

Boards & Commissions

Urban Design Committee Agenda

NOTICE

Notice is hereby given that the Urban Design Committee will hold a meeting on **Tuesday, January 8, 2019 at 3:00 p.m.** in the County-City Building, 555 S. 10th Street, Lincoln, Nebraska, in **Room 210** on the 2nd Floor. For more information, please contact the Lincoln City/Lancaster County Planning Department at 402-441-7491.

AGENDA

JANUARY 8, 2019

1. Approval of UDC meeting record of [December 4, 2018](#).

* [Memo from Stacey Hageman](#)

DISCUSS AND ADVISE

2. [Lied Place Residences, Streetscape & Materials](#) (Tam Allen/Urban Dev. Dept.) - [UDR18083](#)
3. [Neighborhood Design Standards, 701 S. 8th Street](#) (Josh Nix)
4. 33rd & Cornhusker Planning (Olsson Associates/Planning Dept.) - [UDR18076](#)

DISCUSSION

5. [Draft 2018 Annual Report](#)
6. Staff Report & misc.

TO: **URBAN DESIGN COMMITTEE**

FROM: Stacey Hageman

RE: Meeting of January 8, 2019

DATE: December 31, 2018

ITEM 2: Lied Place Residences, Streetscape & Building Materials

UDC advised the City on the proposed Lied Place Residences redevelopment project in November. The developer is returning to the Committee with plans for the Q Street streetscape as well as building material samples.

The attached plan show the elimination of the southernmost travel lane of Q Street in order to expand the narrow sidewalk adjacent the building. Because there is no “back-of-house” area available for the garage liner building, on-street parking is being eliminated to provide a loading area. The loading area is delineated from the pedestrian space with bollards.

The sidewalk is being enhanced with a rhythm of pavers and concrete patterning directly in front of the building. The pedestrian crossings on the south side of Q Street at 11th and 12th Streets are being reduced with proposed curb extensions at those intersections. An area for a potential sidewalk café is being shown. If it is to be constructed, more detailed plans will be brought to UDC for approval through the sidewalk café permitting process.

Expanded planting areas are being included in order to provide street trees. The east planting bed is proposed to house the building’s transformer which will be screened from the sidewalk with plant material.

The Committee’s advice is sought on these improvements in the public right-of-way and this use of tax increment financing.

ITEM 3: Neighborhood Design Standards, 701 S. 8th Street

Applicant Josh Nix is seeking your advice on his proposal for a “tiny house” to be constructed of three shipping containers on the southwest corner of 8th and H Streets. The applicant would like to get your initial feedback on the design as it relates to the Neighborhood Design Standards.

Preliminary plans are attached. It appears that the design does not meet two Standards in particular.

- ◆ *New buildings shall provide at least two openings (combination of windows and doors) per story oriented to the street including at least one window and an entrance to a dwelling unit.*

Because this is a corner lot and there isn’t a strong pattern of orientation on either street, the house can be oriented (with doors and windows) to either 8th Street or H Street. The proposed house

appears to be oriented to the south, away from either street with no openings on the H Street façade. Although the overhang of the second floor combined with its support columns mimic a door opening, the designs do not strictly meet this Standard.

- ◆ *Front porches are required, when half or more of the houses on the same and facing block fronts or on adjacent blocks have front porches. Front porches shall be equal in width to at least 50% of the length of the front façade.*

A pattern of front porches has been established on both block fronts, therefore the proposed design does not meet this Standard. Again, the patio and second floor overhang may mimic a porch but this Standard is not strictly met.

I will also note that if the proposed house was rotated so that the view looking northwest becomes the view looking southwest (see labeled perspective views, attached) the intent of these Standards may be met.

The Committee's advice is sought on this Neighborhood Design Standards matter. For your reference, when a design meets the Standards Planning Staff can approve it. The Planning Director can administratively grant waivers to the Standards with notice given to all *Potentially Aggrieved Parties*, but if the Planning Director denies requested waivers the applicant can appeal his decision to Urban Design Committee with notice published in the newspaper and a letter sent to the *Potentially Aggrieved Parties*. The required notice was not given for this month's meeting, so if an appeal is needed for this application it will return to the Committee.

