

URBAN DESIGN COMMITTEE

The Urban Design Committee will hold a meeting on **Tuesday, December 05, 2023**, at **3:00 p.m.** in the County-City Building, 555 S. 10th Street, Lincoln, Nebraska in **City Council Chambers** on the 1st floor. For more information, contact the Planning Department at 402-441-7491.

AGENDA

1. Approval of UDC meeting record of [October 3](#), and [November 7, 2023](#).

DISCUSS AND ADVISE

2. Central at South Haymarket, [205 S 10th St.](#) - [UDR23126](#)
3. Sidewalk Café Application for The Mill Coffee & Tea at [1040 O Street](#) – [UDR23119](#)
4. Gruenemeyer Home on [4207 Pioneers Blvd](#) –Single Family House - Advisory Review

MISCELLANEOUS

5. Miscellaneous

Urban Design Committee's agendas may be accessed on the Internet at
<https://www.lincoln.ne.gov/City/Departments/Planning-Department/Boards-and-Commissions/Urban-Design-Committee>

ACCOMMODATION NOTICE

The City of Lincoln complies with Title VI of the Civil Rights Act of 1964 and Section 504 of the Rehabilitation Act of 1973 guidelines. Ensuring the public's access to and participating in public meetings is a priority for the City of Lincoln. In the event you are in need of a reasonable accommodation in order to attend or participate in a public meeting conducted by the City of Lincoln, please contact the Director of Equity and Diversity, Lincoln Commission on Human Rights, at 402 441-7624 as soon as possible before the scheduled meeting date in order to make your request.

URBAN DESIGN COMMITTEE STAFF REPORT

APPLICATION NUMBER	Urban Design Record #23126
APPLICATION TYPE	Advisory Review
ADDRESS/LOCATION	205 S 10 Street
HEARING DATE	December 05, 2023
ADDITIONAL MEETINGS	-
APPLICANT	Joy Skidmore, joy@theannexgrp.com
STAFF CONTACT	Arvind Gopalakrishnan, 402-441-6361, agopalakrishnan@lincoln.ne.gov

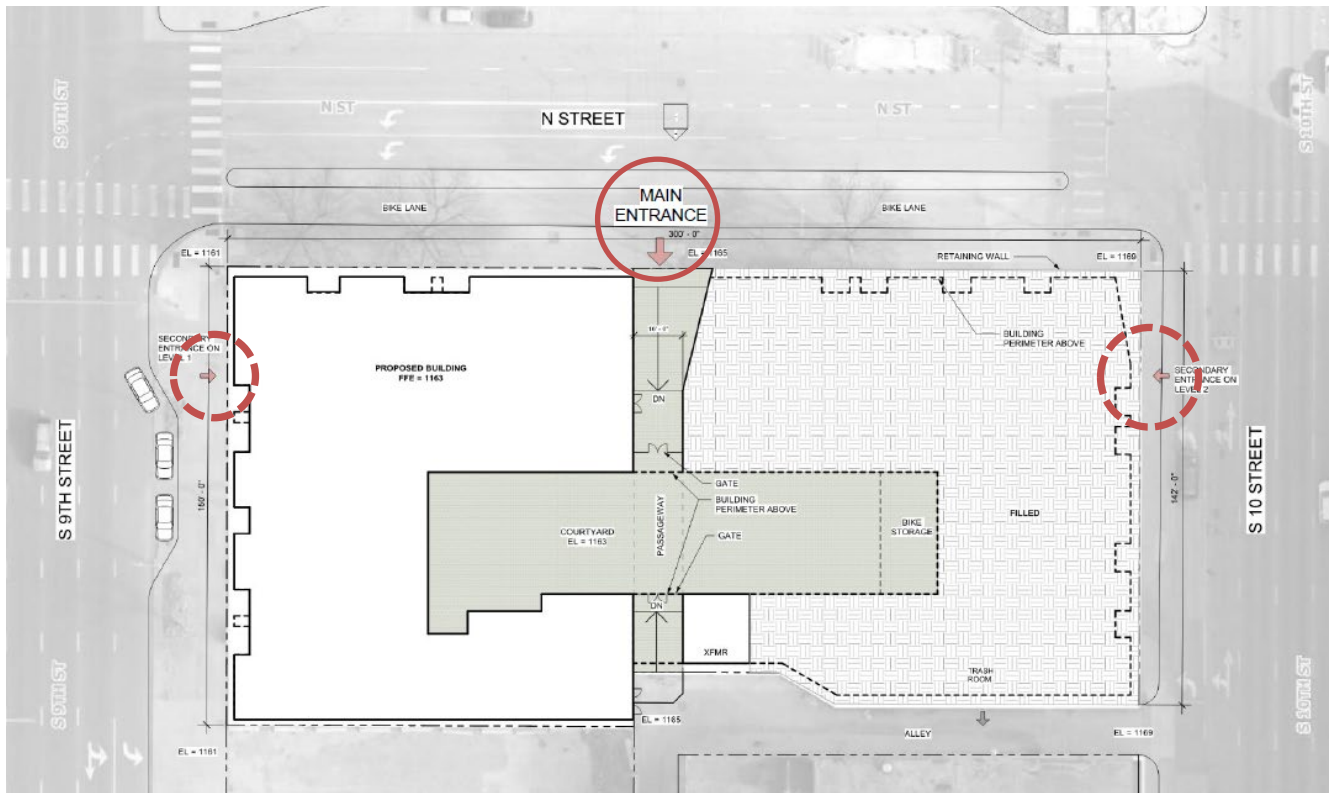
RECOMMENDATION: APPROVAL

Summary of Request

The Annex Group is proposing a 6-story residential building (75 ft tall) on 205 10 street, with N street to the North, and 9th and 10th to the west and east respectively. The project would consist of 173 affordable housing units targeted for families, with off-site parking currently being negotiated with the City, to be provided in the City garage at 11th and N St. The project will have a mix of one, two and three-bedroom units. The project is requesting TIF from the City, and as such, the Urban Design Committee is to provide an advisory review of the project. This site is in the B-4 zoning district subject to the Downtown Design Standards, which should be referenced as a basis for design review.

The project site is currently a two-level parking lot. smaller commercial buildings located to the west and north, 8N Lofts (Student Housing) located to the west, Terminal Building to the north, and Latitude Apartments (Student Housing) to the east.

The building is rectangular in shape featuring a central courtyard with the main pedestrian entrance from N street, which visually appears to be at the center of the façade. The building also has 2 secondary entrances: One on level 1, from 9th Street, and the other one on level 2, from 10th Street.



On the ground level, the building is broken into 2 (c-shaped) building blocks facing each other, with the block fronting N Street and 9th Street consisting of a leasing office, a fitness room, a community room, a maintenance room, stairwell and a few one-bedroom and two-bedroom units. Most of the first level space fronting N street and 10th Street will be filled with concrete on the ground floor to address the grade change and includes a stairwell and trash room on the alley-side. The site slopes downwards going west from 10th Street towards 9th Street.

The applicant and the architect presented the initial schematic concept at the October 3rd UDC meeting to receive preliminary feedback on the design from the Committee. The concept presented was a basic massing model showing the volume of the building from different angles, with openings suggesting the entrances and windows on each side.

The UDC was in favor of certain elements of the design, such as the fitness facility on the corner of 9th and N streets, the central entrance on N Street, and the idea of balconies fronting the streets on the upper levels. The Committee encouraged the applicant to address certain issues such as the **materiality, vehicular drop-off and accessibility, parking requirements, interface with the street, and efficient usage of the courtyard.**

Compatibility with the Lincoln Municipal Code

Chapter 3.76, Lincoln Downtown Design Standards Section 4.1: Site Development

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Downtown Lincoln buildings west of 19th Street and on North 21st Street from O to Q Streets shall be substantially “built-to” their front property lines (and on corner lots, shall be built-to both front property lines).

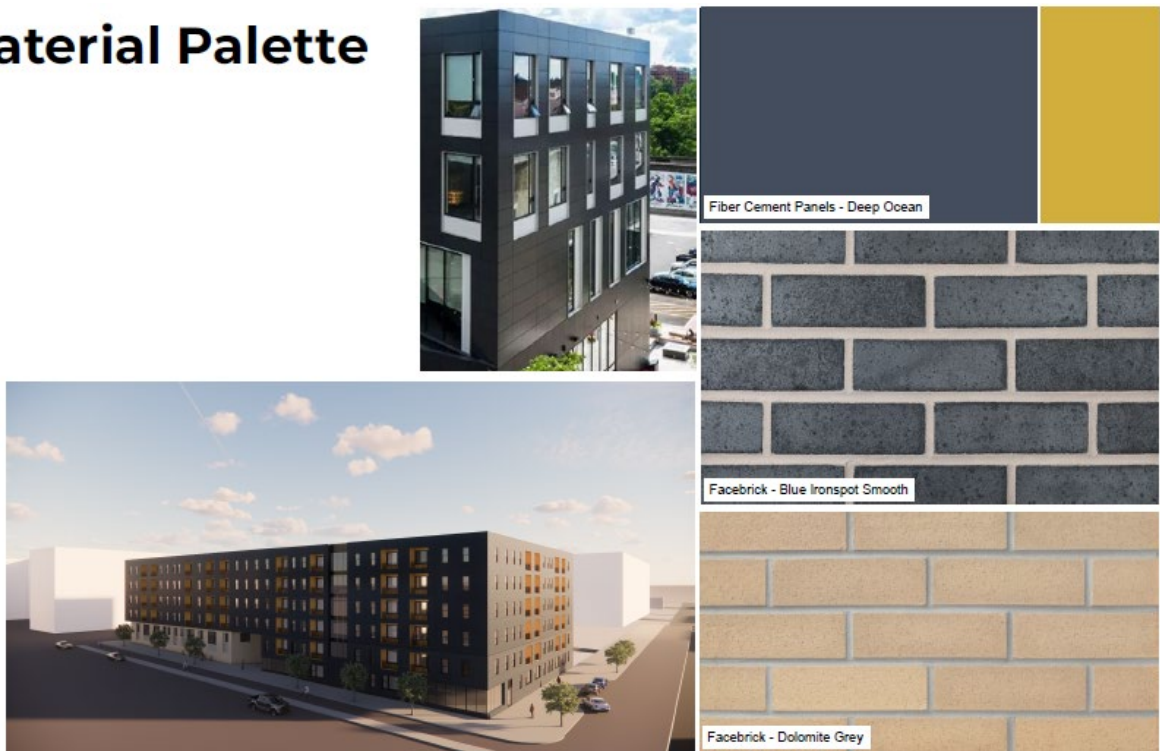
- *Compliant*

Section 4.2: Building features.

Materials:

- For the first 20 (twenty) feet above street level, durable masonry materials, such as stone, brick, or tile, or similar materials such as pre-cast concrete, or poured-in-place concrete are required as the primary exterior material facing streets for Downtown Lincoln buildings. Ample windows are allowed but glass curtain wall structures are allowed only in the area more than 20 feet above street level. Decorative accents of durable materials including metal architectural panels, architectural tile, and metalwork are allowed. Other high-quality, durable materials as accents or primary materials may be proposed to and approved by the appropriate design review board. - *Compliant*

Material Palette



The proposal displays the use of facebricks up to the third story from the sidewalk, fiber cement panels from the third story up to the top of the building.

