

Boards & Commissions

Urban Design Committee Agenda

NOTICE

Notice is hereby given that the Urban Design Committee will hold a meeting on **Tuesday, April 2, 2019 at 3:00 p.m.** in the County-City Building, 555 S. 10th Street, Lincoln, Nebraska, in **Room 210** on the 2nd Floor. For more information, please contact the Lincoln City/Lancaster County Planning Department at 402-441-7491.

AGENDA

APRIL 2, 2019

1. Approval of UDC meeting record of [March 5, 2019](#).

* [Memo from Stacey Hageman](#)

DISCUSS AND ADVISE

2. [Canopy Park Redevelopment](#) (Speedway/LHDC/Urban Dev. Dept.) - [UDR19011](#)
3. [9th & O Redevelopment](#) (Speedway/Urban Dev. Dept.) - [UDR19012](#)

DISCUSSION

4. Staff Report & misc.

TO: **URBAN DESIGN COMMITTEE**

FROM: Stacey Hageman

RE: Meeting of April 2, 2019

DATE: March 26, 2019

ITEM 2: Canopy Park Redevelopment

Speedway and the Lincoln Haymarket Development Corporation (LHDC) are seeking tax increment financing (TIF) to redevelop “Block 4”—bounded by N Street, Canopy Street, Arena Drive, and O Street. The developer is proposing a 6 story residential building with 235 residential units and about 11,000 SF of retail space. LHDC is proposing 82 units (included in the total above). They are working to provide affordable housing units at 60% area median income. The developer is also seeking a special permit to allow a building height up to 85 feet. The Committee’s advice is sought on this use of TIF and the project’s proposed design, which should include a recommendation on the special permit.



View from Canopy & N Streets, looking northwest

Plans, elevations, and renderings are attached. The U-shaped building is designed around a central courtyard that opens onto N Street. Speedway is developing the west and east sides of the building with Encompass Architects, shaded purple and red on the plans. LHDC is developing the north side of the building with Archi+Etc, shaded yellow on the plans.

The project contemplates a 6-level public parking garage to the west of the building with approximately 600 stalls. The developer is proposing private garage spaces for residents on each level that would be accessed through the public garage.

About 11,000 SF of retail space is proposed along Canopy Street with multiple opportunities identified for outdoor seating. The corner of Canopy and N Streets has been identified as a small plaza to include public art.

The courtyard space is intended to be semi-public with gates to be open during the day and secured at night. The fence is designed as an entrance feature to the courtyard with a covered walkway for resident circulation, design elements that relate to the building, and a sign identifying the project. The public space between the courtyard and the street will be designed at a later date.

Building materials are to include a combination of brick, metal panels, hardie panels, and concrete wall panels. Samples of the proposed materials will be presented at the meeting.

The height limit set by B-4 zoning in this area is 75 feet. The developer has applied for a special permit to exceed the maximum height, up to 85 feet. A special permit for increased height was approved for other projects in the area, which include the Hudl building (at Canopy & P) and a previous version of the Lumberworks Liner Building (at Canopy & N). Your recommendation is sought on the special permit scheduled for Planning Commission on April 17.

ITEM 3: 9th & O Redevelopment

Developers at 9th & O are proposing a new redevelopment project for their site. Speedway is seeking tax increment financing for a 6-story Holiday Inn Express & Suites. The City is asking for your advice on this use of public financing.