ITEM 4: 33rd & Cornhusker Planning

Last month the Committee was briefed on the 33rd and Cornhusker Highway vicinity Subarea Plan and Corridor Enhancement Plan. Representatives from the City of Lincoln and Lincoln/Lancaster County Railroad Transportation Safety District will return this month to hear your advice on the drafted planning documents. The draft plans were previously provided to Urban Design Committee members and are available online at www.33rdcornhusker.com.

ITEM 5: Draft Annual Report

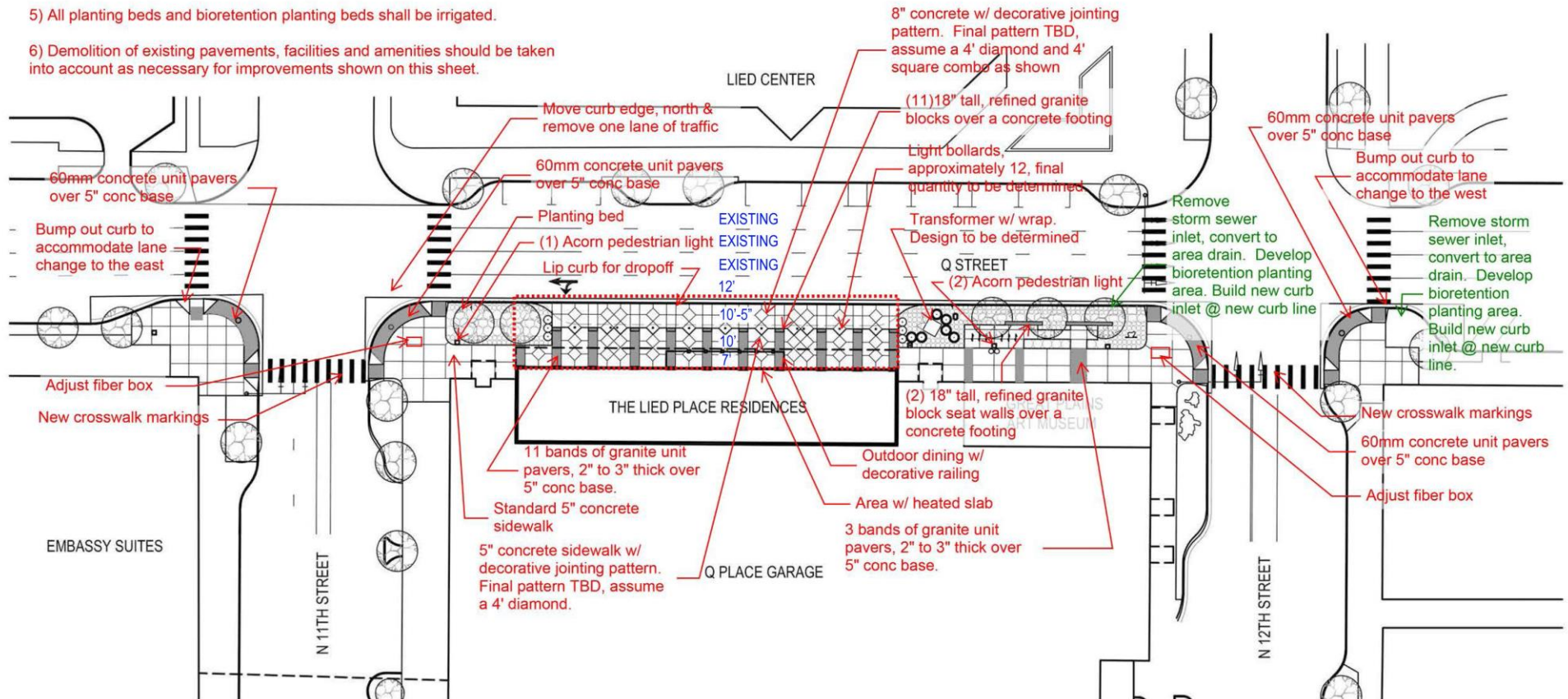
Urban Design Committee's draft 2018 Annual Report is attached for your review.