- Use of lap or shingle siding of any material including wood, vinyl, cementitious, or painted or corrugated metal is prohibited for Downtown Lincoln buildings. - *Compliant*

Roofs:

- Downtown Lincoln buildings shall conceal low pitched or nearly flat roofs behind parapet walls. Visible roofs are acceptable only on penthouses providing habitable space, set back at least ten feet from parapet walls. - *N/A*
- Mechanical equipment on rooftops shall be architecturally screened with materials compatible with the main walls of the building so they are not visible from adjacent streets. - *Compliant*

Entrances and first floor windows:

- Buildings shall have at least one principal entrance that faces the street. Buildings on corners or with multiple street frontages may have a single principal entrance, which must face a street. - **Compliant**
- The ground floor of buildings with frontages between (and including) N and Q Streets, and between 9th and 19th Streets and on North 21st Street from O to Q Streets and on Canopy Street shall have transparent glazing in at least 70% of the area between four feet and nine feet above the sidewalk, except in the case of residential buildings. Buildings in other areas shall have transparent glazing in at least 50% of the area between four and nine feet above the sidewalk, except in the case of buildings with first-floor residential uses. -

Since this is a residential building, it does not require 70% transparent glazing on the first level. However, due to the grade change along N Street, the building proposal has concrete fill on one half of the first level area, with no glazing up to approximately 6-10 ft (varies) from the sidewalk. The proposal treats this part of the building façade (fronting 9th and N Street) with distinct decorative brickwork around the windows.



- Ramps for accessibility added to existing buildings, shall employ materials and design features drawn from the main structure. New buildings shall not include exterior ramps along street frontages. - **Compliant**

4.3 Additional Pedestrian Considerations

- a. Dumpsters, service docks, transformers, and other necessary fixtures shall be located and screened so as not to be visible from adjacent sidewalks. - **Compliant**

Recommendations

As per the planning staff's assessment, the plans are in conformance with the Downtown Design Standards. These Standards are baseline requisites, and the City encourages projects receiving Tax Increment Financing to exceed the standards and set good precedents for the future projects in the City,

Based on the initial site plans and diagrams, the Committee encouraged the applicant to address the following components of design at the meeting held on October 3rd, 2023:

Materiality, and interface with the street:

Since the project team has concluded that part of the ground floor area is filled with concrete, and there are no habitable spaces in that area, windows would not add any transparency to the building from the street. The City staff encourages the applicant to explore murals, and lighting options on the wall, and/or landscape beds against the façades on 9th Street and N Street to further enhance the proposed decorative brickwork, and make it an interesting sight for pedestrians.

City staff supports the material choice and the color palette, and suggests that the North elevation fronting N Street have a pop of color or other feature (i.e. yellow fiber cement panel in the floors above the main entrance shown below). This would not only help emphasize the entrance to the building, but also create a

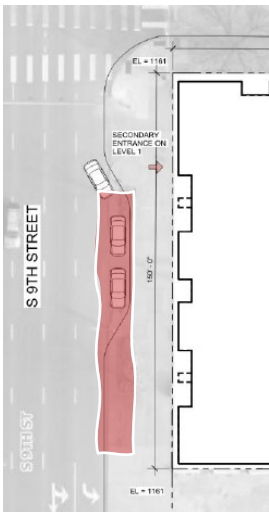
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variation in the façade by visually breaking up the large horizontal mass of the building that spans across the whole block.



Vehicular Drop-off, accessibility, and landscaping:

In the updated drawings, the proposal shows a preliminary vehicular drop-off area near the secondary entrance on level 1, on 9th Street. Staff recommends that the proposed area drop off area on 9th Street be extended southwards to the extent of the building and provide more space for loading and unloading. This detail will need to be addressed at a later date, along with streetscape design concepts.



Streetscape Design:

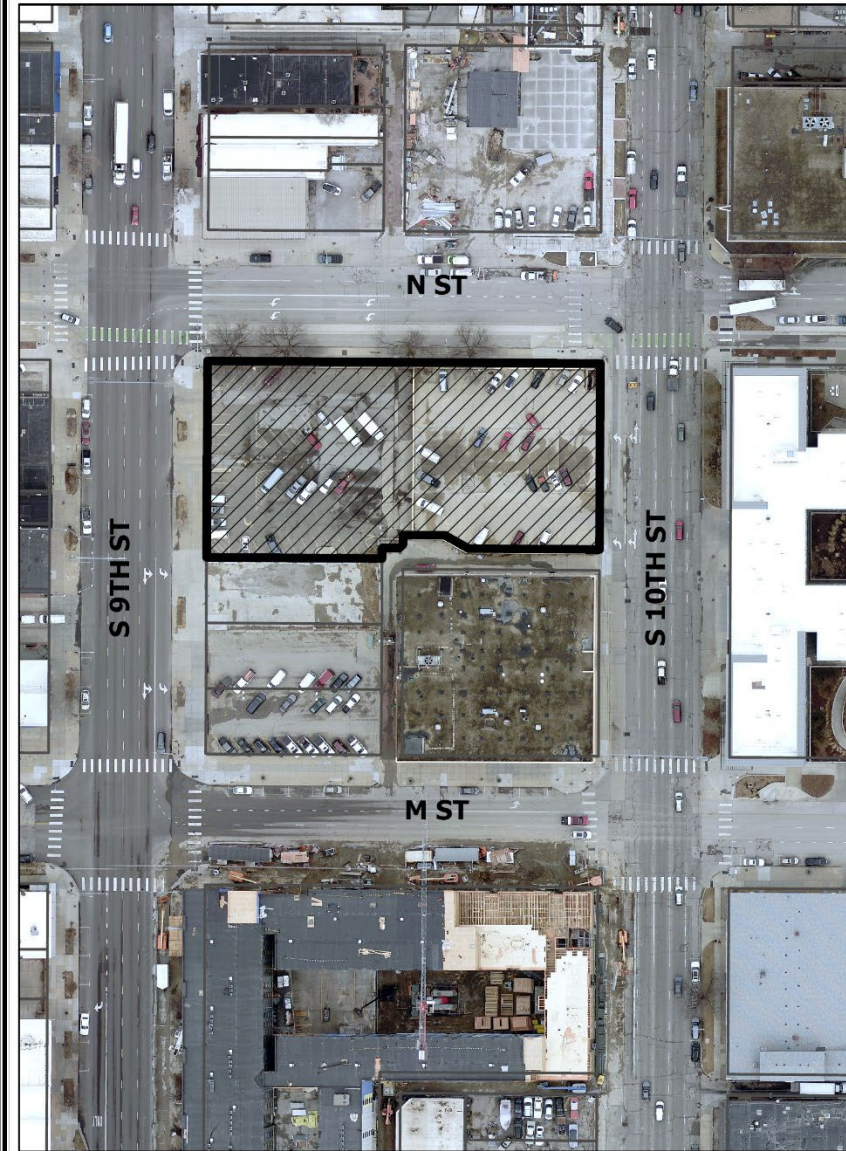
Landscaping and other streetscape design concepts will be presented at a later date, likely in early 2024. This will be a coordinated effort between the applicants and the concerned departments of the City to ensure that the proposed design aligns seamlessly with the City’s overarching goals for 9th and 10th Streets as part of the Downtown Corridors Project, emphasizing safe and efficient traffic movement for pedestrians, cyclists and vehicles, while creating a visually appealing urban environment.

Parking requirements:

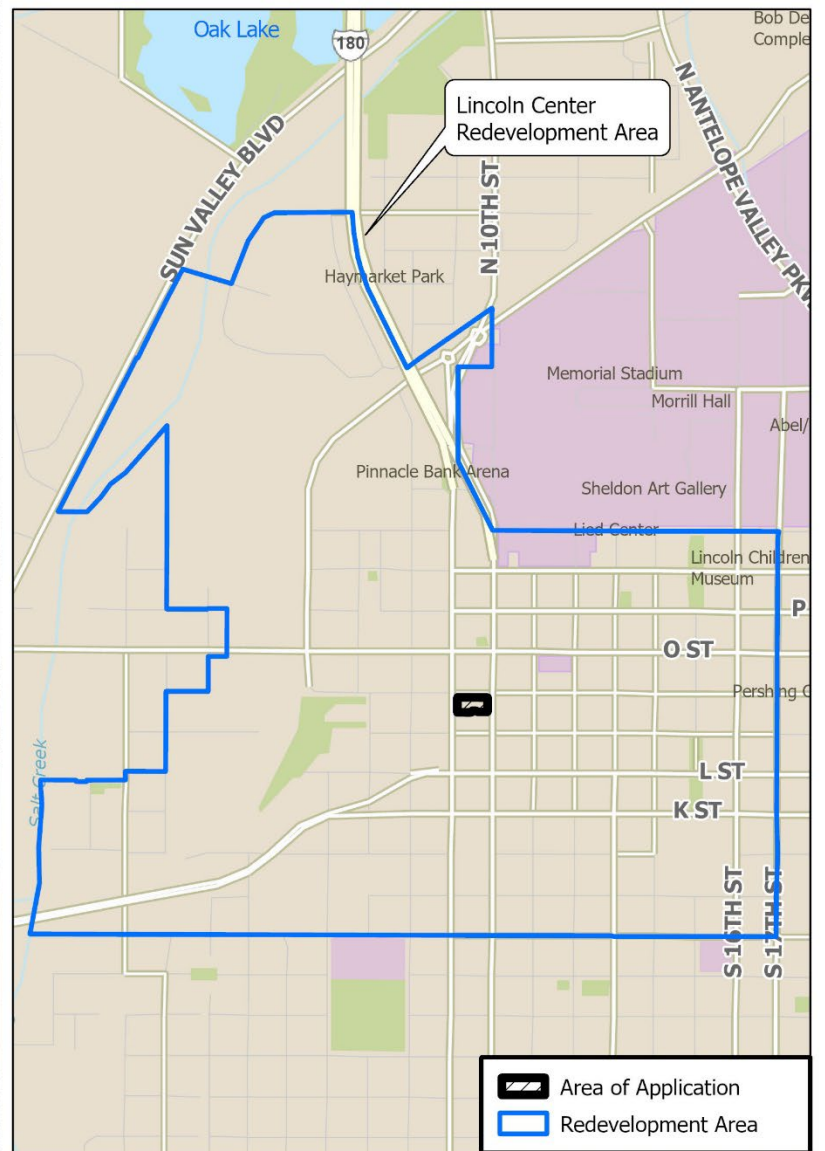
As discussed at the Urban Design Committee meeting on October 3rd, 2023, the this building does not have any are reserved for parking, and the applicant is currently negotiating with the city to provide parking at the City Garage at 11th and N Street.

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ATTACHMENT A - Location Map



2022 aerial



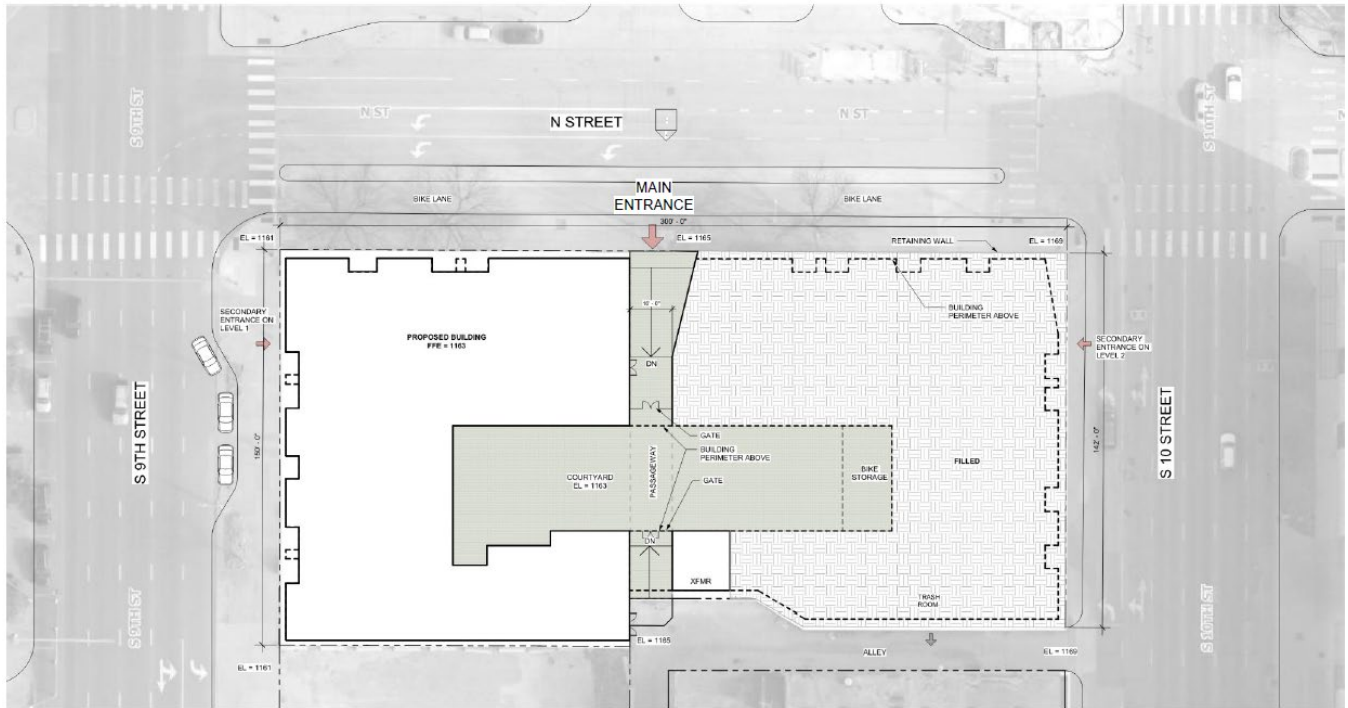
UDR23126 - Central at D Haymarket (205 S 10th St)

