

URBAN DESIGN COMMITTEE

The City of Lincoln Urban Design Committee will have a regularly scheduled public meeting on Tuesday, **October 1, 2019**, at **3:00 p.m.** in Room 210 on the 2nd floor, County-City Building, 555 S. 10th Street, Lincoln, Nebraska, to consider the following agenda. For more information, contact the Planning Department at (402) 441-7491.

AGENDA

1. Approval of UDC meeting record of September 3, 2019.

DISCUSS AND ADVISE

2. Redevelopment at Cotner & P Street (Urban Dev.)
– *UDR19046*
3. Oriental Market/Stone Elephant Redevelopment (Urban Dev.)
– *UDR19061*
4. Campion Redevelopment (Campion/Urban Dev.)
– *UDR19048*

DISCUSSION

5. Staff Report & misc.: Enersen Urban Design Award, etc.

*Urban Design Committee's agendas may be accessed on the Internet at
<http://lincoln.ne.gov/city/plan/boards>*

ACCOMMODATION NOTICE

The City of Lincoln complies with Title VI of the Civil Rights Act of 1964 and Section 504 of the Rehabilitation Act of 1973 guidelines. Ensuring the public's access to and participating in public meetings is a priority for the City of Lincoln. In the event you are in need of a reasonable accommodation in order to attend or participate in a public meeting conducted by the City of Lincoln, please contact the Director of Equity and Diversity, Lincoln Commission on Human Rights, at 402 441-7624 as soon as possible before the scheduled meeting date in order to make your request.

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TO: **URBAN DESIGN COMMITTEE**

FROM: Stacey Hageman

RE: Meeting of October 1, 2019

DATE: September 25, 2019

ITEM 2: Redevelopment at Cotner & P Street

This redevelopment project, proposing to redevelop property at 225 North Cotner Boulevard into a residential building with 153 units, is returning to you for review of their landscape plan. The proposed landscape plan is attached.

At the September meeting, the Committee suggested that the developer take a closer look at materials and the related context. Images of area materials are provided in the attachment along with more details on this building's proposed materials.

ITEM 3: Oriental Market/Stone Elephant Redevelopment

The Oriental Market at 27th and T Street is looking to remodel their existing building and add on to it. The Committee's advice is sought on this potential tax increment financing project.



Existing Oriental Market Building

The project involves the renovation of the existing 5,500 square foot Oriental Market building, a 5,500 square foot addition to the north, and the expansion of the existing surface parking lot. Plans and elevations are attached.

A landscape plan is included for your review. Although it meets the screening and landscaping design standards, I would suggest the Committee recommend that the landscaping be carried around the existing portion of the parking lot.

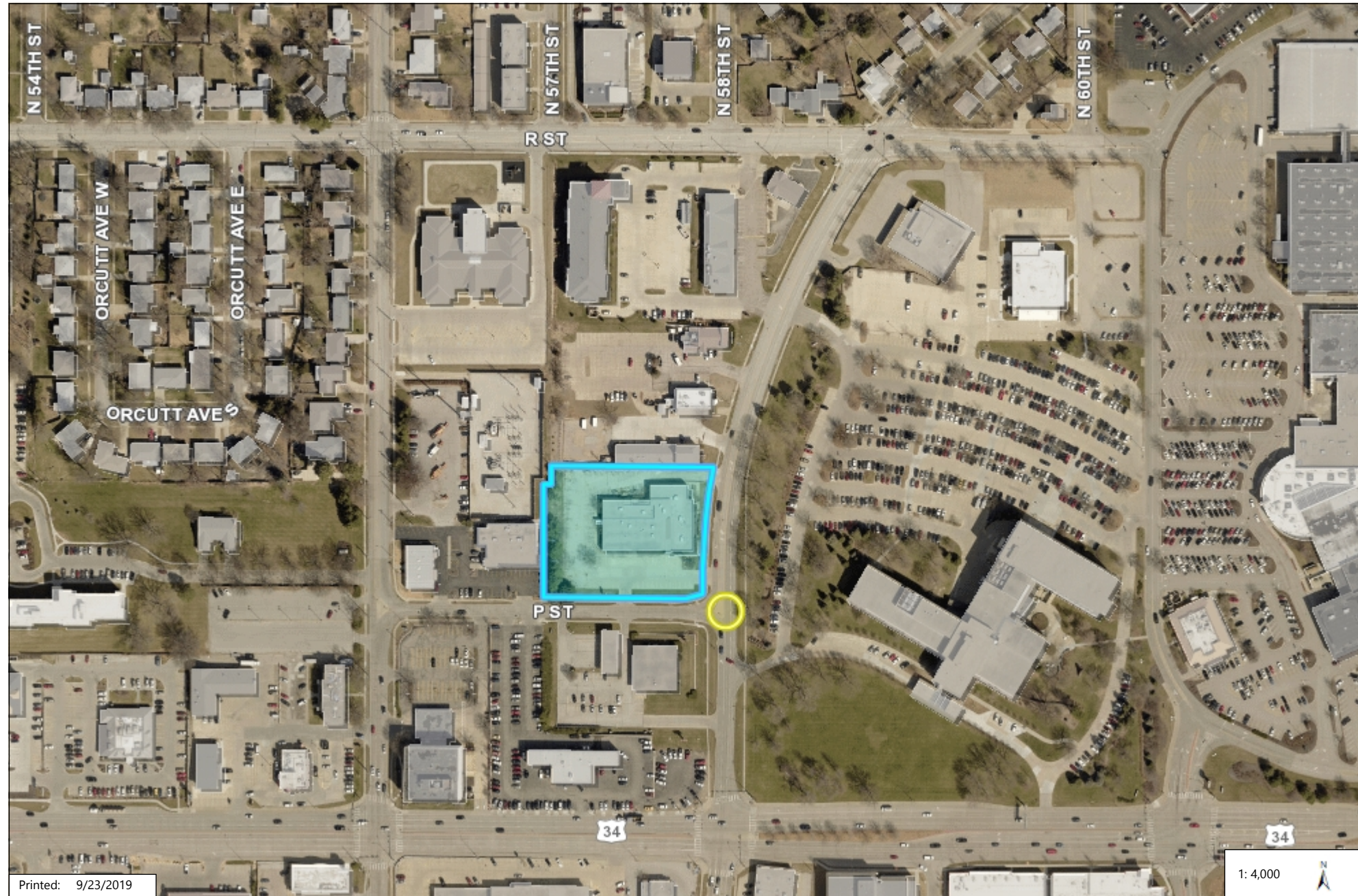
ITEM 4: Campion Redevelopment

Campion is proposing a student housing project on the block bounded by 9th, 10th, L and M Streets. The Committee reviewed their proposal in September. We will continue to work with them on refinements to the building, and if they've made substantial progress before the meeting we will bring it to you.

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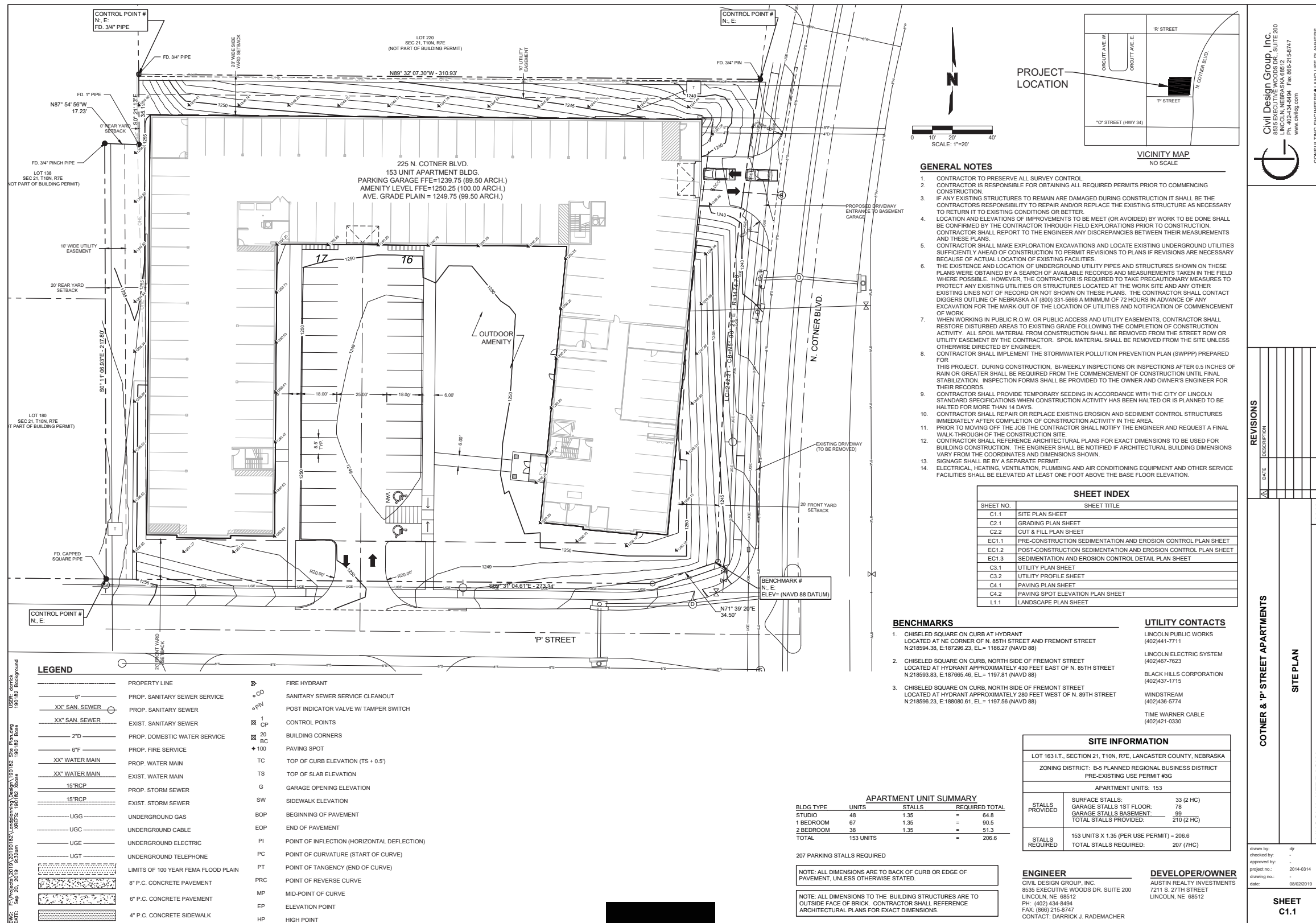
CIP COTNER APARTMENTS