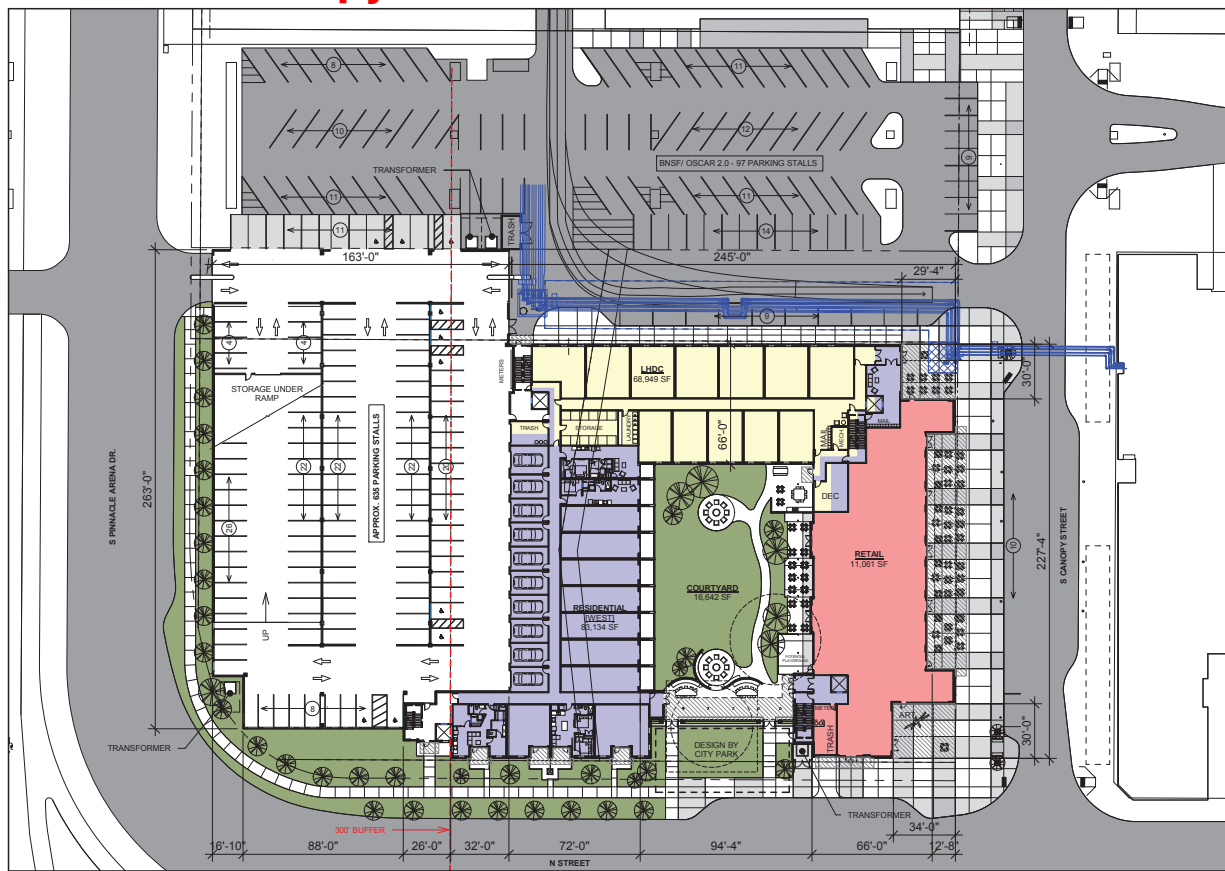
View from 9th & O Streets, looking southeast

The building will include a 139-key hotel with first floor amenities and 1,200 SF of retail space on the corner. See the attached plans, elevations, and renderings. The developer is proposing a drop-off area off of O Street that also provides access to a surface parking lot. Additional parking will be located on the lower level, accessible both from the parking lot and 9th Street.

The building's design includes a corner feature addressing its prominent intersection. Materials are proposed to be brick, metal panels, and stone. The surface parking lot is screened along O Street with brick columns, planters, and metalwork. The portion of the building above the parking is set back to provide variation along the street.

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ITEM 2: Canopy Park



Exterior Drawings Mayor Approval
 "These Exterior Drawings are in substantial conformation with the approved Schematic Drawings and are hereby approved this ___ day of ___, 20__."
 Chris Beutler, Mayor of the City of Lincoln