Project: _GIS\Projects\DevReview\UDC_LocationMaps.aprx
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ATTACHMENT B – Site plan and floor plans

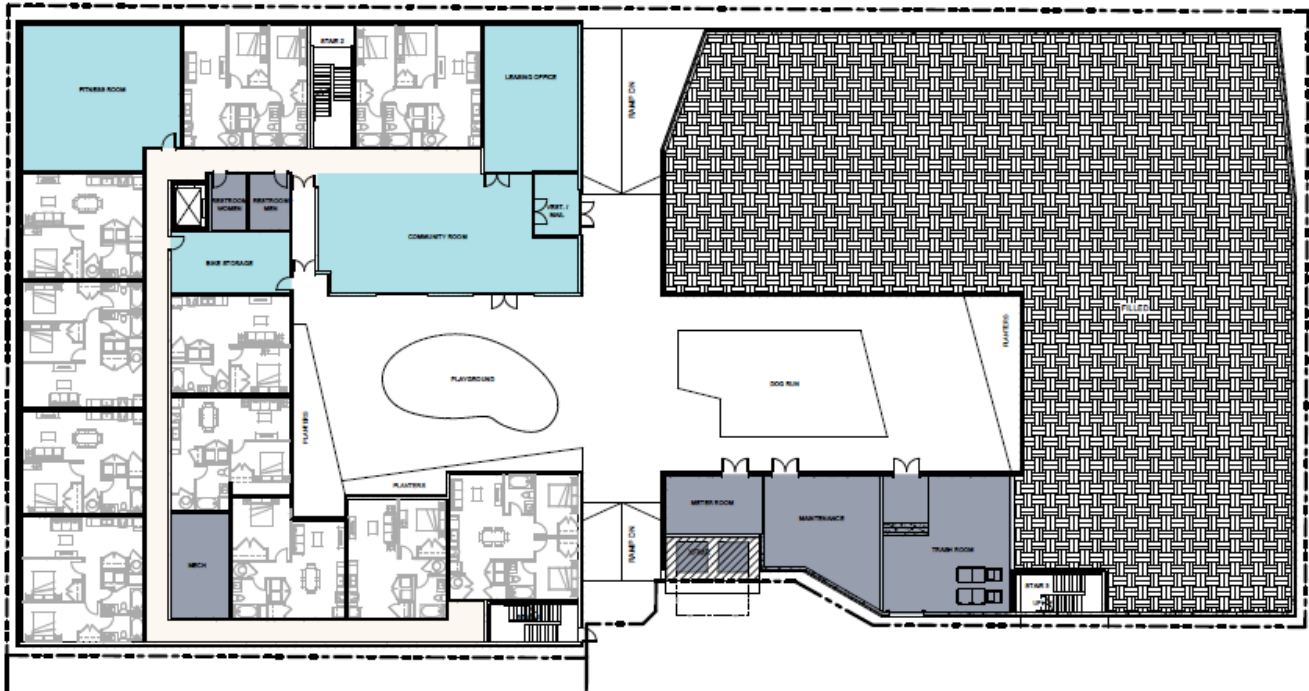


Site Plan

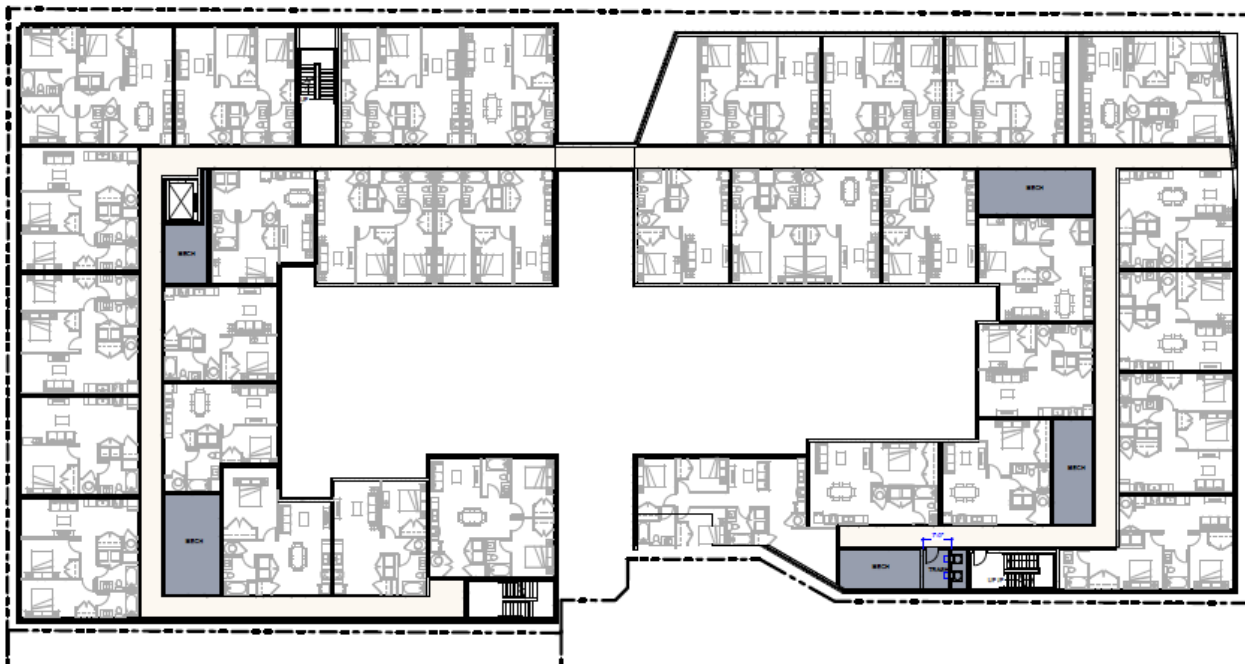


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Level 1

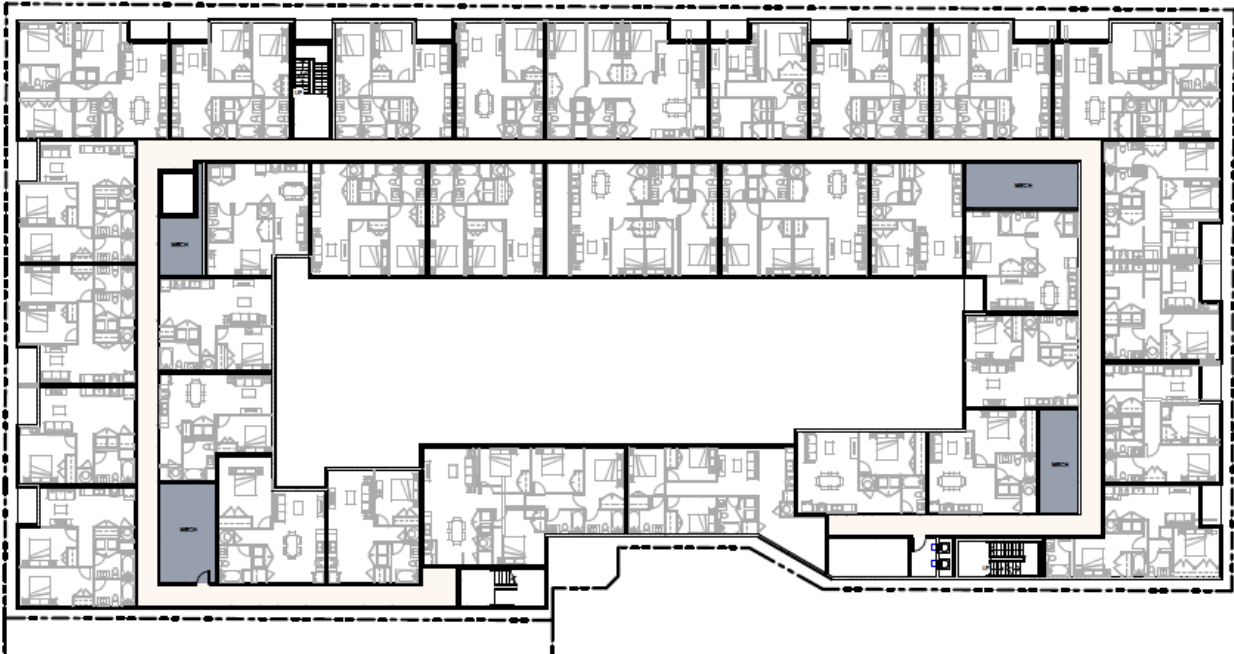


Level 2



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Level 3-6



North Elevation



Material Palette



10th St - NE Corner



Brick Wall Detail on 10th St



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Approaching Main Entry



Main Entry Passageway



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Main Entry



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9th St - NW Corner



9th St - NW Corner



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Central at S Haymarket

205 S 10th St

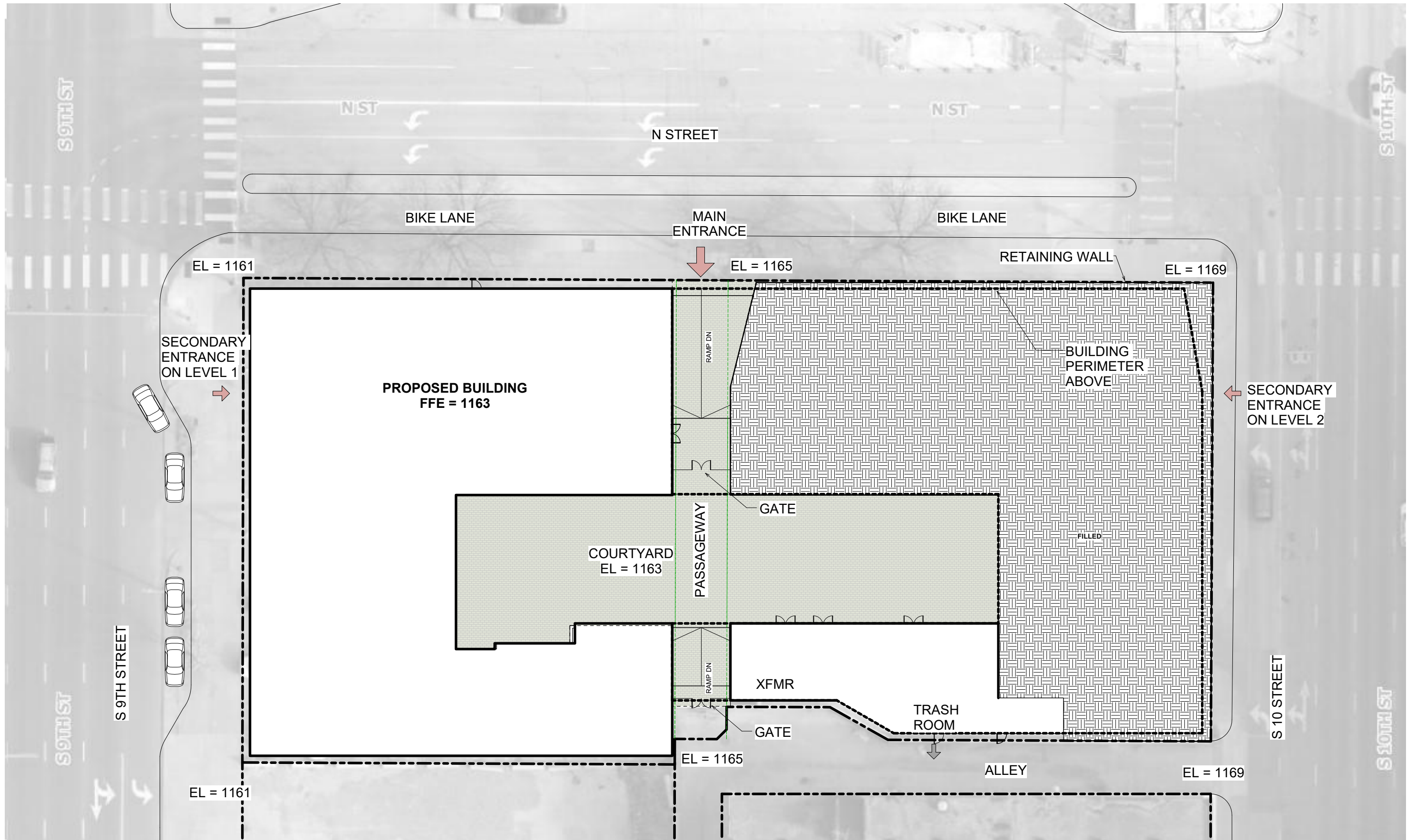
Urban Design Committee Meeting
November 7, 2023

Project Summary

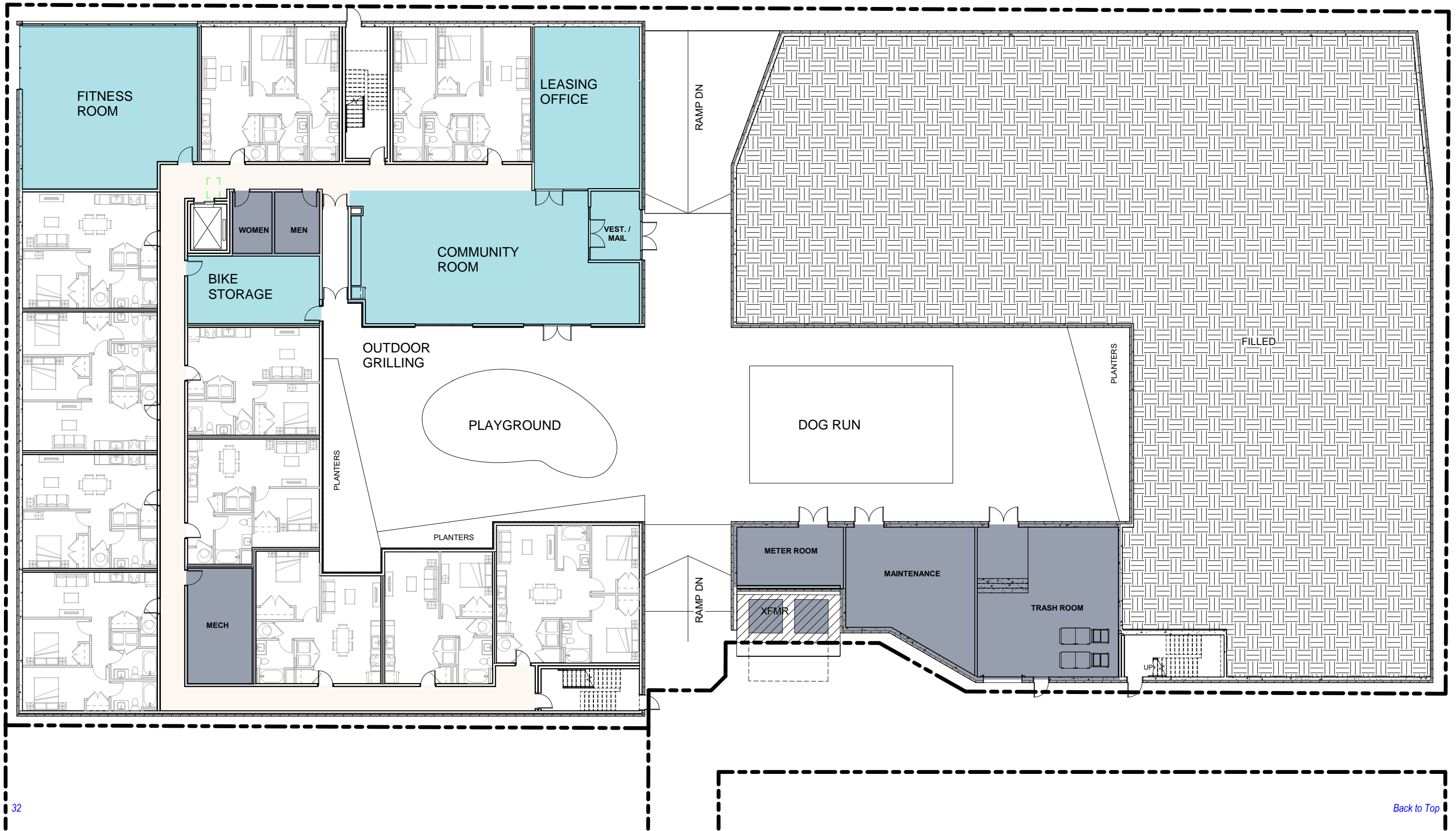
- Affordable Housing - 175 Units
- 6 Stories (<75ft tall)
- Off-site parking provided from Center Park Garage at 11th and N St



Site Plan



Level 1



Level 2



Level 3-6



Building Exterior

Elevation Concept



Elevation Concept



Elevation Concept



Pedestrian Level Articulation

Elevation Concept



North Elevation



10th St - NE Corner



Wall Detail on 10th St - Pedestrian View



Approaching Main Entry - Pedestrian View



Main Entry - Pedestrian View



Main Entry - Pedestrian View



9th St - NW Corner - Pedestrian View



9th St - NW Corner



Drop-off Lane

Materials

North Elevation



Fiber Cement Panel

Brick

Material Palette



URBAN DESIGN COMMITTEE STAFF REPORT

APPLICATION NUMBER	Urban Design Record #23119
APPLICATION TYPE	Advisory Review
ADDRESS/LOCATION	1040 O Street
HEARING DATE	December 05, 2023
ADDITIONAL MEETINGS	-
APPLICANT	Daniel and Tamara Sloan, tamara@millcoffee.com
STAFF CONTACT	Arvind Gopalakrishnan, 402-441-6361, agopalakrishnan@lincoln.ne.gov

RECOMMENDATION: CONDITIONAL APPROVAL

Summary of Request

The 1040 property on the O Street and 11th Street intersection, is a six-story building that built in 1907. The first floor includes approximately 7100 sq.ft of commercial and residential mixed use space with the upper floors housing residential condominiums, shared spaces, and two large penthouses. The building is now called “TEN 40 CONDOS”

Tamara and Daniel Sloan-the owners of the Mill Coffee & tea on the first floor of the building, have applied for a sidewalk café permit for the use of the surface space outside the building abutting the public right of way as an extension of the café. The applicants are proposing a sidewalk café of 9’-4” x 34’-6 ½” attached to the building.