vicinity map



CIP COTNER APARTMENTS

site plan



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2019.09.23

CIP COTNER APARTMENTS

landscape plan

Combination of upright form deciduous and coniferous trees, decorative grasses, taller height shrubs and vines

Perimeter planter per landscape standards section 7.3

Tuliptree street tree along P Street

Perimeter planter per landscape standards section 7.3

Ginkgo biloba 'Fastigiata' street tree along Cotner

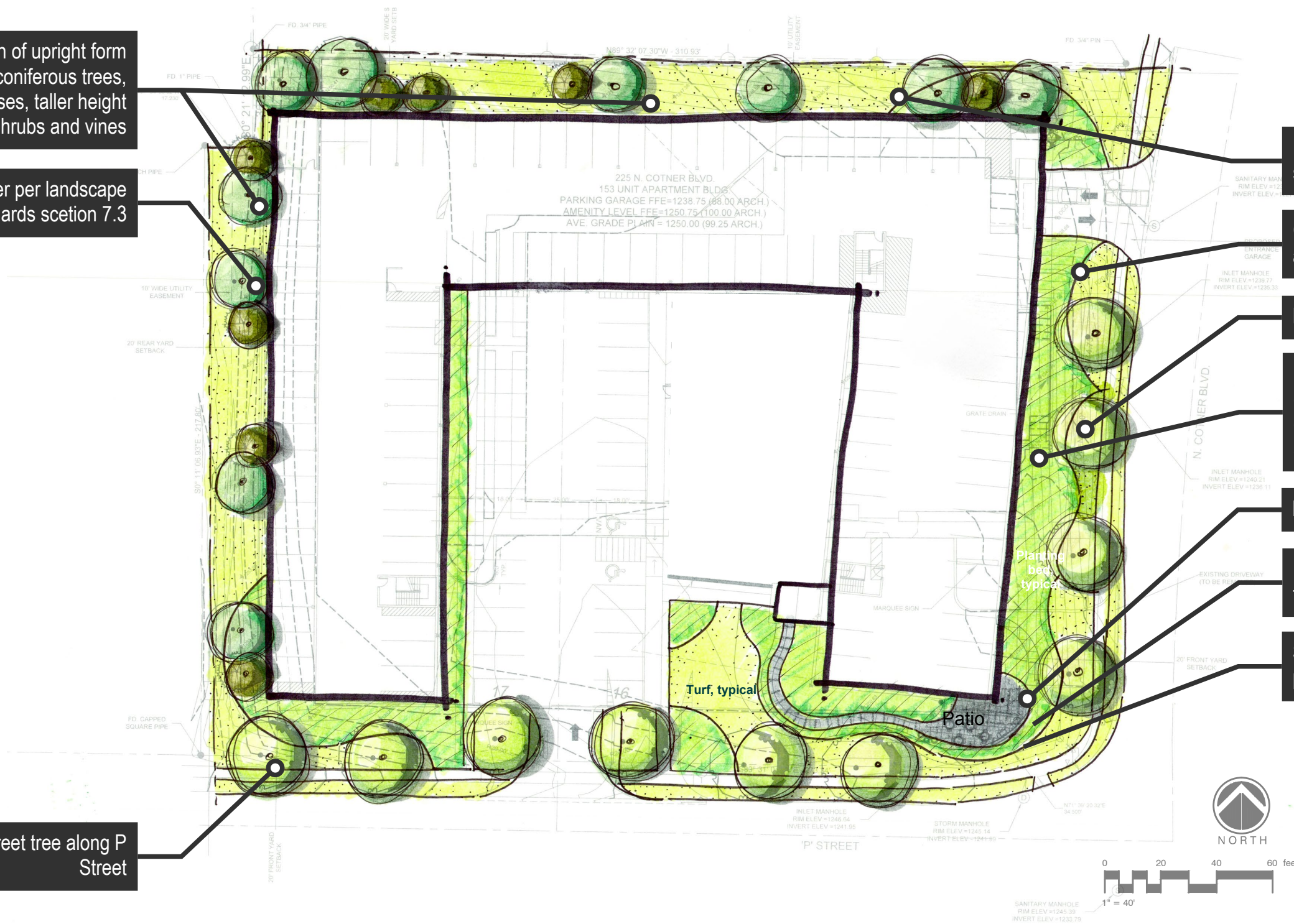
Leveled turf dog rest station

Combination of upright form deciduous and coniferous trees, decorative grasses, taller height shrubs and vines to screen garage

Project patio with grills and seating

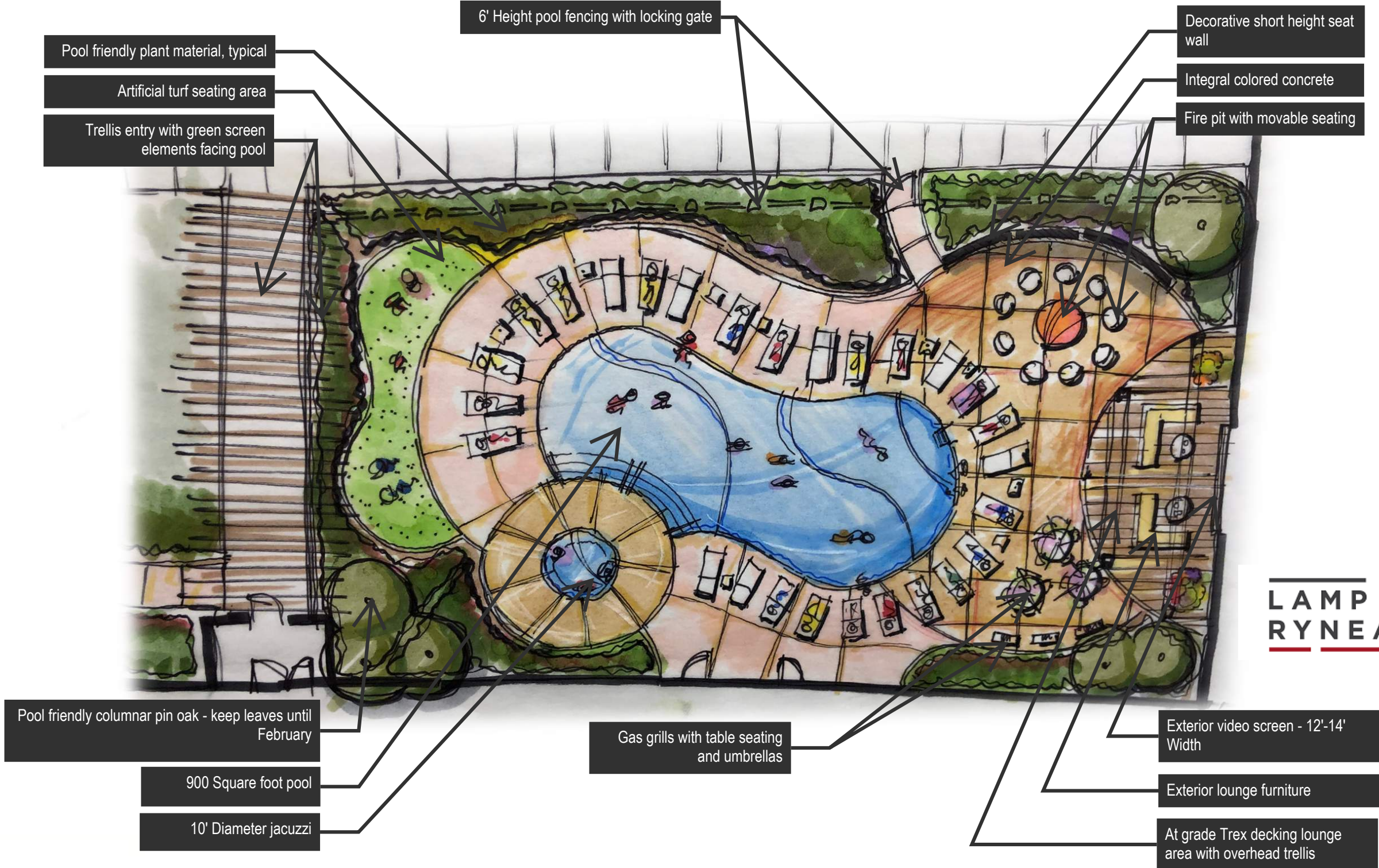
Project signage built into patio feature

