NEBRASKA CAPITOL ENVIRONS COMMISSION

The Nebraska Capitol Environs Commission will hold a meeting on **Friday, April 25, 2025 at 8:30 a.m.** in the County-City Building, 555 S. 10th Street, Lincoln, Nebraska, in **City Council Chambers** on the 1st Floor. For more information, please contact the Lincoln City/Lancaster County Planning Department at 402-441-7491.

AGENDA

April 25, 2025

1. Approval of meeting record from March 28, 2025

Public Hearing & Action

2. 14th and Lincoln Mall Intersection Improvements *(Lincoln Transportation & Utilities; UDR25014)*
3. O Street Water Main Replacement *(Lincoln Transportation & Utilities; UDR25037)*

Discuss & Advise

4. Staff report & miscellaneous

ACCOMMODATION NOTICE: *The City of Lincoln complies with Title VI of the Civil Rights Act of 1964 and Section 504 of the Rehabilitation Act of 1973 guidelines. Ensuring the public's access to and participating in public meetings is a priority for the City of Lincoln. In the event you are in need of a reasonable accommodation in order to attend or participate in a public meeting conducted by the City of Lincoln, please contact the Lincoln Commission on Human Rights at 402-441-7624, or the City Ombudsman at 402-441-7511, as soon as possible before the scheduled meeting date in order to make your request.*

MEETING RECORD

Advanced public notice of the Nebraska Capitol Environs Commission meeting was posted on the County-City bulletin board and the Planning Department's website.

NAME OF GROUP:	NEBRASKA CAPITOL ENVIRONS COMMISSION
DATE, TIME AND PLACE OF MEETING:	Friday, March 28, 2025, 8:30 a.m., City Council Chambers, County-City Building, 555 S. 10th Street, Lincoln, Nebraska.
MEMBERS IN ATTENDANCE:	Eileen Bergt, Ann Post, Andrea Gebhart, Kile Johnson, Heidi Cuca and David Quade.
OTHERS IN ATTENDANCE:	Collin Christopher, David Cary, Clara McCully and Kristi Merfeld of the Planning Department; Elizabeth Elliott, Danielle Vachal, Craig Aldridge, and Ryan Leeper of the Transportation and Utilities Department; Matt Hansen and Dave Brooks from the State of Nebraska; and other interested citizens were present.
STATED PURPOSE OF MEETING:	Nebraska Capitol Environs Commission Meeting

Chair K. Johnson called the meeting to order and acknowledged the posting of the Open Meetings Act in the room.

K. Johnson then called for the approval of the minutes of the regular meeting held October 25, 2024.

Motion for approval with corrections made by Cuca, seconded by Gebhart, and approved 5-0: Bergt, Post, Gebhart, K. Johnson, Quade, and Cuca voting "yes".

PUBLIC HEARING AND ACTION

UDR25014- 14TH AND LINCOLN MALL INTERSECTION IMPROVEMENTS

Public Hearing **March 28, 2025**

Members Present: Bergt, Post, Gebhart, K Johnson, Quade and Cuca.

Collin Christopher, Planning Department, 555 S 10th Street, Lincoln, NE, came forward and stated this item came to NCEC in February 2024 with a proposed

temporary bump-out installation. Today, they have a more permanent solution to present. It shows bump-outs on the East and West sides. The planning staff supports bump-outs throughout downtown for enhanced pedestrian safety and connectivity.

The plan incorporates decorative red concrete pavers and pink/salmon-colored ramp areas, which, while against LTU's paver policy, helps maintain Lincoln Mall's aesthetic. There are two primary concerns regarding the east side of Fourteenth Street. First, Capitol staff previously raised concerns about how the bump-outs could affect their operations, particularly regarding school bus parking and snow removal. Second, the curb line has remained unchanged for nearly 90 to 100 years, so any alterations must be considered carefully, with further discussions needed at the state level with stakeholders.

Elizabeth Elliott, LTU, 555 S 10th Street, Lincoln, NE came forward and stated this proposal, initially presented in February 2024, has evolved from a temporary plan to a permanent solution. It addresses concerns raised by senators, lobbyists, and local residents regarding vehicles traveling at high speeds in an area with significant pedestrian traffic. Ensuring pedestrian safety is a top priority, along with facilitating smooth traffic flow for all modes of transportation.

LTU's team of traffic engineers, who are experts in their field, has determined that while this intersection does not meet federal guidelines for installing a stop sign, we have devised a plan that balances the needs of both drivers and pedestrians. The goal is to enhance safety without sacrificing essential parking spaces in the area.

The design considers the visibility challenges posed by parking. Placing stop signs further back, behind parked vehicles, can make them difficult for drivers to see. Pedestrians often stand farther back on the curb, obscured by parked cars, which complicates visibility for drivers. Before converting this intersection to a two-way street in 2021, stop signs were already in place; however, drivers frequently ignored them, partly due to poor visibility. Notably, the only accident recorded at this intersection in the past 22 years occurred when stop signs were present. Since then, there have been no reported accidents at this location.

Elliott stated that they are proposing a way to make stop signs more effective while ensuring pedestrian safety—a common goal for all involved. The bump-outs mentioned earlier will be constructed using pavers to meet the design standards established by this Commission.