Staff Note: The sidewalk café permit application submitted by the applicant gives detailed information on relevant matters such as the type of business, days and hours of operation, the capacity, etc. The application package also includes a plan of the extent of fencing, along with the pictures of the type of fencing, chairs and tables, and trash receptacle. As there are not many sidewalk cafes in this block fronting O Street or N 11th street, this potential outdoor seating space could help attract more people downtown and help enliven the street at different times of the day.

The area just outside the proposed sidewalk cafe had several street furniture such as 3 bike racks, a light pole, planter beds and a metal bench.

The fencing has been installed as per the drawings, and the bike racks have been uninstalled to make space for pedestrians. After the removal of the bike racks, the current sidewalk café width of 9’-4” would leave 6’ for pedestrian movement. The city will coordinate with the DLA to install the bike racks slightly east, aligned with the existing planter.



City staff also recommends that the metal bench just south of the café and the set of 2 benches north of the café (circled in the map above), be removed from its current position, and relocated about 3' to the east, aligned with the existing planters. This would help ensure a smooth flow of visitors to and from the sidewalk café and leave enough space for bike parking without interrupting the pedestrian flow on the sidewalk.

Compatibility with the Lincoln Municipal Code

The building falls in the B-4 zoning district, and food and beverage establishments in the B-zoned districts are permitted to expand their services into the sidewalks, provided they meet the requirements laid out in chapter 14.50: Sidewalk Cafés under Title 14: Public Property and Public ways in the Lincoln Municipal Code.

Sidewalk cafés promote the public interest by

- Making B-zoned districts an active and attractive pedestrian environment.
- Providing the opportunity for creative, colorful, pedestrian-focused commercial activities on a day/night and seasonal basis.
- Encouraging commercial activities which add excitement, charm, vitality, diversity, and good design to B-zoned districts.
- Encouraging the upgrading of store fronts and the development of compatible and well-designed elements within such districts; and
- Promoting land conservation, redevelopment, energy savings, and indirect tax revenue.

Title 14 Public Property and Public Ways

Chapter 14.50: Sidewalk Cafes

Section 14.50.060 Permit Conditions

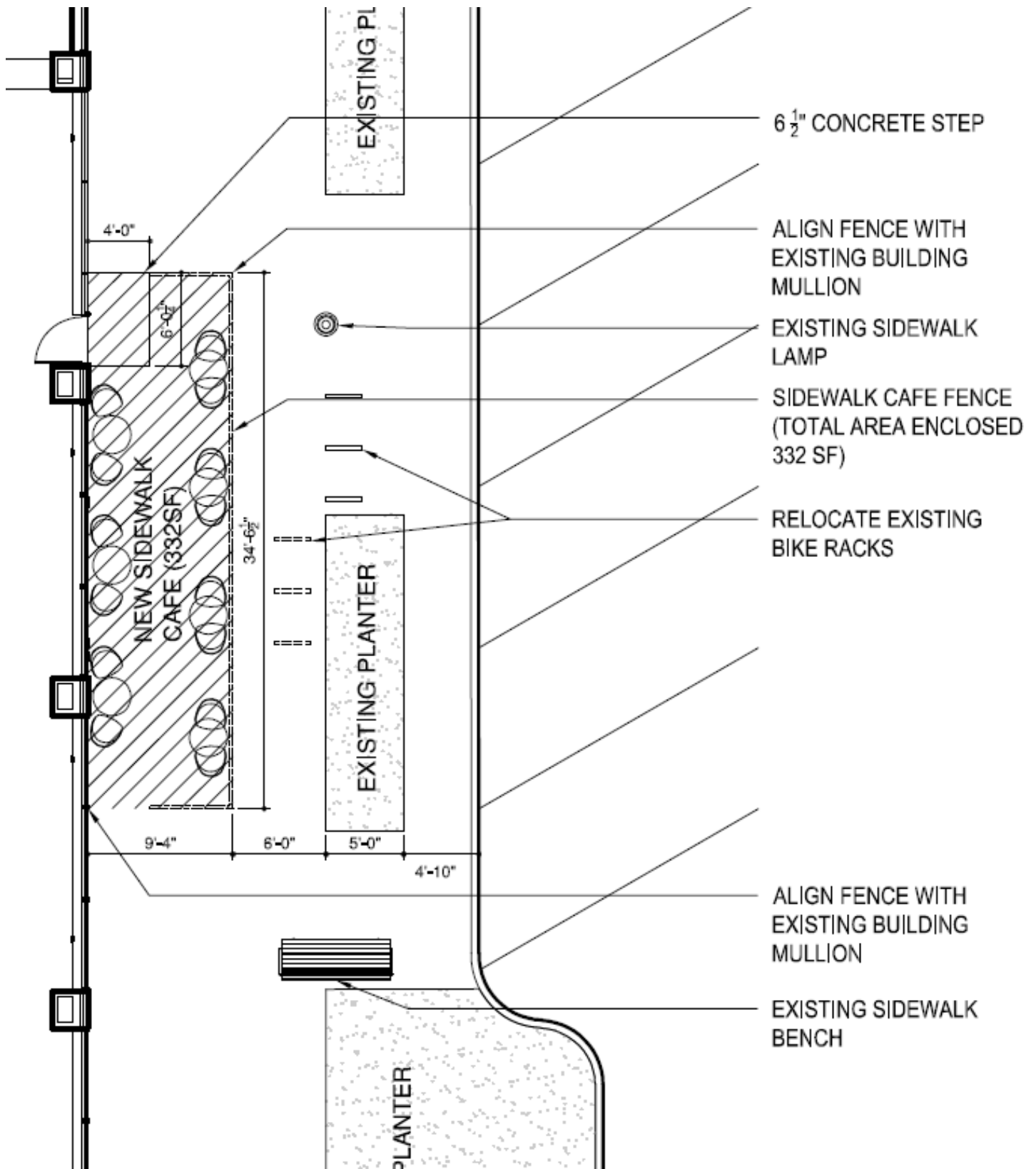
2. A clear, unobstructed passageway not less than six feet in width at all points, entirely across the frontage of the property occupied by the occupant parallel to the line of the street and generally in the line of pedestrian traffic shall be maintained at all times; except as follows:

- If the City shall find special circumstances involving site characteristics or the flow of pedestrian traffic at such location, the conditions of approval may require a passageway greater than six feet or may prohibit operation of the sidewalk café for certain specified periods.
- If the City shall find that usually or at certain periods during the day or evening the flow of pedestrian traffic is sufficiently light to permit a passageway narrower than six feet, the conditions of approval may authorize a passageway as narrow as four feet, either at all times when such surface space is permitted or for certain specified periods during the time when such use is permitted.

Compatibility per Staff Analysis: *Compliant (after removal of the bike racks)*

The sidewalk space available for movement abutting the building is approximately 15'-6" wide. Installing a 9'-4" wide fencing would leave around 6' of passageway for pedestrian movement spanning the length of the building fronting N 11th Street.

(diagram below)



2. Except for sidewalk cafés which (i) serve solely by takeout and (ii) do not desire exclusive use of the permit area, the permit area shall be separated from the pedestrian passageway with a fence or other rigid barrier having a minimum height of thirty-six inches but not greater than sixty inches except for necessary pedestrian ingress and egress. Sidewalk cafes approved for a maximum occupancy of 50 or more shall provide two exits. Sidewalk cafes approved for the sale of alcohol shall have no more than one open entrance and said entrance shall not exceed eight (8) feet in width. Clearance from ground level to the bottom of the barrier shall be no more than twenty-seven inches. In specific, unusual locations that have light pedestrian traffic and relatively wide areas between the curb and the private property line the conditions of approval may waive the requirement that the permit area be separated from the pedestrian passageway by a fence or other rigid barrier; provided that if such barrier is waived the permittee may not claim exclusive use of the permit area for his or her customers.

Compatibility per Staff Analysis: Compliant

- *The permitted café area is separated from the pedestrian passageway with a metal railing.*
- *Height: 36 inches – compliant*
- *Railing clearance not more than 27” – compliant*

The frame of the railing is made of 1-1/2" square tubing (mild steel powder-coated matte black), and 1/2" square tube mild steel vertical balusters. The base plates are 3/16"×3"×3" square steel plate with 7/16" diameter holes drilled in the 4 corners. The railings are mounted on the pavers with 3/8"×3" concrete anchors.

- *Capacity: 14 persons – compliant*
- *Currently, there are two 4' wide entrances to the sidewalk café. Since the café plans on serving alcohol, one of the entrances would have to be closed. The city staff has asked the applicant to close one of the openings with the same metal railing.*



3. No advertising shall be permitted on or in any sidewalk café or any extension thereof except to identify the product and/or the name of the vendor, and shall in all respects comply with the provisions of Title 22 and 27 of this code regulating signage.

Compatibility per Staff Analysis: *Currently, the café has an A-frame sign with its name and a directional arrow.*

4. No umbrella, canopy, or similar device in any sidewalk café shall be more than six and one-half feet above ground level without approval of the City.

Compatibility per Staff Analysis: *No umbrellas are proposed.*

5. All sidewalk cafés shall be located only in the exact location described in the approved application. Approved furnishings, including the number of tables and chairs to be provided, may not be modified or substituted.

Compatibility per Staff Analysis: *compliant*

- Choice of furniture included in the application includes 3 sets of 4-seaters

The application shows 7 sets of 22 inch two-seater round tables, of which 4 sets are placed along the railing side, and 3 sets placed against the exterior wall of the building. However, the applicant has confirmed that they would be ordering 22 inch square tables. (image below)

This leaves about 5'-6" of space between the tables for ADA access.



The position of the trash receptacle is not included in the site plan, but the applicant has confirmed that it would be included in the café.

Recommendations

In general, the plans are in conformance with the design standards. Some elements of design that require more attention and confirmation are:

- **Available unobstructed passageway.**

The DLA has removed the 3 bikeracks and will be in touch with the city for relocation, to make sure that it doesn't encroach on the pedestrian passageway.

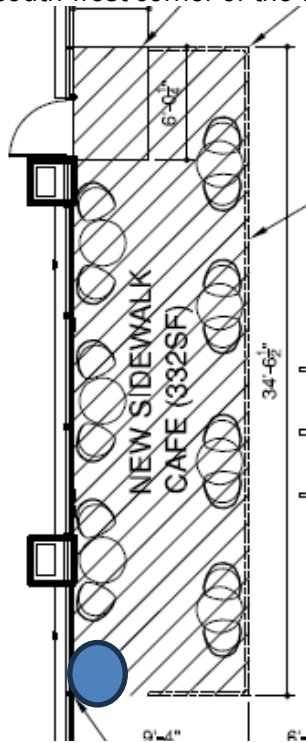
The city will also coordinate with the DLA to remove metal bench south of the café, and find an appropriate spot for relocation. Since this part of 11th Street falls in the Downtown Corridors Project

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Area, the applicant has been informed that the streetscape elements including the sidewalk café would be modified in the near future, to align with the project plans and goals.

- **Furniture**

- City staff approves of the 22 inch two-seater square tables, and three trash receptacle.
- Since the trash receptacle is not included in the site plan, we recommend that it be placed in the south-west corner of the café.



ATTACHMENT A - Location Map



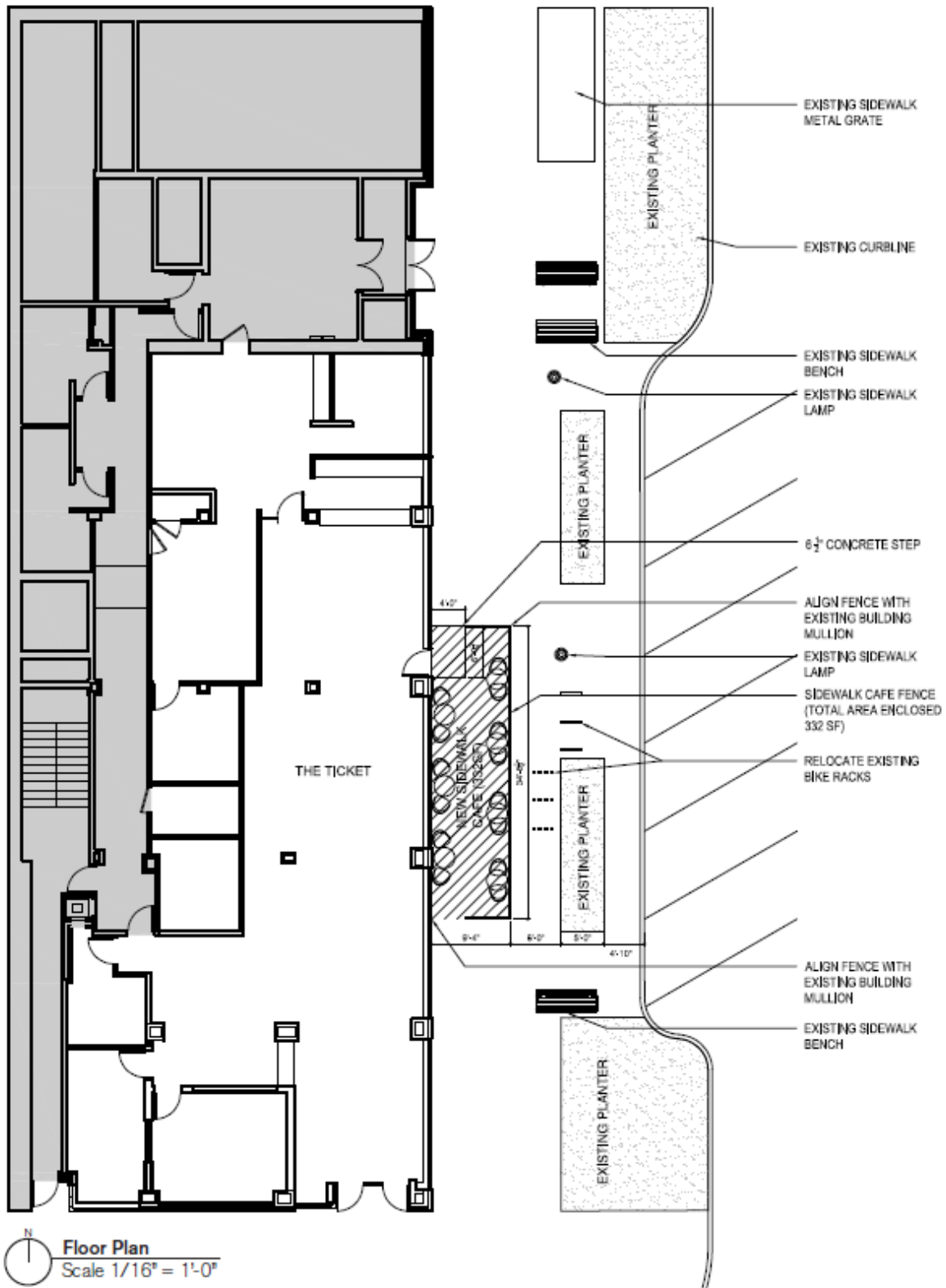
2022 Aerial



UDR23119 - The Mill Coffee & Tea Sidewalk Cafe - N 11th St & O St

Project: GIS\Projects\Dev\Review\UDC_LocationMaps.aprx
PDF: Boards\UDCREPORTS\Location Maps

ATTACHMENT B – Site Plan



SIDEWALK CAFÉ PERMIT APPLICATION

Please PRINT using blue or black ink only.

1

BUSINESS OWNER'S NAME & HOME ADDRESS					
NAME:	Daniel & Tamara Sloan				
STREET ADDRESS:	405 S 28th St			CITY:	Lincoln
STATE:	NE	ZIP:	68510	HOME PHONE #:	402-432-5669
EMAIL ADDRESS:	tamara@millcoffee.com				

2

MAILING ADDRESS					
NAME:	Same				
STREET ADDRESS:					
CITY:		STATE:		ZIP:	

3

CAFÉ INFORMATION					
BUSINESS NAME:	The Mill Coffee & Tea				
STREET ADDRESS:	1040 O St				
ZIP:	68508	BUSINESS PHONE#:	402-243-1188	FAX#:	

4

MANAGER OF CAFÉ & THEIR HOME ADDRESS					
NAME:	Tamara Sloan				
STREET ADDRESS:	405 S 28th St				
CITY:	Lincoln	STATE:	NE	ZIP:	68510
PHONE #:	402-432-5669	CELL#:		DATE OF BIRTH:	

5

OWNER OF PROPERTY					
NAME:	Derrick & Rebecca Pearson				
STREET ADDRESS:	1040 O St				
CITY:	Lincoln	STATE:	NE	ZIP:	68508
				PHONE #:	703-297-5113
DOES THE RECORD PROPERTY OWNER AGREE TO SUCH USE? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO					
ATTACH A NOTARIZED LETTER OF CONSENT BY RECORD PROPERTY OWNER FOR THE USE OF SAID PROPERTY & A COPY OF YOUR LEASE.					