Short height groundcover in front of project signage



CIP COTNER APARTMENTS

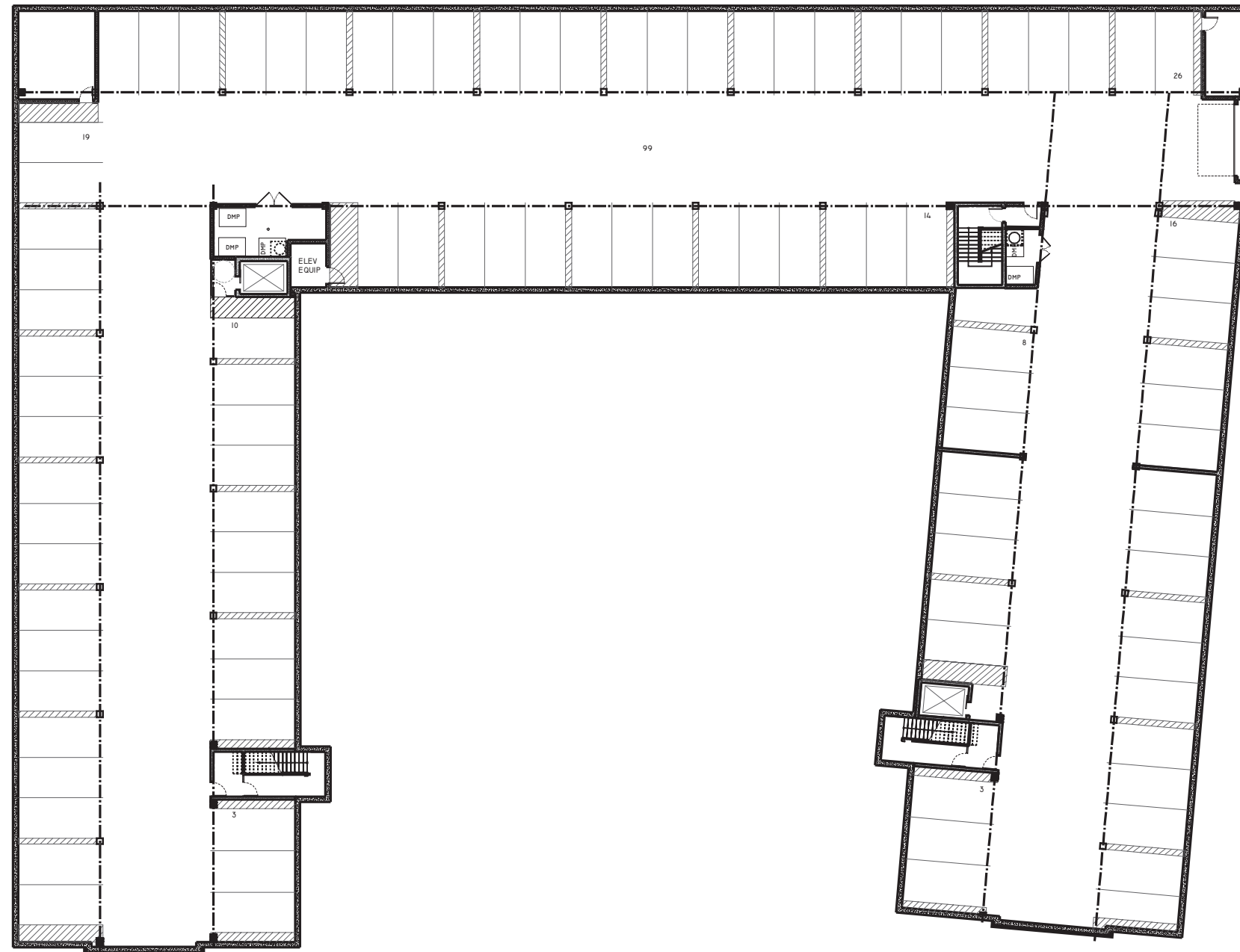
amenities



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CIP COTNER APARTMENTS

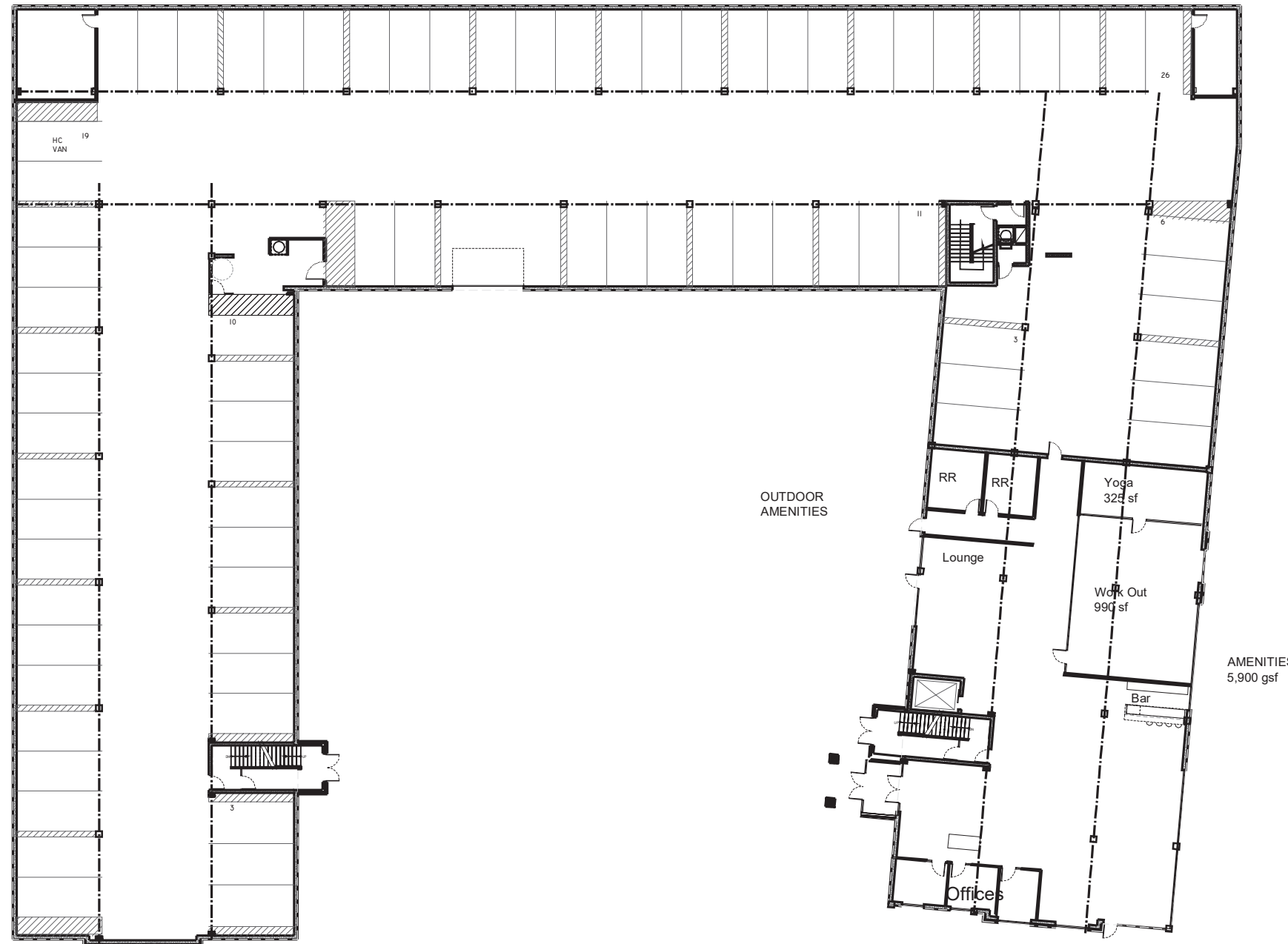
floor plans



LOWER LEVEL - PARKING

CIP COTNER APARTMENTS

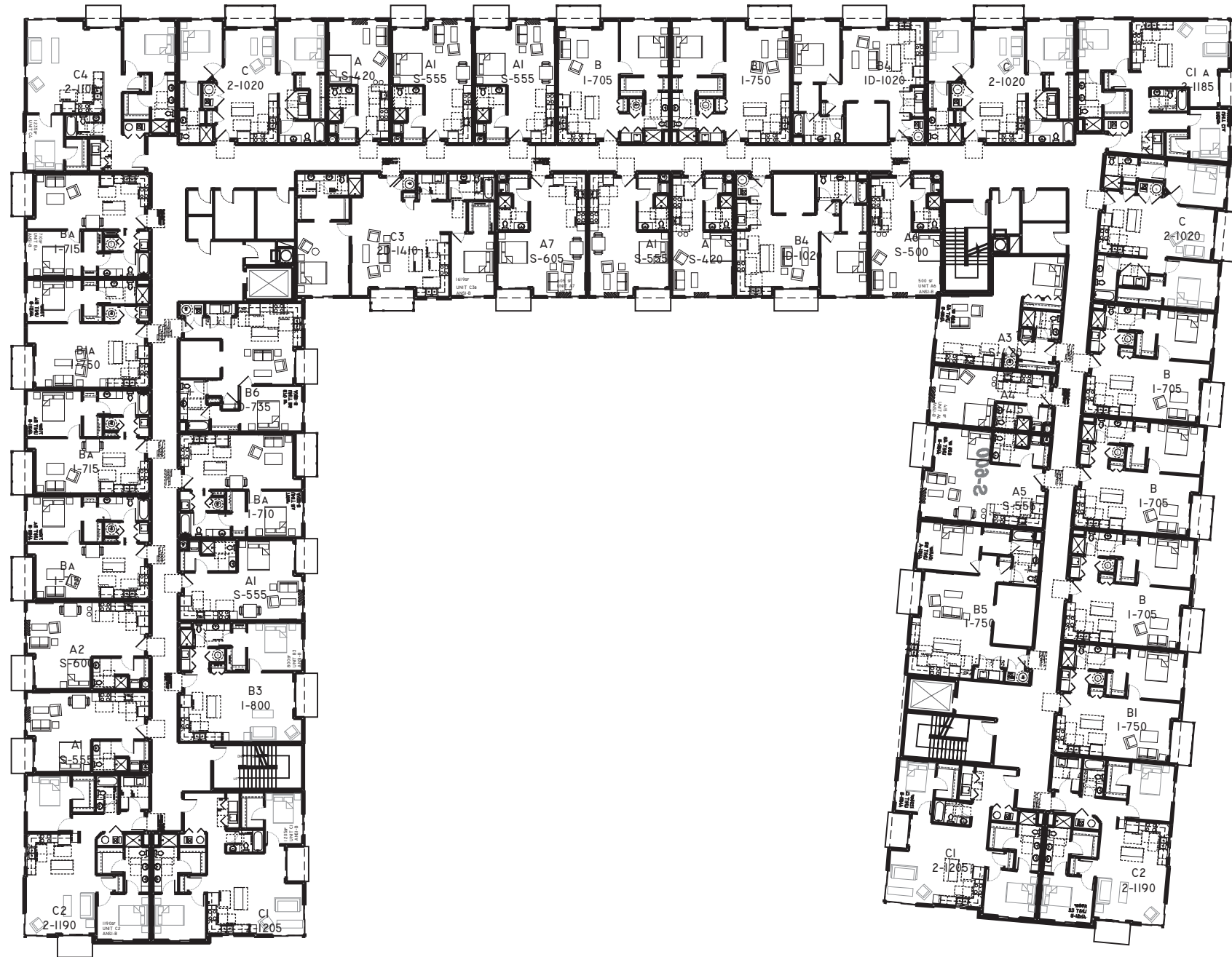
floor plans



MAIN LEVEL - PARKING & AMENITY

CIP COTNER APARTMENTS

floor plans



SECOND-FOURTH LEVEL - APARTMENTS



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CIP COTNER APARTMENTS

context



Great Western Bank
TEXTURE AND COLOR



56th and O
EXPOSED CAST CONCRETE



52nd and O
LIMESTONE TEXTURED



Stock Photo
VERSA LOK SIDING



LPS 58th and O
METAL PANELS AND
GLAZING



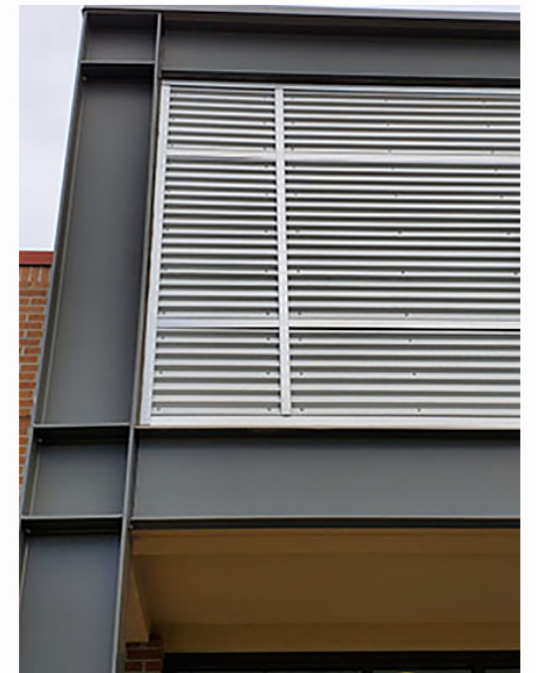
Great Western Bank
TRAVERTINE



Ameritas
LIMESTONE SMOOTH



LPS 58th and O
COMBINATION OF MATERIALS



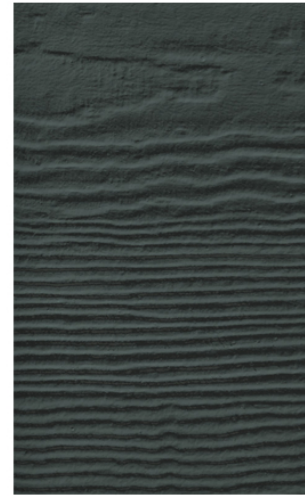
58th and O
CORRUGATED SIDING

CIP COTNER APARTMENTS

materials



DOORS AND WINDOWS