General Notes:

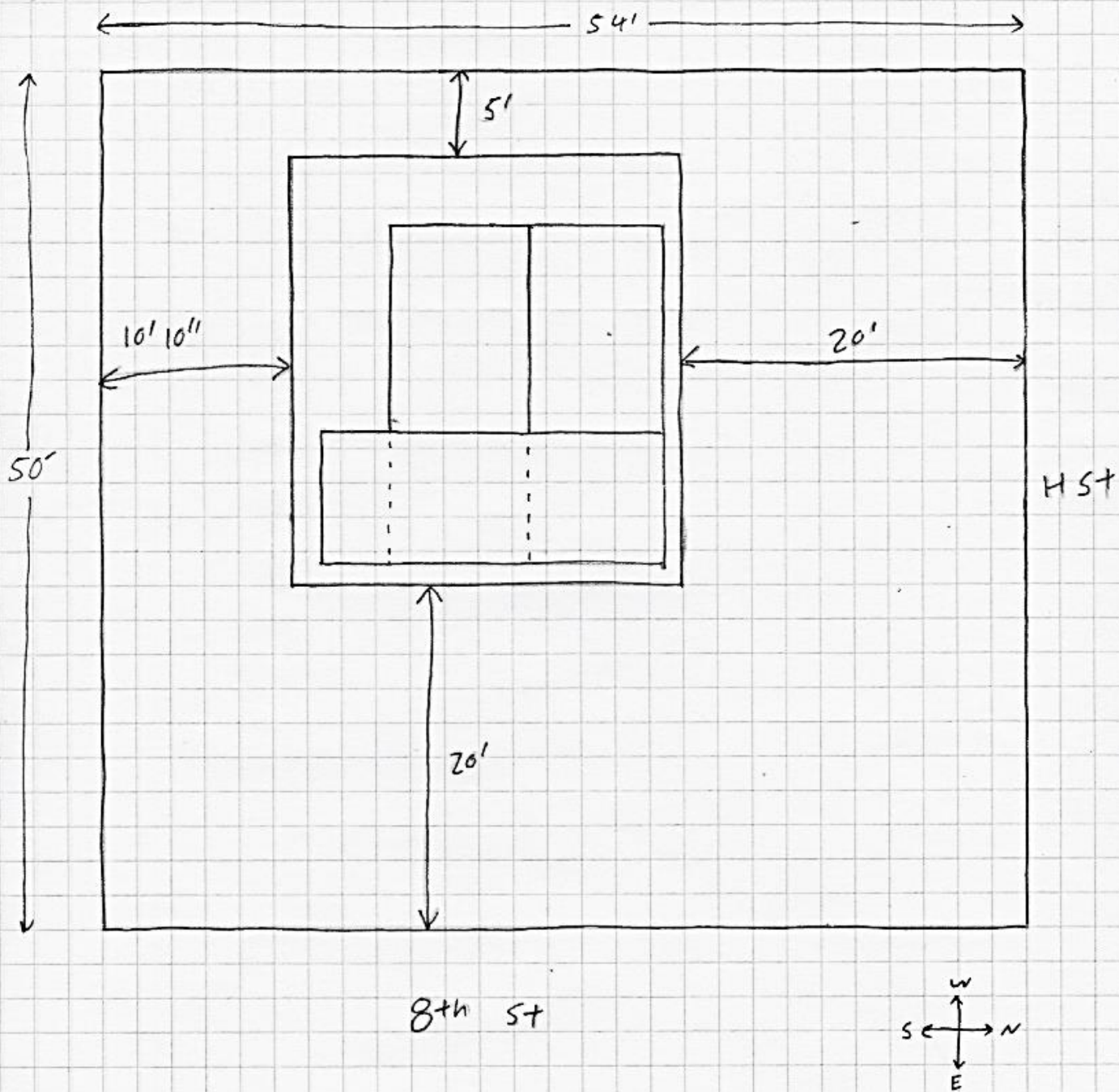
- 1) Site furniture should also be considered for this project, including (6) bike racks, trash receptacles and recycling receptacles.
- 2) An existing sculpture will need to be removed, protected and reinstalled including concrete footing.
- 3) Four City of Lincoln, standard, irrigated planters (pots) will be installed at the intersections.
- 4) City Parking Garage signage will need to be removed, protected and relocated, including associated electrical work.
- 5) All planting beds and bioretention planting beds shall be irrigated.
- 6) Demolition of existing pavements, facilities and amenities should be taken into account as necessary for improvements shown on this sheet.