6

DAYS & HOURS OF OPERATION							
	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY
OPEN	6am	6am	6am	6am	6am	8am	8am
CLOSE	10pm	10pm	10pm	10pm	10pm	5pm	1pm

7

HOW WILL THE SIDEWALK CAFÉ BE SUPERVISED & MAINTAINED
The property will be supervised by staff over 21 along with the manager.

8

HOW MANY PATRONS WILL BE SERVED IN THE CAFÉ AREA (OCCUPANCY):	60
--	----

9

DESCRIBE, IN DETAIL, ANY PERMITTED ADVERTISING TO BE USED (ATTACH PHOTOS)
Only Mill menu & branded signage.

10

DESCRIBE, IN DETAIL, FURNITURE TO BE USED (ATTACH PHOTOS)
Outdoor chairs and tables.

11

ALCOHOL		
WILL ALCOHOLIC BEVERAGES BE SERVED?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If YES, have you applied for your liquor license with the Nebraska State Liquor Control Commission?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Have you signed up for training with the Responsible Hospitality Commission?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

12

DESCRIBE THE TYPE OF FOOD & DRINK TO BE OFFERED FOR SALE (ATTACH A SAMPLE MENU)
We offer pastries, desserts, sandwiches and snacks as well as coffee, tea, alcoholic cocktails, beer & wine.

ATTACHMENTS

The following items *must* be ATTACHED to the application. Please put a Check (✓) mark next to those items you have attached.

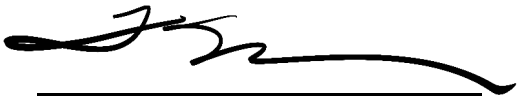
ITEM	ATTACHED
Enclosed Property Owner Checklist	
Building Permit (copy), if needed	
Food Establishment Permit (copy)	
Menu	
Notarized Letter of Consent from the Record Property Owner	
Signed Lease (copy)	
Site Plan (as described on checklist)	
Fencing Material (photo)	
Furniture (photo)	
Original Certificate of Liability Insurance (as described on checklist)	

HOLD HARMLESS AGREEMENT

Must be signed before a witness!

In consideration of being issued a permit for the use of surface space for a sidewalk café the undersigned applicant agrees to hold harmless the City of Lincoln and the officers and employees of the City for any loss or damage arising out of the use, or the discontinuance of any use. The undersigned agrees and understands that the use of the surface space is temporary, on a day to day basis; that the undersigned does not acquire any right, title, or interest in such space; that the undersigned may be required by the City at any time to vacate all or any part of the surface space that the undersigned has been given permission to use; that upon demand to vacate such space, the undersigned agrees to promptly remove any personal property placed thereon by the undersigned and to return the surface space to the same condition that it was in prior to commencement of such use or to reimburse the City for the cost of removing such property and restoring the surface space to its prior condition and that the undersigned has no recourse against either the City or its officers, employees or agents, either for any loss or damage occasioned by his or her being required to vacate all or any part of the surface space which the undersigned has been granted permission to use.

The undersigned further agrees at all times hereafter to comply with all municipal ordinances, rules and regulations of the City of Lincoln, Nebraska.

Tamara Sloan	09/11/2023	
Printed Name of Applicant	Date	Applicant's Signature
Witness		

TERMS AND CONDITIONS

To be signed by the property owner

Please read and initial each line item to confirm all parties understand the standards and requirements for sidewalk cafés. The owner agrees:

- If the tenant leaves, the owner is now responsible for the fencing surrounding the sidewalk café.
- The owner has 120 days after the old tenant leaves to identify a new tenant to use the sidewalk café space.
- In the event that the new found tenant is not eligible to apply for a sidewalk café or if a new tenant is not found, the fencing will be removed by the owner.

Tamara Sloan
Printed Name of Property Owner

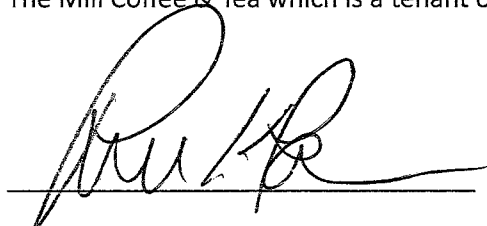
09/11/2023
Date

Owner's Signature

September 12, 2023

To Whom it May Concern:

This letter provides authorization to Tamara Sloan to be the designated representative in applying for a sidewalk café at 1040 O Street, Suite 100 on behalf of BDP Properties, LLC and for use of their business The Mill Coffee & Tea which is a tenant of BDP Properties, LLC.



Rebecca Pearson
Owner
BDP Properties, LLC

THE STATE OF NEBRASKA

COUNTY OF LANCASTER

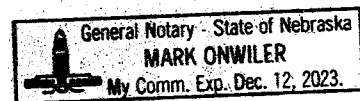
The foregoing instrument was acknowledged before me this 12th day of SEPTEMBER, 2023

by REBECCA PEARSON



Notary Public Signature

Print MARK ONWILER



TERMS AND CONDITIONS

To be signed by the property owner

Please read and initial each line item to confirm all parties understand the standards and requirements for sidewalk cafés. The owner agrees:

R
R
R

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BDP Properties, LLC
Robcca Pearson

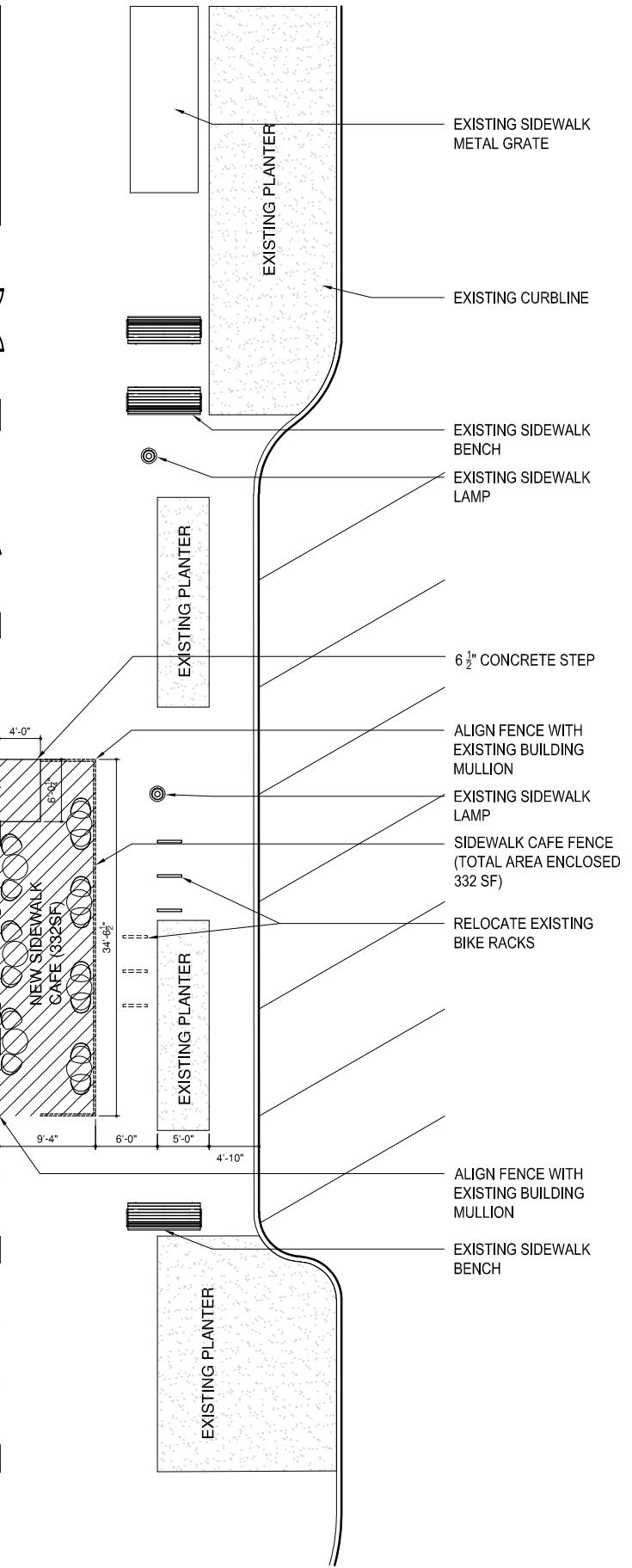
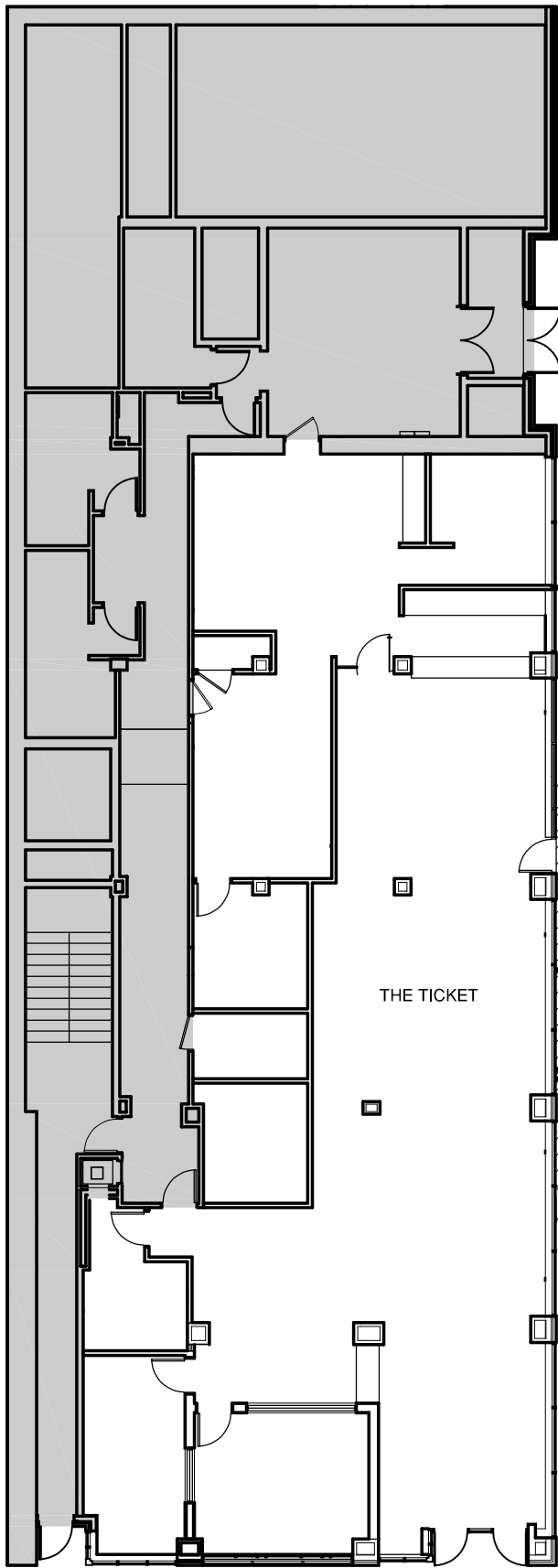
Printed Name of Property Owner

9/12/2023

Date



Owner's Signature




Floor Plan
 Scale 1/16" = 1'-0"







BUILDING PERMIT

CITY OF LINCOLN & LANCASTER COUNTY
BUILDING & SAFETY DEPARTMENT

Building Permit Number: **B2204004**

Nature of Work: New office buildout of the 93.7 Ticket Radio Station in the 1040 Condominium Building in Suite 100.
Location: TEN40 O CONDOMINIUM, AMENDED, BASE ACCOUNT LOCATED ON: LINCOLN ORIGINAL, BLOCK 42,
LOTS 20-21

1040

1040 O ST

Place in Window with this side facing the street.