LIGHT GRAY



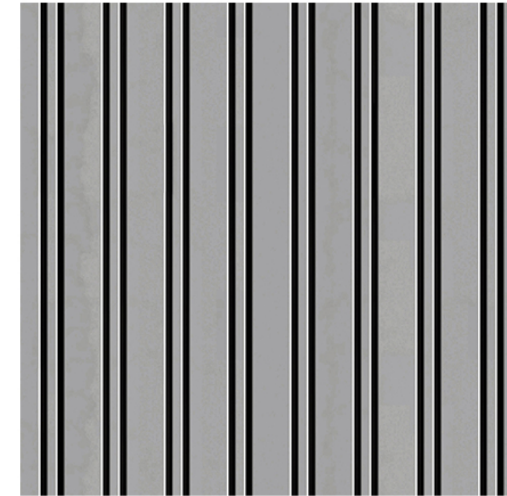
IRON GRAY



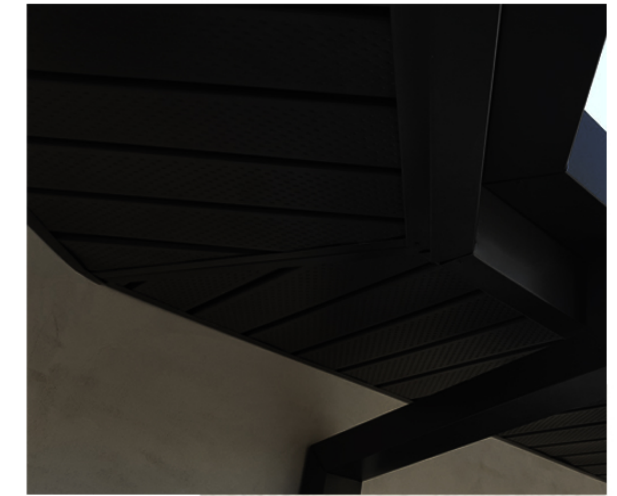
GRAY SLATE



VERSA LOK-
GRAY



CORRUGATED METAL



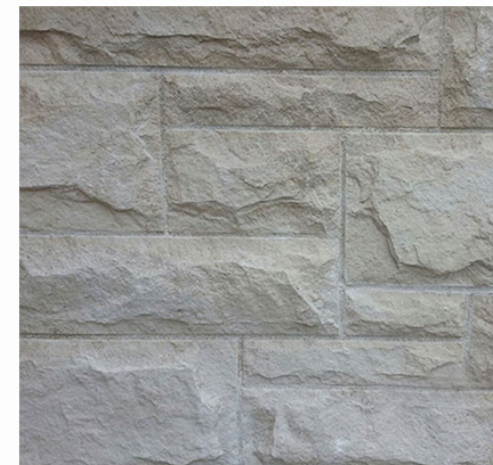
SOFFIT & FASCIA - BLACK



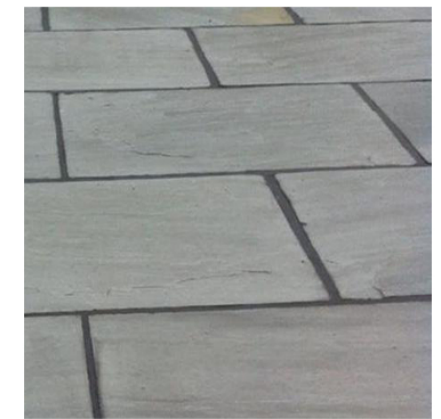
HANDRAIL-
BLACK



CEDAR



TEXTURED
LIMESTONE



LIMESTONE

CIP COTNER APARTMENTS

exterior



view from southeast

CIP COTNER APARTMENTS

exterior



view from northeast



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CIP COTNER APARTMENTS

exterior



view from southwest



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CIP COTNER APARTMENTS

exterior



view from above



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CIP COTNER APARTMENTS

exterior



view from northwest

CIP COTNER APARTMENTS

elevation



east

CIP COTNER APARTMENTS

elevation



south

CIP COTNER APARTMENTS

elevation



west

CIP COTNER APARTMENTS

elevation



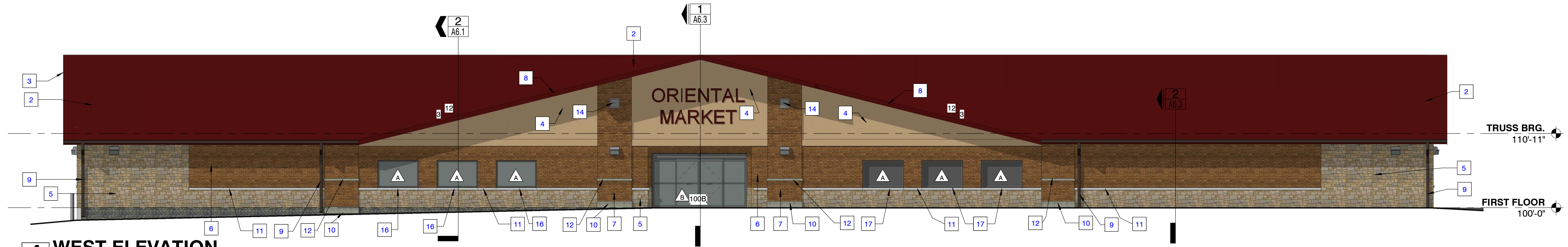
north



5 EXTERIOR PERSPECTIVE

