow the existing doors to swing out and not be restricted to the existing recessed condition. In the future, should the State and Environs so determine, the existing recessed entry could be moved eastward, flush with the face of the building or to the stoop edge. Doing so would alleviate the existing, severe lobby congestion and State Patrol supervision issues that are currently experienced.

No changes are underway today, other than pavement changes to create an ADA compliant pedestrian corridor between the 501 and the 521 buildings to and from the parking garage.



Photo #4: Existing 501 alley to existing parking structure:

Note the view to the rear of the 501 building. The right-side wall nearest the rear of the structure will receive two approximately 15-inch diameter stainless steel pipes coming from the new screened emergency generator(s). These stainless-steel pipes will rise to the roof-line of the 501 building. One pipe will be visible in this view and approximately the size of the vehicle hubcap you see in this picture. The generators will be largely concealed, except for this pipe.



Plan Excerpt #4: South Elevation of 501 Data Center

Note the new generators and stainless-steel exhaust at the rear of the 501 structure.

Planning Stages

Although in the planning stages only, we are engaged in the preliminary designs to remove the existing roof-top cooling tower and roof-top air-handling equipment from the top of the 501 building.



Photo #5: Existing 501 Building as viewed from the 13th street traffic signal:

Note the view to the Capitol building has a large cooling tower (steaming 7x24x365) and a large air-handler on the roof. These are in the preliminary planning stages of being removed from sight.



Photo #6: Existing 501 Building as viewed from the Capitol Plaza:

Note the view from the Capitol building crosswalk shows the large cooling tower (steaming 7x24x365) and a large air-handler on the roof. These are in the preliminary planning stages of being removed from sight.

Thank you for your time and consideration.

Scott Gatewood, PE
DLR Group - Lincoln

CERTIFICATE

TO: David Cary, Planning Director
Jeff Searcy, Chair, NCEC

DATE: August 7, 2018

DEPT: Planning

FROM: Stacey Hageman

CC: NCEC

RE: Certificate of No Material Effect
for demolition at 608 S. 19th St.

The owner of 608 South 19th Street has applied for a certificate of no material effect for demolition of the single family residence on that property in the Nebraska Capitol Environs District.

Environs District **Design Standard 2: Proximity** states that:

... Other improvements within the District but not facing the Square or one of the Malls should not intrude upon the Capitol's setting and should contribute to the overall quality of the District.

Environs District **Design Standard 7: Demolition** states that:

Any requests for demolition permits within the District must be accompanied by detailed plans for redevelopment of the site in accord with these Design Standards. Applications for demolition and redevelopment shall be evaluated in light of the contribution of the site to the character of the District...

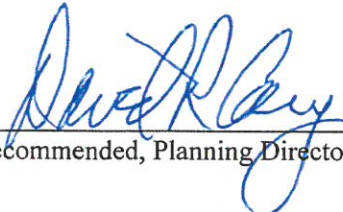
The residence is located on a nonstandard lot (about 1/3 the size of a standard lot) and is not facing the J Street/East Mall. I have communicated with the owner and while he does not currently have plans for redevelopment, a new structure would be limited to the house's existing footprint and I have emphasized that it would be subject to further review by the Commission. The residence is in poor repair and the Building & Safety Department has received multiple complaints from neighbors related to its condition. The home's demolition would improve the overall quality of the District.

The Capitol Environs District chapter of the zoning code outlines various certificates which may be obtained to carry out work in the District. Pertinent to this case is:

The Planning Director may recommend and the Chair of the Nebraska Capitol Environs Commission may issue a certificate of "no material effect" if the application is for minor work which is not restricted by the Standards, which has no material effect on architectural or landscape features of the District, and which is in harmony with the purposes of this ordinance.

The proposed demolition at 608 South 19th Street appears to qualify for such a certificate.

Therefore I request that the Planning Director recommend and the NCEC Chair approve this communication as a "certificate of no material effect."

 8/8/18
Recommended, Planning Director (date)

 8/8/18
Approved, NCEC Chair (date)

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