Permit Holder shall call the 24-hour Inspection Line at 402-441-5999 prior to 7:30 a.m. weekdays to be eligible for inspections on the same business day.

Separate permits are required for Plumbing, Electrical, Heating, Curb Cuts, Signs, and Flood Plain Development.

Check setback requirements from your property lines before starting construction. For all new construction, lot stakes shall be visible for the footing/location inspection.

This notice is to be posted in the front window as evidence of a Building Permit and is not a Record of Inspection.

REQUIRED INSPECTIONS:

Approved drawing shall be kept on the construction premises at all times.

Foundation: Before pouring concrete.

Firewall: For townhouse and property line walls.

Framing: After all framing is complete.

Insulation: After all heating, electrical and plumbing is in place.

Final: After building is complete.

It is the responsibility of the owner or builder to determine that this construction does not violate any easement rights of any person, entity or any private covenant.

All inspections must be completed by Building and Safety personnel prior to issuance of Certificate of Occupancy.

RESIDENTIAL BUILDING CODE

Residential permits VOID unless construction started within 180 days of issuance or abandoned for 180 days, permit expires after two years.

COMMERCIAL BUILDING CODE

Commercial permits VOID unless construction started within 180 days of issuance or abandoned for 180 days.



Lincoln-Lancaster County Health Department
 Environmental Health Division
 3131 O Street
 Lincoln, Nebraska 68510

Time In 12:00 PM	Purpose Initial	Inspection Date 09/14/2023
Time Out 12:40 PM	Facility Codes 01A, 12A	

FIRM MILL OWNER GLOBAL WARMING INC
 ADDRESS 1040 O STREET LINCOLN NE, 68508

FOOD ESTABLISHMENT INSPECTION REPORT

Comments

Remarks: Facility is still finishing up some small construction projects. All surfaces in food prep and handling areas must be smooth, durable and cleanable. Bakery case must be installed and connected, equipment necessary for service should be properly installed and handwashing sink must be equipped with soap, disposable towels and signage (provided by inspector but not posted). Mop hangers should be installed once mops are on site. Facility will be adding a small walk-in cooler and dish drying racks. Facility is aware of requirements, and has agreed to not sell food until these requirements are met. Facility is permitted to open from a food standpoint as soon as fees of \$701.19 are paid to Lincoln Lancaster County Health Department. All other required regulatory inspections must be completed prior to opening to the public.

5555500109142023121853



Follow-up

Printed 09/14/2023 12:37:39 PM FIR206

Matt Husk

is

Environmental Health Specialist

MATT HUSK, EHS 63
 mhusk@lincoln.ne.gov (402) 441-7922

Received by Person-In Charge

SLOAN TAMARA S
 MANAGER

Obtain Food Handler and alcohol server/seller permits at
www.lincoln.ne.gov search word "Food".



HFE059570

MILL 1040 O STREET

Page 1 of 1

URBAN DESIGN COMMITTEE STAFF REPORT

APPLICATION NUMBER	Urban Design Record #
APPLICATION TYPE	Advisory Review: Potential Neighborhood Design Standards Appeal
ADDRESS/LOCATION	4207 Pioneers Boulevard
HEARING DATE	December 05, 2023
ADDITIONAL MEETINGS	-
APPLICANT	Richard Gruenemeyer, rdjhn3vs16g@yahoo.com
STAFF CONTACT	Arvind Gopalakrishnan, 402-441-6361, agopalakrishnan@lincoln.ne.gov

RECOMMENDATION: ADVICE ONLY

Summary of Request

Mr. Richard Gruenemeyer is proposing an underground single-family dwelling on 4207 Pioneers Boulevard.

Designs for new homes in the well-established neighborhoods of Lincoln are required to meet Neighborhood Design Standards which encourage construction that is compatible with the surrounding neighborhood. The proposed home design is incompatible with a number of requisites in the Neighborhood Design Standards.

Staff Note:

Since the entire structure except for the car garage is underground, it is atypical in Lincoln, and does not meet the Neighborhood Design Standards. This type of house design would typically require many waivers for the deviations from the standards and would be denied by the Director of Planning. It would then have to be appealed to the Urban Design Committee.

However, the applicant and the architect would like to present the schematic drawings and seek the Urban Design Committee's advice for further design development. The applicant would then decide if they would like to move forward with revisions to the current design or come back with a new proposal at a later date.

Compatibility with the Neighborhood Design Standards (NDS)

Given its location and zoning, the project is subject to the Neighborhood Design Standards. The purpose of the Neighborhood Design Standards is to encourage rehabilitation of existing housing in certain areas, while allowing necessary new construction that is compatible with the surrounding development. What follows is a summary of the relevant design standards and staff's analysis of the project's compatibility with said standards.

Chapter 3.75, Neighborhood Design Standards
Section 4.1: Building Elements.

1. New buildings shall utilize a roof type and pitch commonly found within the same and facing block front. Hipped or gable roofs with pitch of at least 22.5 degrees (6/12 pitch) are acceptable for any project regulated by the Neighborhood Design Standards. Roofs of lower pitch and other types may be compatible in specific districts and can be proposed and approved on an individual basis.

Compatibility per Staff Analysis: *TBD- Garage roof pitch to be specified.*

2. New buildings shall provide at least two openings (combination of windows or door) per story oriented to the street including at least one window and an entrance to a dwelling unit or to a hallway leading to a dwelling unit.

Compatibility per Staff Analysis: *Non-Compliant.*

Garage doors do not count as openings.

3. Front porches are required, when half or more of the houses on the same and facing block fronts or on adjacent blocks have front porches. Front porches shall be equal in width to at least 50% of the length of the front façade and equal in depth to half the depth of the front yard, or ten feet, whichever is less. Smaller porches may be approved based on evidence that half or more of the houses on the same and facing block fronts or on the adjacent block faces have smaller porches.

Compatibility per Staff Analysis: *Non-Compliant*

No front porch.

4. Exterior stairs serving second floor units are not allowed on street facades.

Compatibility per Staff Analysis: *N/A*

5. The elevation of the first-floor level of new dwellings shall generally match the pattern of half or more of the houses on the same and facing block fronts. In other words, if the first floor of most houses in an area are positioned three or four steps above the prevailing grade, new dwellings should have a similar height of first floor, and if most surrounding houses are one or no steps above grade, new construction should match this characteristic. The Planning Director may approve designs that do not meet this requirement upon receiving information that there are no other practical and reasonable means of providing accessibility to a new dwelling for persons with mobility impairments, and provided the design offers other features to enhance the compatibility of the new building with neighboring dwellings.

Compatibility per Staff Analysis: *Non-Compliant*

No steps above grade.

6. In areas subject to these Standards that do not have prevailing patterns (such as new streets development as Community Unit Plans (CUPs), the general intent is to produce dwellings which are oriented to principal access ways and have the “neighborly” design characteristics called for in these standards, while respecting the creative design elements fostered by CUPs.

Compatibility per Staff Analysis: *N/A*

7. Garages, if constructed, shall follow the pattern of half or more of the residential properties on the same and facing block front, such as:

- a. if the pattern in an area is that garages are located behind the house, a pattern of rear garages shall be followed.
- b. if the pattern in an area is that garages are attached or that garages are part of the main building with doors facing the street, doors for not more than two stalls are permitted on a portion of the main building facing a front lot line, provided such doors shall not occupy more than 40% of the length of the principal street façade. Garage doors are permitted in the main plane of the façade or forward of the main plane only when documentation is provided that such a feature is the pattern of half or more of the houses in an area (such as post-World War II “ranch” houses).
- c. if there is no garage pattern shared by at least half of the residential properties on the same and facing block front, garages may be attached and face the street provided the garage portion of the building is set back from the main plane of the principal façade at least five feet.

Compatibility per Staff Analysis: *Questionable*

Garage is the only structure above grade.

8. Height of new buildings should be similar to that of existing residences on the same and facing block fronts. New buildings shall be acceptable that are not taller than the tallest residential structure, nor shorter than the shortest residential structure, built prior to December 31, 1949 on the contiguous block face, provided that:

- a. the maximum allowable height shall not be reduced to less than twenty-eight (28) feet, and
- b. if the height permitted under this section would exceed that permitted in the underlying district, the new building shall be no taller than an existing, adjacent building. Taller structures may be approved on a case-by-case basis, when a steeper roof would increase compatibility between the new building and adjacent older residences.

Compatibility per Staff Analysis: *Questionable*

Height lower than the adjacent houses.

9. In order to encourage variation of the front elevation, up to twenty-five percent (25%) of the length of the principal street façade may be constructed up to two feet (2') into the required front yard. Use of this provision, however, cannot increase the extension of porches into a required front yard beyond that otherwise allowed in Sections 27.71.100 and 27.71.110 of the Zoning Ordinance.

Compatibility per Staff Analysis: *NA*

10. The rhythm of similar width houses on similar width lots does much to establish the character of Lincoln's established residential areas. Large new buildings disrupt this character, unless design measures are employed to reduce their apparent scale. New buildings over fifty feet (50') in length on the principal street facade should be designed to maintain the rhythm of the existing adjacent buildings. Designs will be bound to meet this standard which offset the principal street façade and roof at intervals of fifty feet (50') or less. These offsets shall be at least six feet (6') in depth, and the portions of the façade offset shall equal at least 10% of the length of the façade. Alternate designs that maintain the rhythm of the blockface by such

means as shifts in materials withing the facade, use of multiple porches and/or dormers, and grouping of windows and entrances, may also be approved on a case-by-case basis.

Compatibility per Staff Analysis: *Non-Compliant*

Section 4.2: Yards and Open Space

1. Elevated walkways, or balconies serving more than one unit shall not be located on a portion of the building facing a front or side yard, nor shall open space credit be given for any walkways or balconies.

Compatibility per Staff Analysis: *NA*

2. Entrances to the building shall not be located on a portion of the building facing a side lot line unless the entire building is at least ten feet (10') from that side lot line.

Compatibility per Staff Analysis: *NA*

3. No more than one mechanical unit, such as air conditioning units, shall be located within each required front yard and not more than three in any required side yard, provided that multiple units are spaced at least twenty feet apart. Such access will be screened from adjacent properties if located within a required front yard or withing ten feet (10') of a side lot line.

Compatibility per Staff Analysis: *Unknown*

4. Care should be taken to preserve existing street trees. Any trees removed shall be replaced in accord with the City's Master Street Tree Plan, and additional trees shall be planted as necessary to reach a standard of one street tree per fifty feet (50') of street frontage.

Compatibility per Staff Analysis: *Questionable*

Section 4.3: Parking

1. No required parking space shall be allowed between the building and the front property line. Driveways and parking aprons in the front yard may not measure more than 20 feet wide.

Compatibility per Staff Analysis: *Compliant*

2. Trees in addition to any others required elsewhere shall be planted within five (5) feet of a parking area at the rate of one tree for every six (6) parking spaces.

Compatibility per Staff Analysis: *NA*

3. Parking areas of four or more stalls shall be screened from adjacent properties. Fences may be used for screens in rear yards.

Compatibility per Staff Analysis: *NA*

Recommendations

Given the nature of the project, the Planning Department recommends the garage have a white laminate or a frosted glass door instead of a fully opaque door. Although it would still not meet the window and opening requirements, at least some design intent or feature to accentuate the façade is advised.