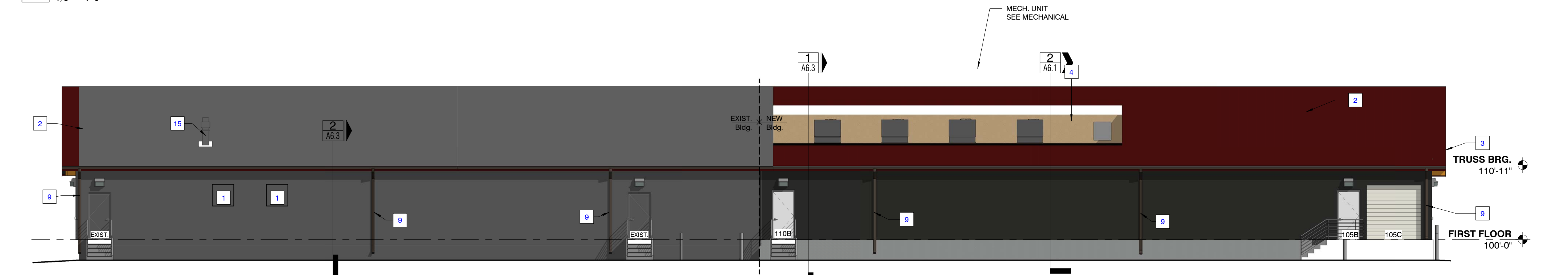
A5.1 1/2" = 1'-0"

- SHEET KEYNOTES**
- 1 INFILL WALL AT EXISTING EXHAUST FAN LOCATION - MATCH MATERIALS TO EXISTING WALL MATERIAL
 - 2 PRE-FINISHED METAL ROOF ON 8/32" EXTERIOR PLYWOOD SHEATHING
 - 3 PRE-FINISHED METAL ROOF RAKE EDGE TRIM
 - 4 EIFS ON FLUID APPLIED AIR BARRIER ON 5/8" EXTERIOR PLYWOOD SHEATHING
 - 5 THIN STONE VENEER - SEE SPECS FOR SELECTION
 - 6 THIN BRICK VENEER - SEE SPECS FOR SELECTION
 - 7 THIN BRICK VENEER (ACCENT COLOR) - SEE SPECS FOR SELECTION
 - 8 PRE-FINISHED METAL WRAPPED 2X FASCIA-SEE DETAIL
 - 9 PRE-FINISHED ALUMINUM 4" X 5" DOWNSPOUT
 - 10 ARCHITECTURAL CAST CONCRETE BASE
 - 11 ARCHITECTURAL CAST CONCRETE SILL
 - 12 ARCHITECTURAL CAST CONCRETE ACCENT
 - 13 ARCHITECTURAL CAST CONCRETE WALL CAP
 - 14 ARCHITECTURAL PRE-CAST INSERT MEDELION
 - 15 EXHAUST AIR - SEE MECHANICAL
 - 16 MANUFACTURED STONE SILL
 - 17 NEW MANUFACTURED STONE SILL



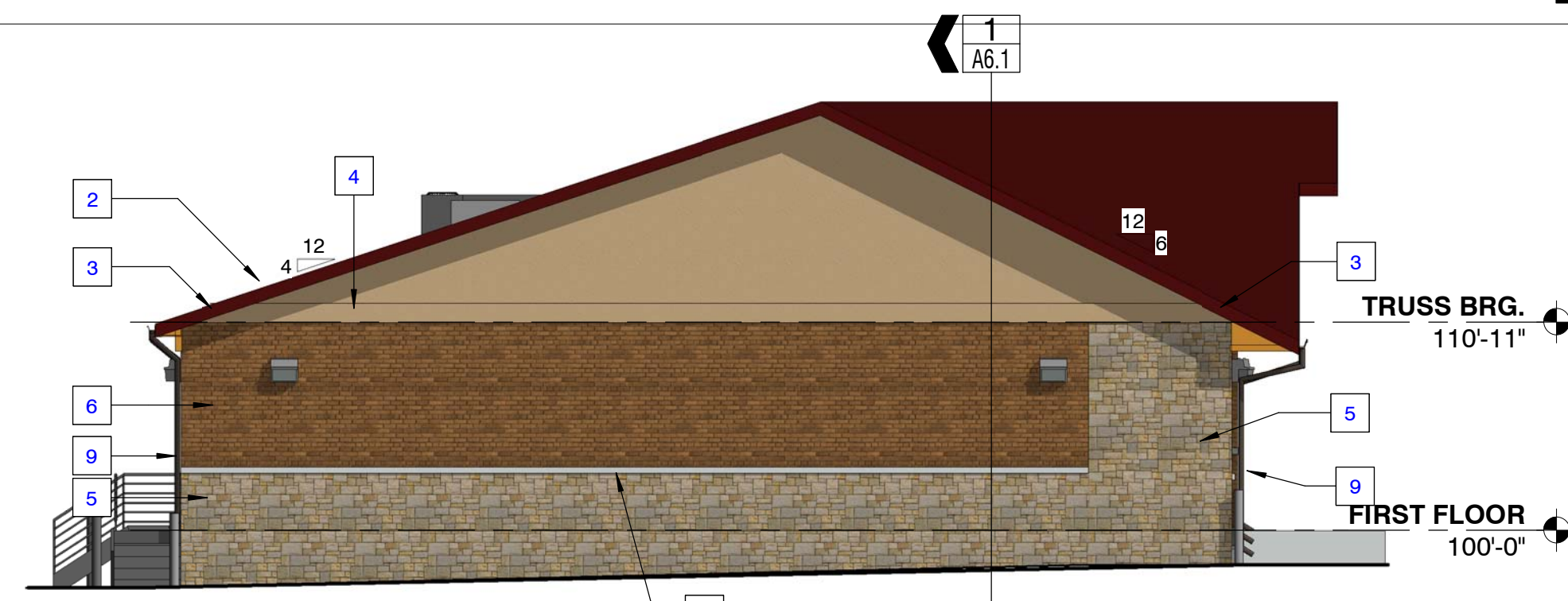
4 WEST ELEVATION

A5.1 1/8" = 1'-0"