Planting and Bioretention Notes:

- 1) Planting bed soil shall be 24" deep amended topsoil.
- 2) Bioretention soil shall be a 50/50 blend of sand and compost to an approximate 36" depth with a drain pipe and rock/sand filter similar to the P Street installation performed by Hausmann.
- 3) Assume a minimum of (3) 2 1/2" Caliper shade trees
- 4) Assume a minimum of (48) #3 container deciduous shrubs
- 5) Assume a minimum of (6) #10 container, large yews
- 6) Assume a minimum of (264) #1 container, perennials and native grasses
- 7) All planting beds and bioretention areas shall be mulched with a 3" depth of hard wood mulch.

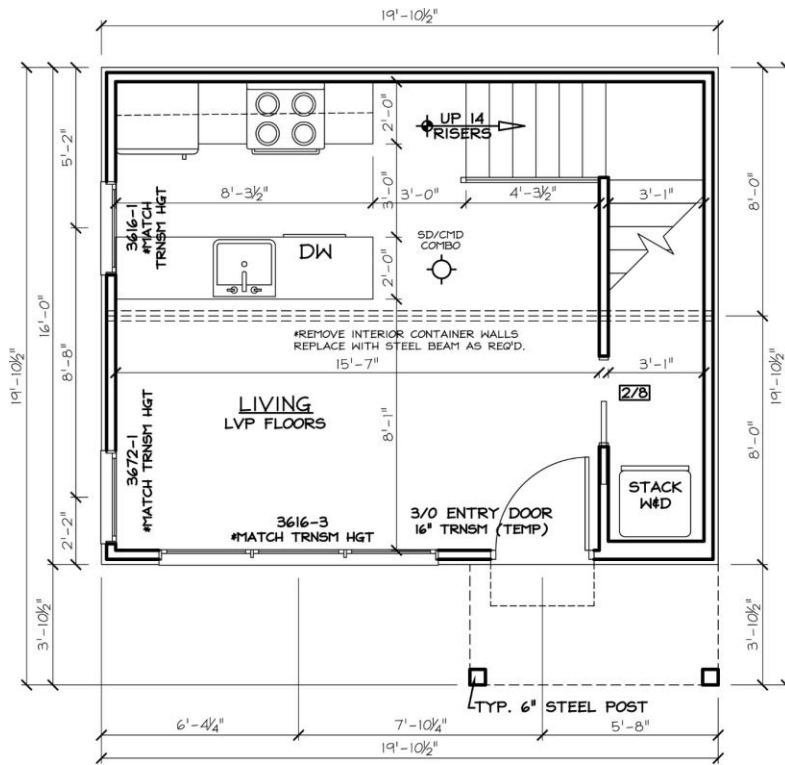


ITEM 3: Neighborhood Design Standards (701 S 8th St)



Site plan

- Buildable area 25' x 23'2"