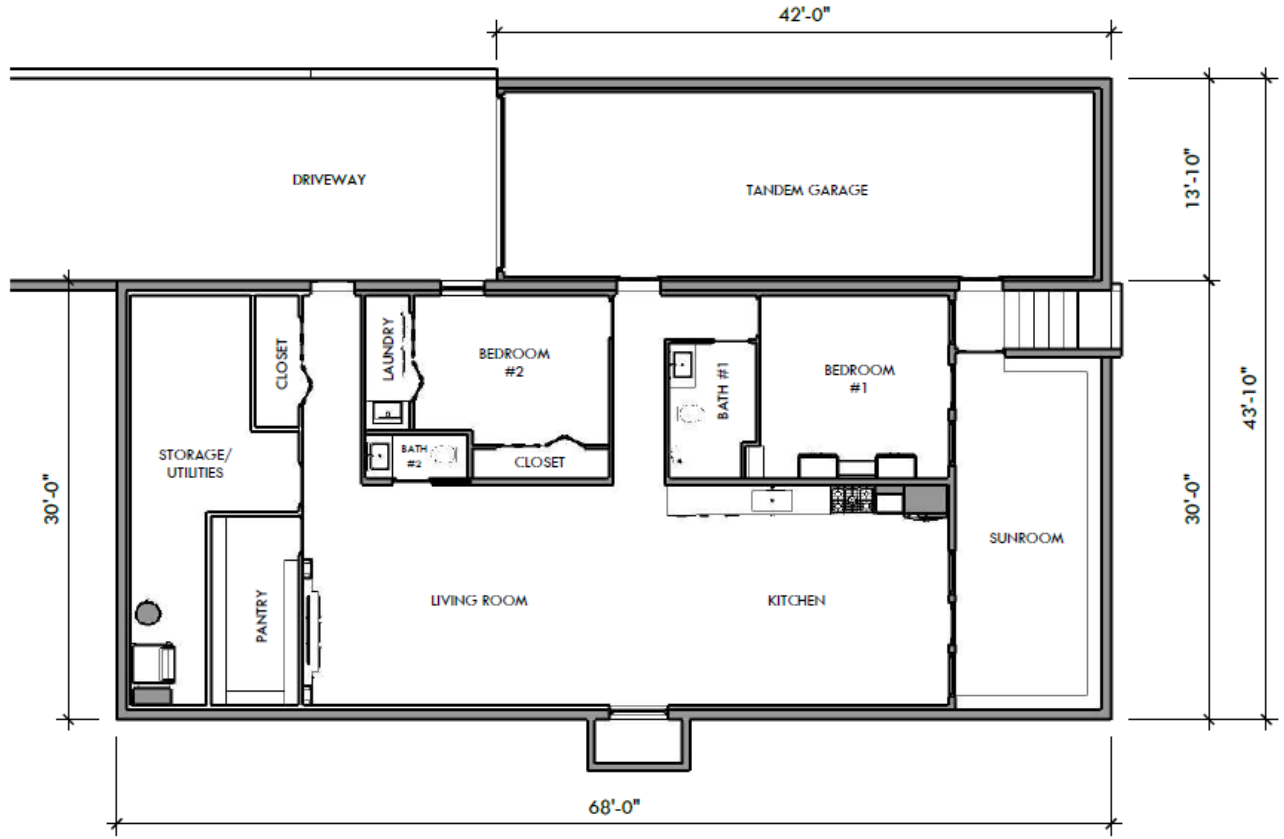
Since this house design does not blend with the neighboring properties, we also recommend incorporating colorful and ornamental plants and shrubs around the garage for to improve the overall appearance of the property and foster a more cohesive architectural context within the community.

ATTACHMENT A – Location Map

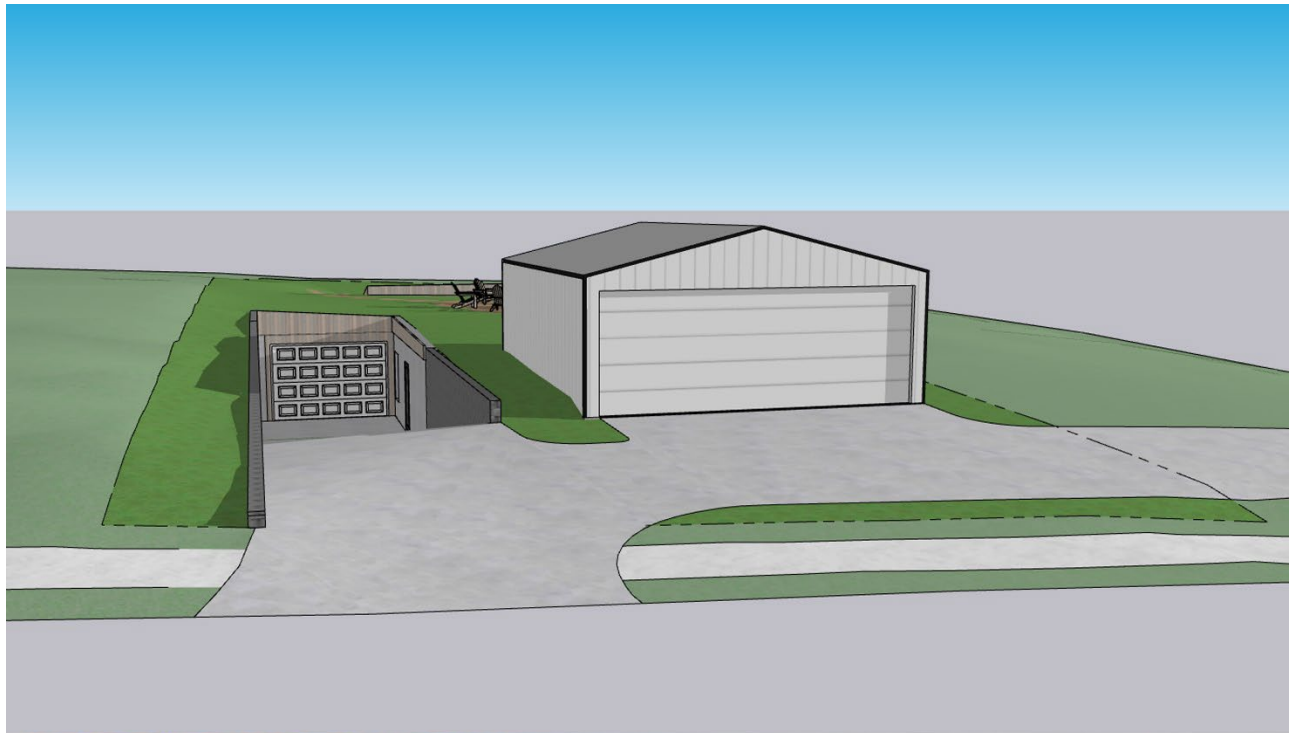


<https://inlanc.sharepoint.com/sites/PlanningDept-Boards/Shared Documents/Boards/UDC/REPORTS/2023/12 Dec/4207 Pioneers Blvd staff report.docx>

ATTACHMENT B - Site Plan



ATTACHMENT C – Perspective Images



GRUENEMEYER HOME - STREET VIEW
4207 PIONEERS BLVD
LINCOLN, NEBRASKA



View from Pioneers Blvd



GRUENEMEYER HOME - REAR YARD VIEW
4207 PIONEERS BLVD
LINCOLN, NEBRASKA



View from the back alley



GRUENEMEYER HOME - FLOOR PLAN OVERVIEW

4207 PIONEERS BLVD
LINCOLN, NEBRASKA

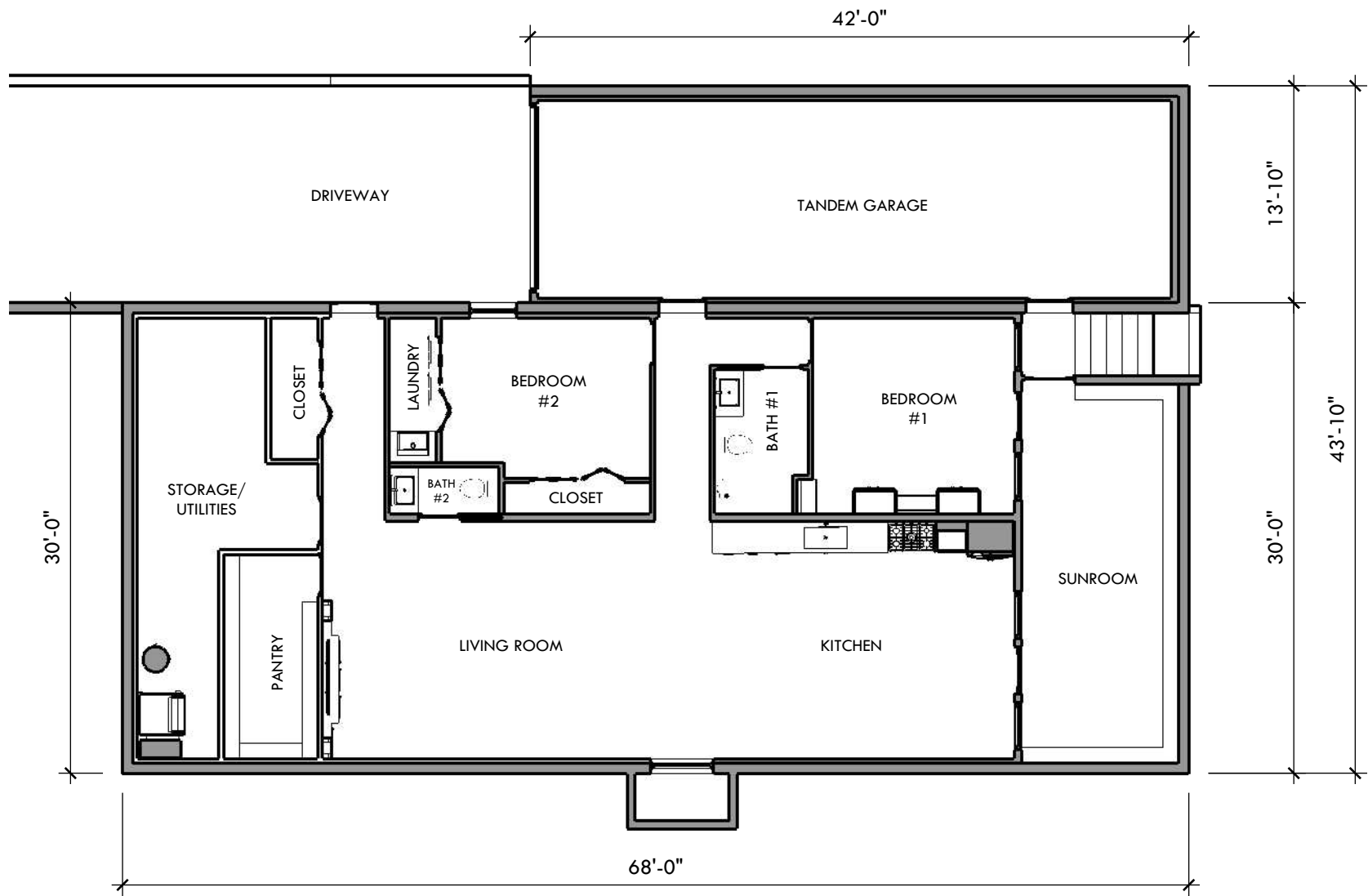


Schematic Floor Plan

ATTACHMENT D – GARAGE IMAGES



Menards Shed Samples



DATE: 11/9/2023 PROJECT: 2023-4207PB

SHEET 1/1

GRUENEMEYER HOME - 4207 PIONEERS

SIMPLE FLOOR PLAN

These plans are the property of the owner listed. Owner to verify all dimensions and specifications prior to construction. Owner assumes all liabilities of design and construction thereof. Owner to be sure construction conforms to all building codes

2041 S 18th Street
Lincoln - NE - 68502
Ph: 402 - 890 - 4166
bridgewaterconsultingNE.com

BRIDGEWATER
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DESIGN • CUSTOM HOMES • MODELING

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