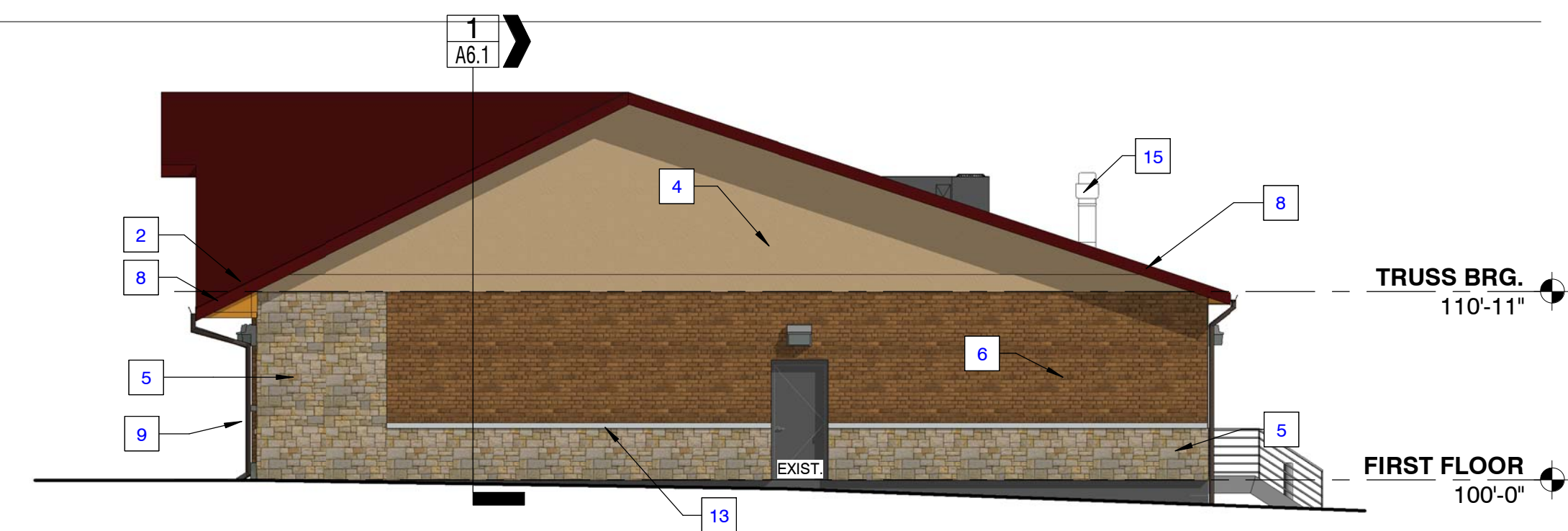
3 EAST ELEVATION

A5.1 1/8" = 1'-0"



1 NORTH ELEVATION

A5.1 1/8" = 1'-0"



2 SOUTH ELEVATION

A5.1 1/8" = 1'-0"

EXTERIOR ELEVATIONS

SCALE: AS NOTED



Architectural Design Associates

Suite 105
7501 O' Street
Lincoln, Nebraska 68510
www.adalincoln.com
tel 402 486 3232

Preliminary
Not for
Construction
9/24/2019
9:09:41 AM

ORIENTAL MARKET
ADDITION
610 N 27TH ST.
LINCOLN, NE

Project Number
18-136
Date
9-19-2019
Revisions
Date

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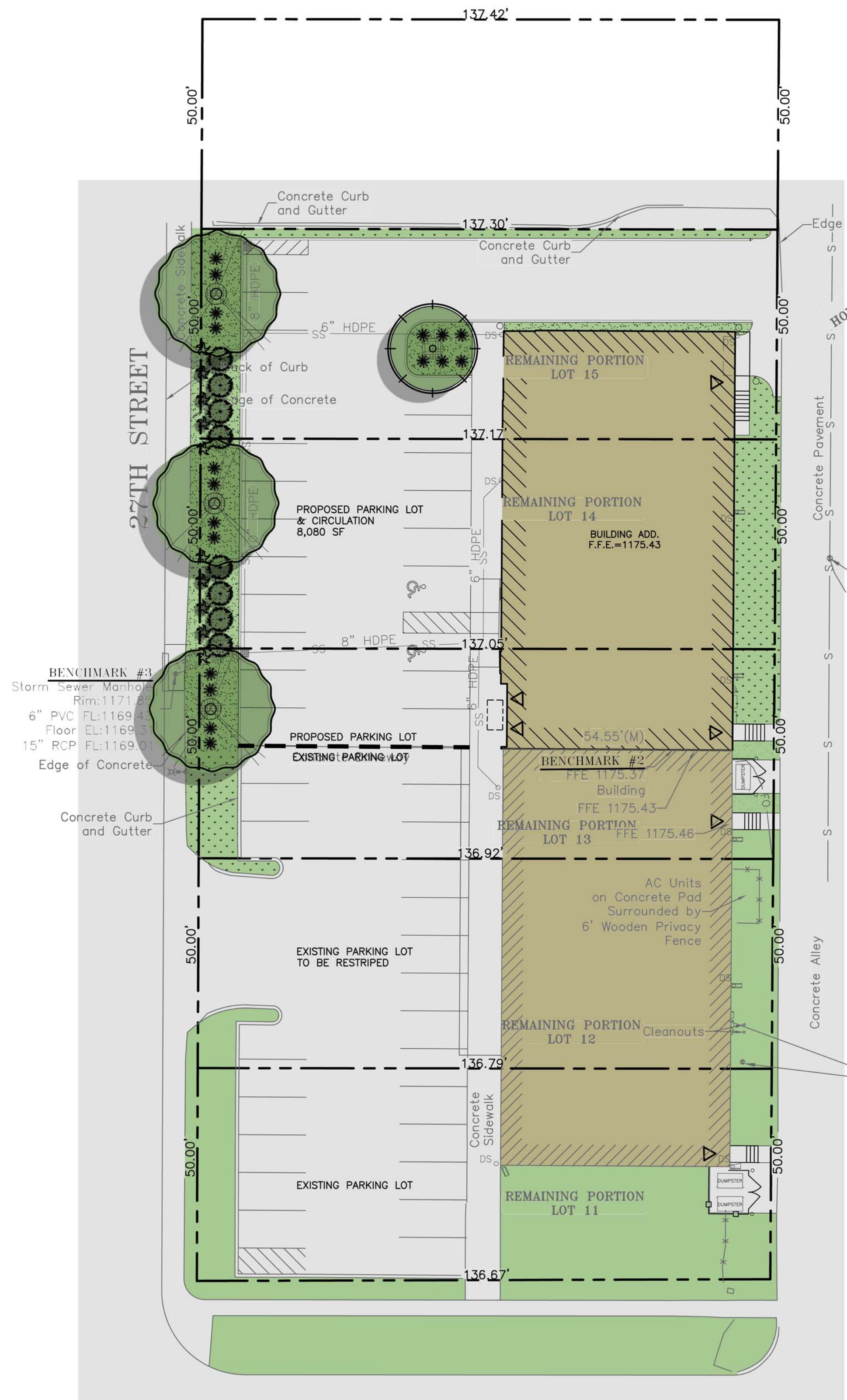
A5.1
EXTERIOR ELEVATIONS