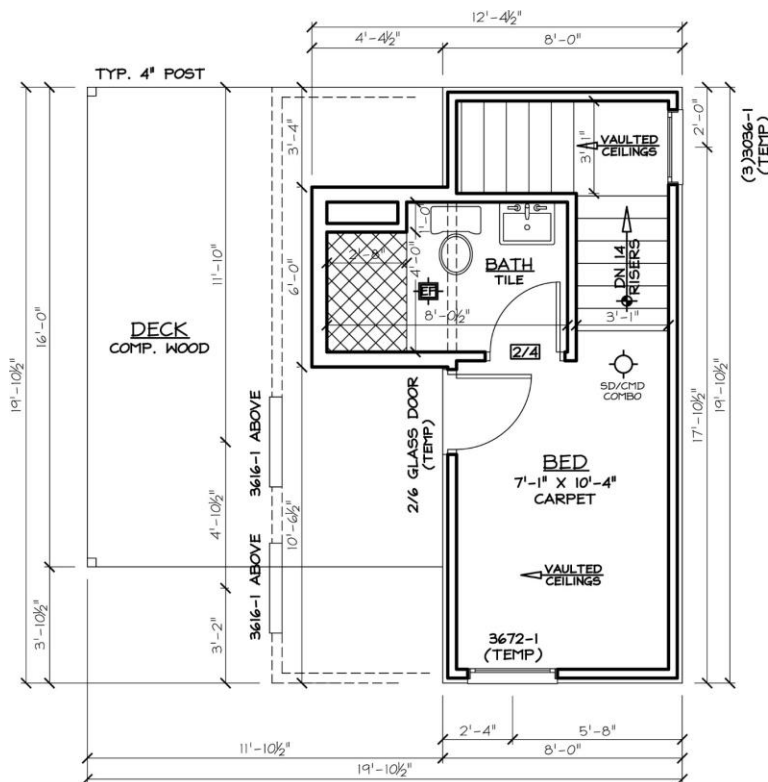
FIRST LEVEL

GENERAL NOTES: (UNLESS NOTED)

- FIRST LEVEL CEILING HEIGHT IS 8'-4"
- 2X6 SPF FRAMING CEILING
- INTERIOR STUD WALLS ARE 2X4 (3-1/2")
- EXTERIOR CONTAINER WALLS ARE (2")
- DIMENSIONS ARE TO FRAMING
- ALL HABITABLE ROOMS SHALL MEET THE IRC
- 8% FOR LIGHT & 4% FOR VENTILATION

AREA: (SQ.FT.)

FIRST LEVEL - 318
 SECOND LEVEL - 185
 TOTAL MAIN - 503
 FOUNDATION - SLAB
 GARAGE - NONE



SECOND LEVEL

GENERAL NOTES: (UNLESS NOTED)

- 2ND LEVEL CEILING IS VAULTED 2X8 SPF FRAMING
- INTERIOR STUD WALLS ARE 2X4 (3-1/2")
- EXTERIOR VAULTED AREAS ARE 2X6 (6")
- EXTERIOR CONTAINER WALLS ARE (2")
- DIMENSIONS ARE TO FRAMING
- ALL HABITABLE ROOMS SHALL MEET THE IRC
- 8% FOR LIGHT & 4% FOR VENTILATION

AREA: (SQ.FT.)

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View looking southwest



View looking northeast



View looking northwest



Urban Design Committee

2018 Annual Report

The Urban Design Committee was established by ordinance in 1981 to advise city government on enhancing the physical environment of our city to increase enjoyment of living in and visiting Lincoln. By Section 4.36 of the Lincoln Municipal Code, the Committee has seven appointed citizen members serving three year terms. The Committee meets as necessary on the first Tuesday of the month at 3 p.m.

Ten meetings were held in 2018. Urban Design Committee members at the beginning of 2018 included Michelle Penn (chair), Gill Peace (vice-chair), Amber Brannigan, Emily Casper, Tammy Eagle Bull, Tom Huston, and JoAnne Kissel. JoAnne Kissel resigned in February at the end of her term and the appointment of Trenton Reed followed. The Committee is staffed by Stacey Groshong Hageman, supported by Ed Zimmer and Teresa McKinstry.

The past year brought numerous projects to the Urban Design Committee for review and advice, as described below. The year also saw substantial progress of some significant projects reviewed in the previous years including the Haymarket and Lumberworks block streetscapes, Telegraph District, and the 48th and Leighton redevelopment.

Olsson Associates Phase II (Canopy & O Streets)

In September, Urban Design Committee reviewed phase two development of Olsson Associate's West Haymarket development. This companion to the first building—on the corner of Canopy and P Streets—incorporates the same building materials, and shares similar massing. The Committee expressed their support of the project and provided advice relating to streetscape enhancements.

Birdseye View of Existing & Proposed Buildings



OLSSON ASSOCIATES SINCLAIR hille architects

Lied Place Residences (11th & Q Streets)

The Committee heard plans for a high-rise residential tower on Q Street adjacent the Que Place Garage on the former Applebee's site in November. The City sought UDC's advice regarding the proposed use of TIF and UDC recommended the project's approval unanimously. The Committee will review building materials and the Q Street streetscape design in 2019.