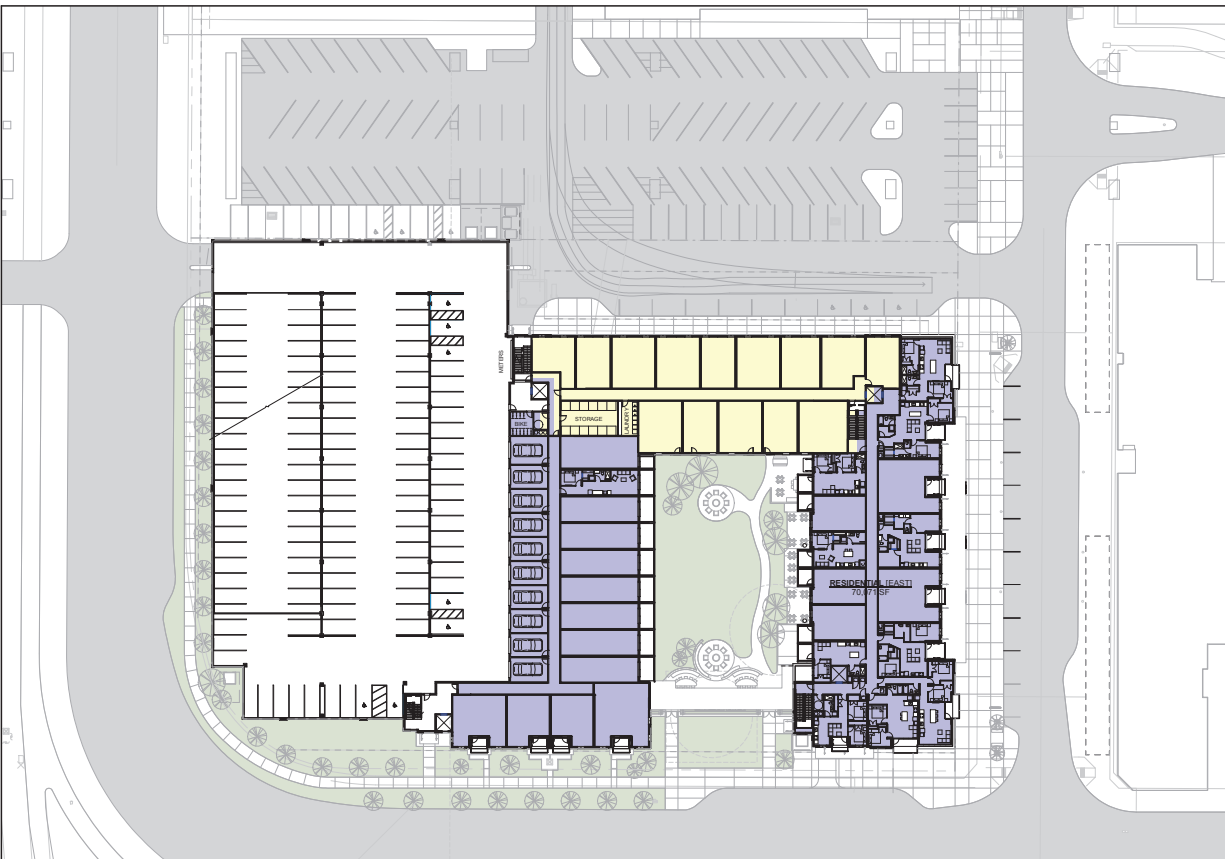
FIRST FLOOR PLAN

NOT FOR CONSTRUCTION

CONCEPTUAL DESIGN, NOT FOR PUBLICATION



BLOCK 4
 SPEEDWAY/ NELNET
 LINCOLN, NE
 Project No. 18-1403 03/26/19



Exterior Drawings Mayor Approval
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SECOND FLOOR PLAN

(SIMILAR AT LEVEL 3, 4, 5, AND 6)

NOT FOR CONSTRUCTION

CONCEPTUAL DESIGN, NOT FOR PUBLICATION



BLOCK 4
 SPEEDWAY/ NELNET
 LINCOLN, NE
 Project No. 18-1403 03/26/19



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② EAST ELEVATION
1 : 280



① SOUTH ELEVATION
1 : 280



BLOCK 4
SPEEDWAY/ NELNET
LINCOLN, NE
Project No. 18-1403 03/26/19

ELEVATIONS

NOT FOR CONSTRUCTION

CONCEPTUAL DESIGN, NOT FOR PUBLICATION



Exterior Drawings Mayor Approval

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① NORTH ELEVATION - LHDC
1 : 280



BLOCK 4
SPEEDWAY/ NELNET
LINCOLN, NE
Project No. 18-1403 03/26/19

ELEVATIONS

NOT FOR CONSTRUCTION

CONCEPTUAL DESIGN, NOT FOR PUBLICATION





Exterior Drawings Mayoral Approval

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Exterior Drawings Mayoral Approval

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CANOPY PARK

Exterior Drawings Mayoral Approval

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Chris Beutler, Mayor of the City of Lincoln