GENERAL LANDSCAPING NOTES

- ALL UTILITIES ARE APPROXIMATE. COORDINATE INSTALLATION WITH WORK OF OTHER SECTIONS. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WITH OWNER OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE WITHIN THE CONSTRUCTION AREA PRIOR TO ANY CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CALL 811 TO NOTIFY UTILITY COMPANY FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. REPAIR AT NO COST TO OWNER ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC., RESULTING FROM LANDSCAPE CONSTRUCTION. THE CONTRACTOR SHALL REPORT TO THE OWNER ANY DAMAGE TO OWNER'S PROPERTY AND OR UTILITIES PRIOR TO REPAIR.
- PLANTING SOIL SHALL CONSIST OF 50% SELECT LOAMY SOIL, 25% PEAT MOSS, 25% PIT RUN SAND.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANT MATERIAL SHALL BE OF GOOD QUALITY, FREE OF DISEASE AND SIZES SHALL MEET REQUIRED SIZES AS SPECIFIED. ALL PLANT MATERIAL SHALL BE RATED FOR ESTABLISHMENT, GROWTH AND SURVIVAL IN PLANT HARDINESS ZONES 5, 4 AND/OR ACCORDING TO THE LATEST VERSION OF THE USDA PLANT HARDINESS ZONE MAP. ALL PLANTS SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND WATERING OF ALL PLANT MATERIAL UNTIL SUBSTANTIAL PROJECT COMPLETION OR OWNER AND ENGINEER/ARCHITECT ACCEPTANCE OF ALL LANDSCAPED AREAS, WHICHEVER IS LATER.
- THE IRRIGATION SYSTEM DESIGN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. UNDERGROUND IRRIGATION SYSTEM PLANS DESIGNED BY A LICENSED IRRIGATOR SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION. THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM CAPABLE OF WATERING THE PLANTING AREAS SHOWN ON THE PLANS TO A DEPTH OF 1/2" WITHIN 1-HOUR. THE IRRIGATION CONTROLLER SHALL BE INSTALLED INSIDE THE BUILDING (MECHANICAL ROOM) NEAR THE IRRIGATION SYSTEM WATER SERVICE STUB OUT.
- ALL PLANTING BEDS (TREES, SHRUBS AND GROUNDCOVERS) SHALL RECEIVE 3" DEPTH OF HARDWOOD MULCH OVER WEED BARRIER FABRIC, CONTAINED BY APPROVED EDGING, AS SPECIFIED ON PLANS. WOOD MULCH SHALL BE LOCALLY AVAILABLE, HARDWOOD CHIPS, 1/2-INCH MINIMUM TO 2"-MAXIMUM IN SIZE.
- CONTRACTOR SHALL PROVIDE A 5-FOOT DIAMETER RING OF WOOD MULCH AND APPROVED EDGING AROUND ALL TREES (IN TURF AREAS). WOOD MULCH SHALL BE LOCALLY AVAILABLE, HARDWOOD CHIPS, 1/2-INCH MINIMUM TO 2"-MAXIMUM IN SIZE.
- PLANT QUANTITIES IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY AND ARE NOT GUARANTEED. QUANTITIES GRAPHICALLY DEPICTED ON PLAN WILL PREVAIL IF DISCREPANCIES OCCUR.
- LANDSCAPE CONTRACTOR TO MARK ALL TREE LOCATIONS AND LAYOUT ALL OF PLANT MATERIAL IN THE FIELD FOR APPROVAL BY THE ENGINEER PRIOR TO PLANTING UNLESS APPROVED OTHERWISE.
- SHRUBS ARE NOT TO BE LOCATED CLOSER THAN 2 FEET TO CURB OR SIDEWALKS. PERENNIALS / GRASSES ARE NOT TO BE LOCATED CLOSER THAN ONE FOOT TO CURB OR SIDEWALKS. LANDSCAPE CONTRACTOR SHALL PLANT THREE TREES FOR OWNER / ENGINEER FOR APPROVAL PRIOR TO PLANTING THE REMAINDER OF THE TREES ON SITE.
- ALL LANDSCAPING TO BE INSTALLED IN STRICT ACCORDANCE WITH CITY OF LINCOLN REGULATIONS. DEMONSTRATION SHALL ILLUSTRATE A COMPREHENSIVE UNDERSTANDING OF INFORMATION INCLUDED IN THE PLANTING DETAIL AND SPECIFICATIONS.
- PROVIDE A MINIMUM OF 48 HOURS NOTICE FOR APPROVAL OF PLANT LAYOUT AND SAMPLE TREE PLANTINGS.
- STAKING AND GUYING OF TREES PER NATIONAL NURSERY STANDARDS.
- SWEEP AND WASH ALL PAVED SURFACES. REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
- GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING OF THE DATE OF ACCEPTANCE. MAKE ALL REPLACEMENTS PROMPTLY AS PER DIRECTION OF OWNER/ENGINEER.

GENERAL LAWN AND IRRIGATION NOTES

- ALL UTILITIES ARE APPROXIMATE. COORDINATE INSTALLATION WITH WORK OF OTHER SECTIONS. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WITH OWNER OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE WITHIN THE CONSTRUCTION AREA PRIOR TO ANY CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CALL 811 TO NOTIFY UTILITY COMPANY FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. REPAIR AT NO COST TO OWNER ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC., RESULTING FROM LANDSCAPE CONSTRUCTION. THE CONTRACTOR SHALL REPORT TO THE OWNER ANY DAMAGE TO OWNER'S PROPERTY AND OR UTILITIES PRIOR TO REPAIR.
- FIELD VERIFY SEED LIMITS PRIOR TO INSTALLATION. SEED SHALL BE WATER SAVER RTF (RHIZOMATOUS TALL FESCUE) SOD BY MILLER SEED, OR APPROVED EQUAL.
- INSTALL 4" MINIMUM TOPSOIL TO ALL SEED AREAS. CONTRACTOR IS RESPONSIBLE FOR FINE GRADING OF SEED AREAS. REMOVE STONES, STICKS, AND DEBRIS LARGER THAN 1".
- PLANTING SOIL SHALL CONSIST OF 50% SELECT LOAMY SOIL, 25% PEAT MOSS, 25% PIT RUN SAND.
- IN ALL AREAS TO RECEIVE SEED, SEED BED PREPARATION, MULCHING (ROCK OR WOOD), FERTILIZING AND SEED APPLICATION SHALL BE IN ACCORDANCE WITH THE CITY OF LINCOLN STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE HIS/HER EFFORTS SO THAT THE SITE CAN BE SEEDED AS SOON AS POSSIBLE FOLLOWING RE-SPREAD OF TOPSOIL.
- THE IRRIGATION SYSTEM DESIGN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. UNDERGROUND IRRIGATION SYSTEM PLANS DESIGNED BY A LICENSED IRRIGATOR SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION. THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM CAPABLE OF WATERING THE PLANTING AREAS SHOWN ON THE PLANS TO A DEPTH OF 1/2" WITHIN 1-HOUR. THE IRRIGATION CONTROLLER SHALL BE INSTALLED INSIDE THE BUILDING (MECHANICAL ROOM) NEAR THE IRRIGATION SYSTEM WATER SERVICE STUB OUT.
- THE CONTRACTOR MAY USE THE IRRIGATION SYSTEM FOR WATERING OPERATIONS. ALL SEEDED AREAS OUTSIDE THE IRRIGATED AREA SHALL BE WATERED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND WATERING OF SEEDED AREAS UNTIL SUBSTANTIAL PROJECT COMPLETION OR OWNER AND ENGINEER ACCEPTANCE OF ALL LANDSCAPED AREAS, WHICHEVER IS LATER. ACCEPTABLE SEEDED AREAS SHALL INCLUDE A MINIMUM OF 90% VEGETATIVE COVERAGE AND BE FREE OF WEEDS. ACCEPTABLE SODDED AREAS SHALL HAVE A UNIFORM ROOT ESTABLISHMENT AND BE FREE OF BARE SPOTS AND BROWN PATCHES.
- SWEEP AND WASH ALL PAVED SURFACES. REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
- GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING OF THE DATE OF ACCEPTANCE. MAKE ALL REPLACEMENTS PROMPTLY AS PER DIRECTION OF OWNER/ENGINEER.