Proposed 20
Story Mixed
Use Building ▶



Lincoln Sports Facility

A proposal for a new sporting facility at SW 14th Plaza and West O Street was reviewed by the Committee in April, May, and November. The developer sought tax increment financing (TIF). The initial proposal reviewed in April and May was eventually altered to reflect the site's geotechnical issues. The Committee's advice for this entryway project led to safer pedestrian movement, enhanced façade design, and increased landscaping.

Approved November Proposal ▼



Telegraph District

Urban Design Committee advised on the first phase of Telegraph District in 2016. The 401 Building is complete, the LT&T warehouse redevelopment is nearing completion as minor work occurs to finish tenant spaces, and the 333 Building redevelopment is substantially underway with an added storefront at the corner of 21st and L Streets.

The Committee reviewed the second phase plans of Telegraph District in 2017, advising on the Telegraph District PUD. A requirement of the PUD is that all new construction and major remodeling occurring in the district must be reviewed by Urban Design Committee. There were two such reviews in 2018.

In November, UDC reviewed plans for a major remodel of 1935 O Street. Proposed improvements to the building were characteristic of the district's branding, and were approved by the Committee.



Proposed Renovation of 1935 O Street

Plans for a new building, Telegraph Lofts, were reviewed by the Committee in December. This prominent corner building at 21st and N Streets will be mixed use. The proposed building includes underground parking, commercial on the ground floor, and residential and office above.

Telegraph Lofts Proposal



Design Standard Reviews

Infill projects that meet the Downtown and the Neighborhood Design Standards can be approved administratively by Planning staff, which occurred for almost two dozen projects in 2018. The Planning Director can administratively waive the Design Standards with notice to neighboring property owners. One project at 1635 P received these administrative waivers in 2018. UDC was briefed on the project at their September meeting and the Committee expressed their support of the project.

Applicants proposing alternative solutions to the Design Standards can appeal to UDC. The Committee handled two such requests. The first appeal was for a new housing development at 28th and Vine which incorporated shipping containers. The Committee recommended its approval. The second was a Community Unit Plan (CUP) at 54th and Roose. It was difficult to apply the standards as they address a building as it relates to the street and the adjacent houses along the street. The Roose Haven project and associated waivers to the Standards was approved by the Committee in September.

Proposed Roose Haven Units



Planning staff completed one review under the new Design Standards for Accessory Dwelling Units (ADUs) which were adopted in December 2017. This ADU at about 14th and Military was the first review under the new standards. It was found to meet the Standards and was approved administratively.

Other Reviews

Several public projects came to the Committee for their advice. LES brought their plans for phase two of the Operations Center near 98th and Rokeby Road in July, and the Lincoln Police Department brought their plans for a fleet maintenance facility at 100 Oakcreek Drive in December. The City also sought the Committee’s advice on designs for traffic signal box wraps in July, the 2018 Downtown Master Plan in October, a text amendment to relax parking requirements and increase screening and landscaping standards in November, and the 33rd and Cornhusker subarea plan in December.



Several other projects were reviewed by the Urban Design Committee in 2018. The Committee reviewed a redevelopment project near 32nd and O Street for Viet Hao in February; Lied Center shared their ideas for Capitol Parkway banners in July; and sidewalk cafés at Wendy’s and Yia Yia’s were reviewed in March and April, respectively.

Larry Enersen Urban Design Award

The Committee has annually recognized significant urban design enhancements to the City through the Larry Enersen Urban Design Award, which was initiated in 1984. Beginning in 2013, the Committee strengthened the award process by enlisting a “jury” of former UDC members and other design professionals to nominate award-worthy projects to the Committee for endorsement. The 2017 winner—announced in 2018—was the Renovation of Centennial Mall.

The citation noted the Centennial Mall design by Larry Enersen that was built for Nebraska’s statehood centennial in 1967 which transformed the seven blocks of 15th Street between the Capitol and UNL’s City Campus. It celebrated efforts by the Nebraska Capitol Environs

The jury’s recommendation and Committee’s choice for 2018 will be announced among the Mayor’s Arts Awards. The 2018 jury was co-chaired by Tom Huston and Gordon Scholz, with Margaret Berry, Tom Laging, Robert Ripley, and Planning staff support.

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