SIGN SIGN SIGN

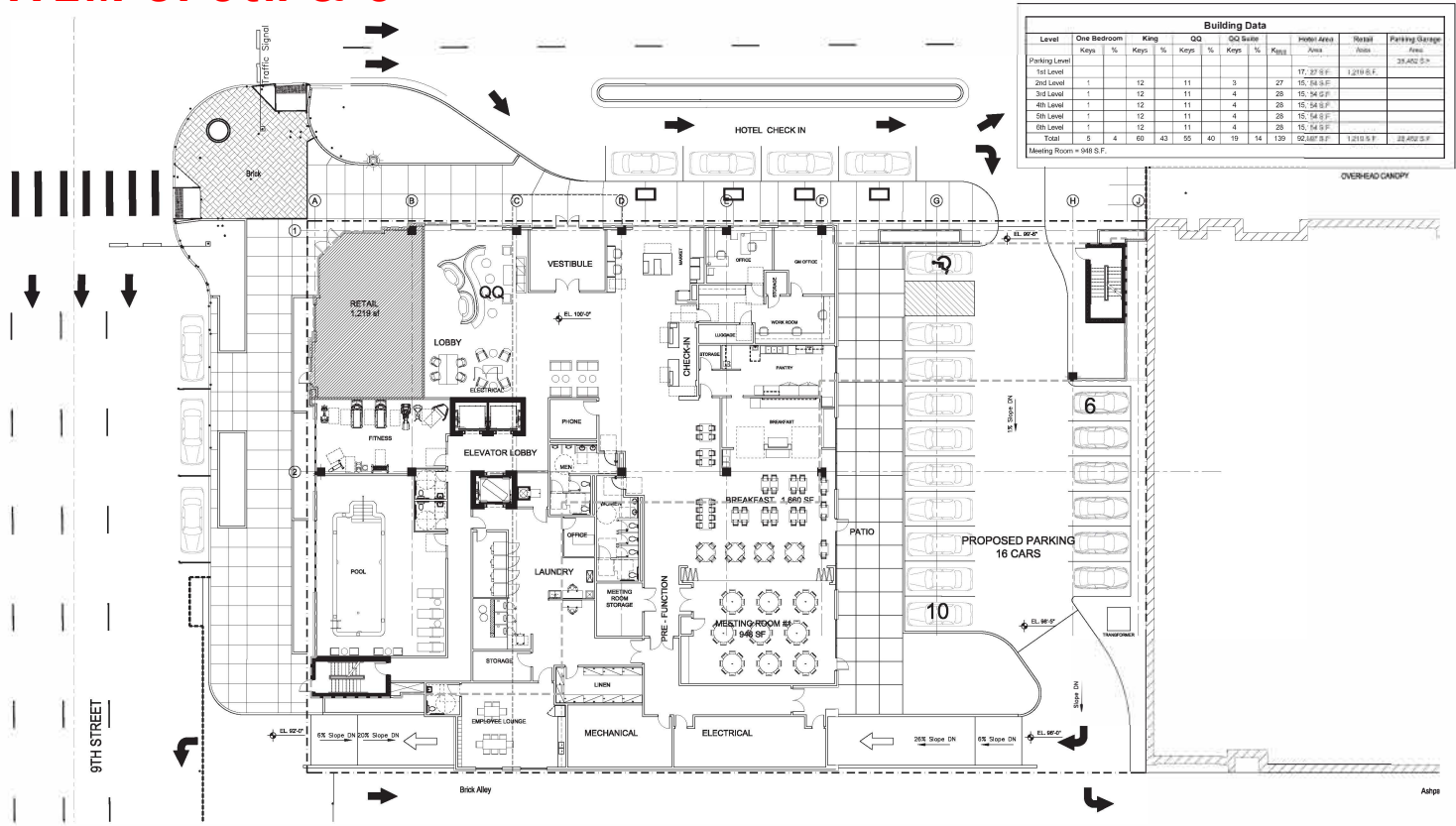
Exterior Drawings Mayoral Approval

These Exterior Drawings are in substantial conformation with the approved Schematic Drawings and are hereby approved this ____ day of _____, 20__.

Chris Beutler, Mayor of the City of Lincoln



ITEM 3: 9th & O



Building Data										
Level	One Bedroom	King	QQ	QQ Suite	Hotel Area	Retail	Parking Storage			
Parking Level	Keys	%	Keys	%	Keys	%	Keys	%	Area	Area
1st Level					17,37 S.F.				1,219 S.F.	33,402 S.F.
2nd Level	1	12	11	3	15,18 S.F.					
3rd Level	1	12	11	4	15,34 S.F.					
4th Level	1	12	11	4	28,15 S.F.					
5th Level	1	12	11	4	28,15 S.F.					
6th Level	1	12	11	4	28,15 S.F.					
Total	5	60	43	55	40	19	14	139	92,807 S.F.	1,219 S.F.
Meeting Room = 948 S.F.										