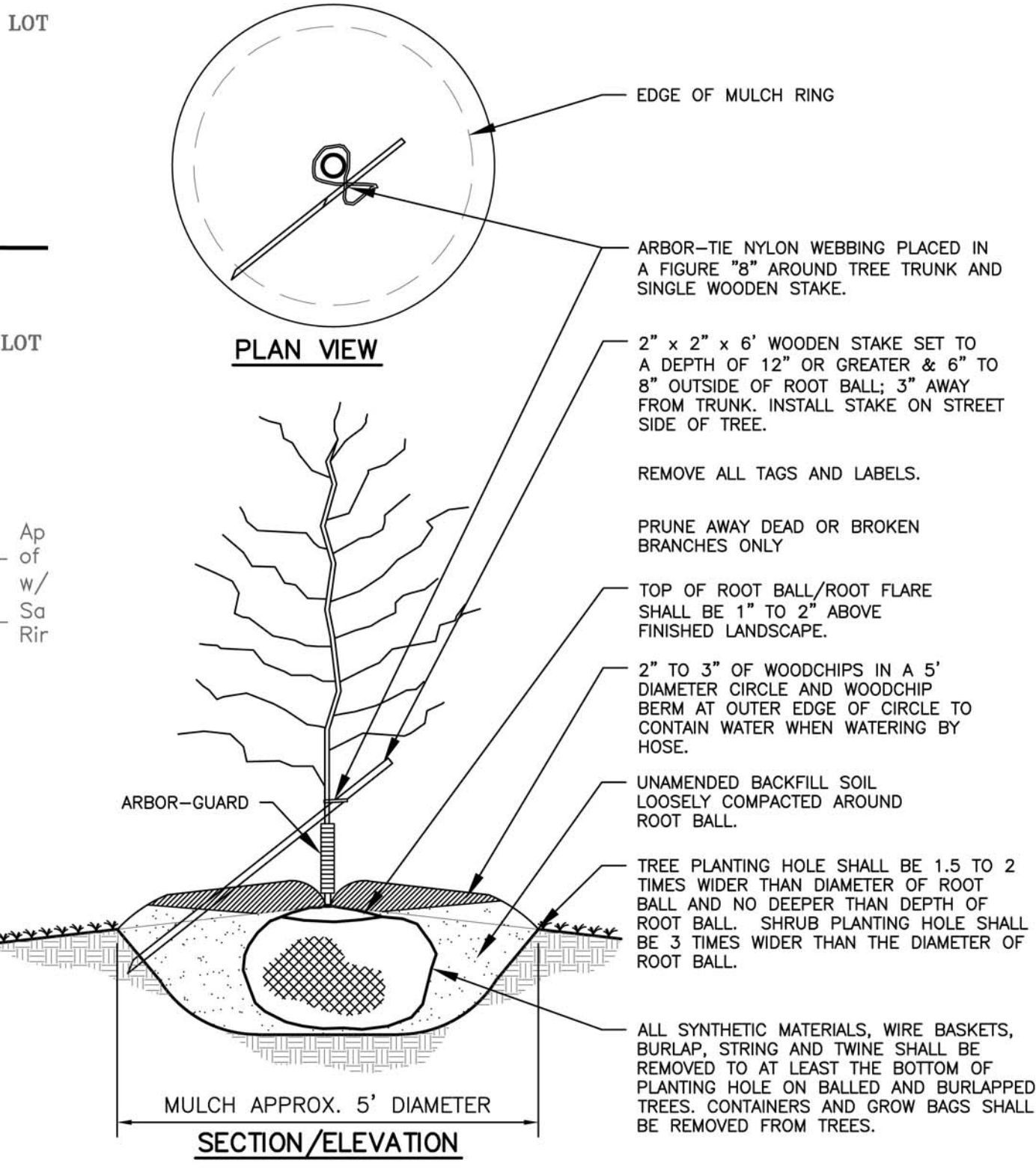
LANDSCAPE REQUIREMENTS:

- PARKING LOT TREES
8,080 SF PROPOSED PARKING LOT = 2 TREES REQ.
1 TREE PROVIDED
3 PERIMETER TREES PROVIDED
- PARKING LOT SCREENING REQUIREMENTS
27th STREET SCREEN, 121 LF (90% COVERAGE REQUIRED)
330 SF SCREEN PROVIDED (326.7 SF REQUIRED)
- STREET TREE REQUIREMENTS
SPEED LIMIT = 35MPH; 45-50FT SPACING OR
1 TREE PER LOT
3 STREET TREES PROVIDED

LANDSCAPE SCHEDULE (PROVIDED AND INSTALLED BY CONTRACTOR)

QUANTITY	COMMON NAME	SCIENTIFIC NAME	HEIGHT	WIDTH	METHOD	SIZE
3	KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICUS	50'	40'	B&B	1-1/2" CAL.
1	JAPANESE TREE LILAC (STANDARD)	SYRINGA RETICULATA	20'-30'	15'-20'	B&B	2" CAL.
SHRUBS - EVERGREEN						
10	GREEN VELVET BOXWOOD	BUXUS SEMPERVIRENS	3'	3'	GALLON	#2
SHRUBS - DECIDUOUS						
8	TIGER EYES SUMAC	RHUS TYPHINA 'BALTIGER' TIGER EYES	3'-6'	3'-6'	GALLON	#2
ORNAMENTAL GRASSES						
18	FEATHER REED GRASS 'KARL FOERSTER'	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	4'	2'	GALLON	#2
GROUNDCOVERS / PERENNIALS						
~1,500sf	RHIZOMATOUS TALL FESCUE (RTF) SOD					
~1,675sf	SHRUB BED/PLANTING AREA - 1" SMOOTH ANGULAR ROCK (SHAWNEE CREEK) - CULTIVATED EDGE					
~80sf	TREE PLANTING AREA - 5' DIAMETER - HARDWOOD MULCH - CULTIVATED EDGE					

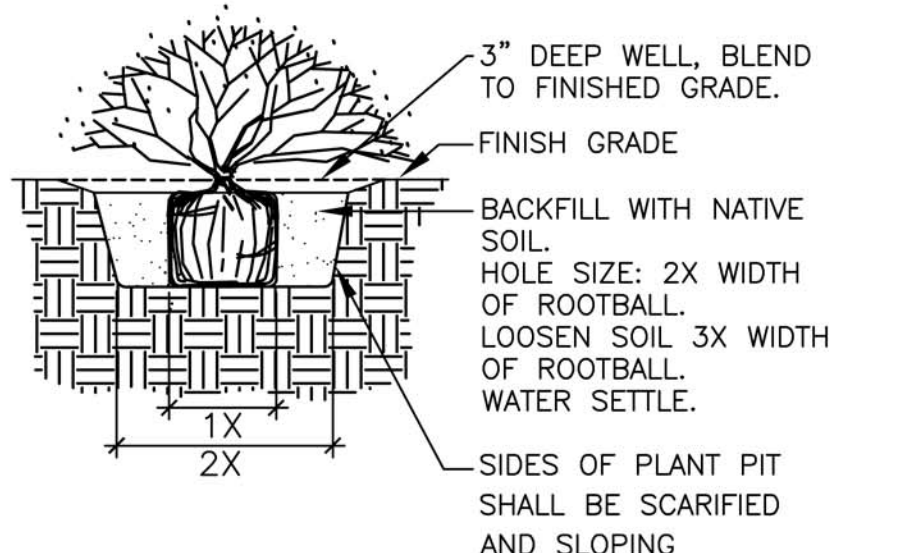
- NOTES:**
- BASIC PLANT MATERIAL STANDARDS:
 - EVERGREEN TREES: MINIMUM HEIGHT OF SIX FEET.
 - SHRUBS: MINIMUM TWO-GALLON SIZE CONTAINER, OR THE EQUIVALENT HEIGHT AND/OR SPREAD.
 - GROUND COVER SHRUBS: MINIMUM SPACING UPON INSTALLATION OF 18 INCHES ON CENTER.
 - DECIDUOUS SHADE TREES: MINIMUM CALIPER OF TWO INCHES AS MEASURED SIX INCHES ABOVE GROUND.
 - ALL OTHER SPECIFICATIONS SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
 - ALL PLANT MATERIAL SHALL BE INSTALLED FREE OF DISEASE AND IN A MANNER THAT ENSURES THE AVAILABILITY OF SUFFICIENT SOIL AND WATER TO SUSTAIN HEALTHY GROWTH.
 - ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED TO A DEPTH OF THREE INCHES.



NOTE: SHRUBS DO NOT REQUIRE WOODEN STAKE AND ARBOR-GUARD.

TREE PLANTING DETAIL

NO SCALE



- NOTE:**
- CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
 - BROKEN OR CRUMBLING ROOT BALLS WILL BE REJECTED.
 - PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING.

SHRUB PLANTING

NO SCALE

REGA ENGINEERING GROUP, INC.

601 OLD CHENEY RD., SUITE A
LINCOLN, NEBRASKA 68512
(402) 484-7342

- ENGINEERING
- PLANNING
- LANDSCAPE ARCHITECTURE
- LAND SURVEYING

BENCHMARK

BENCHMARK #1, SANITARY SEWER MANHOLE, N. RIM=1171.48

BENCHMARK #2, F.F.E., EL=1175.37

BENCHMARK #3, STORM SEWER MANHOLE, N. RIM=1171.85

REGA #191046

ISSUED FOR:	DATE:
PERMIT PLAN SET	09/19/19



ADA

Architectural Design Associates

Suite 105
7501 O Street
Lincoln, Nebraska 68510
www.adalincoln.com
tel 402 486 3232

ORIENTAL MARKET
ADDITION
610 N. 27TH ST.
LINCOLN, NEBRASKA

Project Number
18-115
Date
0X-XX-2019
Revisions

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G1.5