A PRELIMINARY SITE PLAN
1/8" = 1'-0"

LK Architecture
March 20, 2019

Holiday Inn Express & Suites
Lincoln, NE

A1



A NORTH ELEVATION
1/8" = 1'-0"

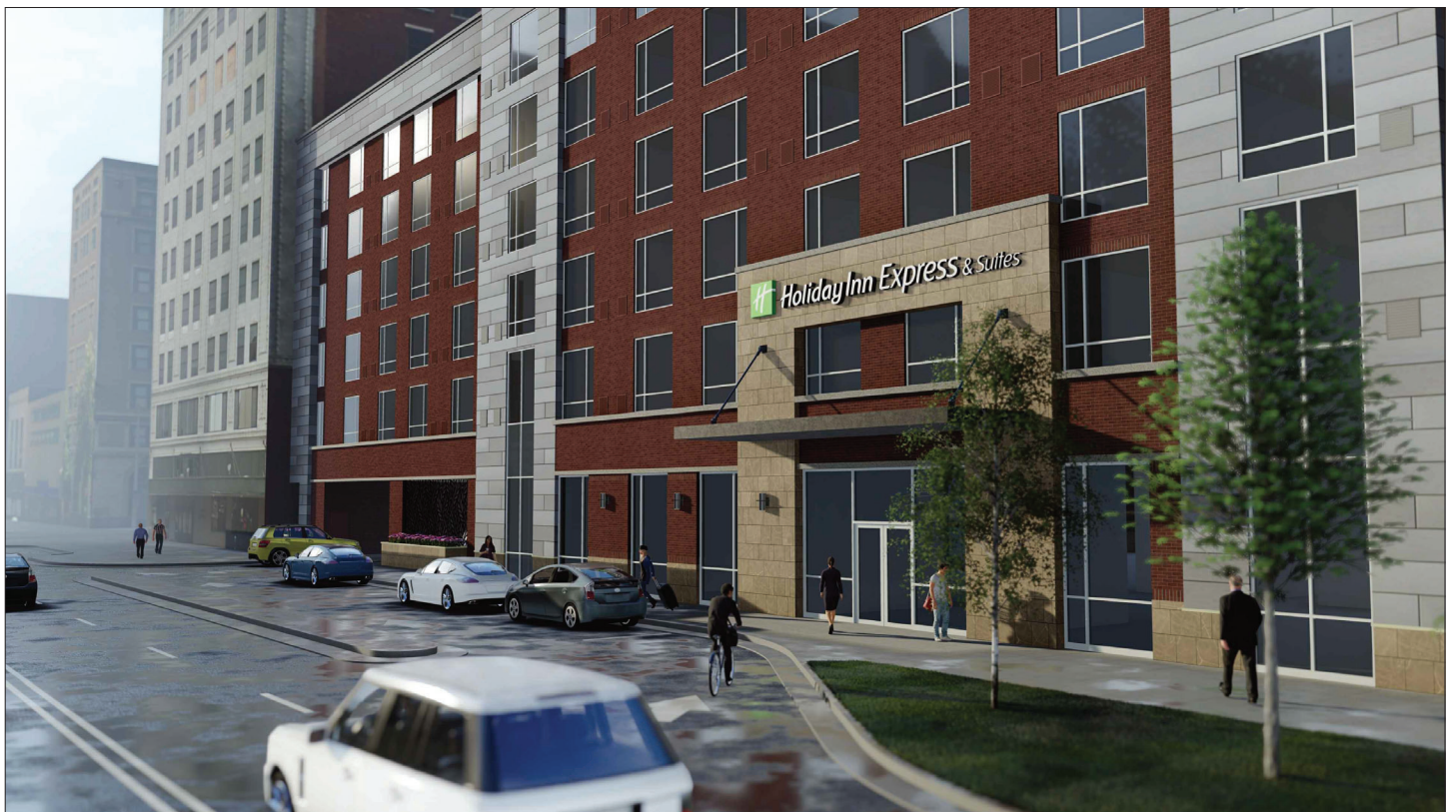
LK Architecture
March 20, 2019

Holiday Inn Express & Suites
Lincoln, NE

E1



A WEST ELEVATION
1/8" = 1'-0"



A PROPOSED RENDERING



A PROPOSED RENDERING

LK Architecture

March 20, 2019

Holiday Inn Express & Suites
Lincoln, NE

PR3



A PROPOSED RENDERING

LK Architecture

March 20, 2019

Holiday Inn Express & Suites
Lincoln, NE

PR4