Importantly, by implementing bump-outs on the east side of the road, they can avoid eliminating any parking spaces. This design will not only preserve valuable parking

stalls but also enhance pedestrian visibility for drivers, making it less likely that they will ignore the stop signs. When stop signs are not visible to drivers, it increases the risk of pedestrian accidents because pedestrians may assume that vehicles will stop at the sign. If drivers are unaware of the stop sign, they may proceed without stopping, heightening the risk of collisions between pedestrians and vehicles.

LTU's recommendation is to install bump-outs on both sides of the intersection. This plan has been reviewed by experienced traffic engineers who specialize in these matters. By only implementing part of this recommendation, they are not significantly increasing safety and are essentially leaving half of the pedestrians at this location exposed to greater risk when crossing the street. While there is value in the aesthetics and history of a curb line, the primary concern should be the safety of both pedestrians and drivers.

Fortunately, LTU has a very experienced team of snow removal professionals, and they are not concerned about the snow removal process. While it does present a bit more of a challenge, that is the case anywhere across the community. She believes that by improving pedestrian safety at this intersection in the metro area, as recommended by LTU, they will achieve the goal of protecting pedestrians year-round, not just during the legislative session. If it feels safer for pedestrians, it is more likely to attract more people to the Capitol, which is ultimately our goal: to highlight, showcase, and encourage visitation to this key landmark in our community.

With these goals in mind, this design fulfills all of LTU's desired objectives and intentions. She is happy to answer any questions, and also has the engineers who designed this plan present and available to provide more technical information. Thank you again for the opportunity to present.

Post asked if the intersection design is contrary to LTU policy.

Elliott stated concrete pavers are more expensive and challenging to maintain, but certain areas of town need them. They are not in the walkway and consistent with other blocks around the Capitol.

Post asked about the proposed timeline and funding.

Elliott stated they need to get a contractor and would probably be looking at construction late summer, but it could be completed this year. The proposed funding source is transportation funding. The project falls within their typical safe route programs.

K. Johnson asked about moving State Patrol parking, which had been mentioned at a prior meeting.

Elliott stated there is not technically a parking spot on the East side of 14th Street, though State Patrol is occasionally in that area. With a bump out, that would put a parked vehicle there in the line of traffic, so it would no longer be able to be used as a parking area. The proposed plan does not eliminate any parking.

K. Johnson asked if it was taken into consideration that this is a bus drop-off zone.

Elliott stated this plan would eliminate any parking, but a parked bus would block the view of pedestrians and the stop sign. If the focus is on pedestrian safety, parked buses would create a safety hazard.

K. Johnson asked where the buses would go.

Elliott stated the buses could go to any of the other three sides, but likely the South side.

Gebhart asked if a Rapid Rectangular Flashing Beacon (RRFV) was an option for a walk signal.

Elliot stated they are more expensive. They require a conduit for flashing lights, and are likely not an aesthetic idea the Commission would want in that area. Flashing lights might disturb residents. They would have to be set far back and drivers might not notice them, so not more effective than a stop sign. They would also require a bump out. Stop signs would not increase pedestrian safety and would require the removal of parking on both sides of the street. If the goal is pedestrian safety, removing parking and adding stop signs does not increase pedestrian safety.

Gebhart asked if there are any numbers or statistics of complaints for this intersection.

Elliott stated there are not many complaints outside of legislative session. They do have traffic volume data. There has not been a crash in this location since 2003, and that was between two vehicles. There was a 2024 crash that was alcohol-related.

K. Johnson asked if the aast side of the proposed design is not approved, is the west side still effective?

Elliott stated it is less effective. The protection is only on the west side. Another protection is shortening the distance for pedestrians to walk.

Gebhart stated regarding uniformity of the capitol square, other intersections have overhead lights and streetlights. In the development of this design, was a more uniform treatment of the crossings considered?

Elliott stated each side is unique, with different challenges. The north and south sides are somewhat consistent with each other, while the east and west sides face challenges due to driveways that create additional crossing points and potential crash locations. On the east side of the Capitol, along Sixteenth Street, traffic volume is significantly higher. This area is one-way southbound and has stoplights on both adjacent blocks. Concerns have been raised about this side of the Capitol, but they are unrelated to mid-block crossings. Since there are few mid-block crossings there, it's unclear if improvements are needed.

Bergt asked if the historic curb on the capitol side could remain intact, and if the crosswalk could be straight instead of angled.

Elliott stated this board's guidelines are for all paths to point to the stairs. They are trying not to take up existing parking. They could do without bump outs, but it's not as safe. They are trying to balance the needs and safety of all in this area. Creating and putting in traffic control devices may seem simple, but can create a more dangerous situation. Drivers take the path of least resistance, and a lot is going on in this area. In LTU's area of expertise, the combination of stop signs and bump outs are safest.

K. Johnson asked if a bollard-type stop sign was considered.

Elliott stated they are more dangerous. A crash is much more likely, and would likely cause injuries. Drivers are habitual, and consistency helps with safety. Drivers are not looking for a stop sign on the left.

Danielle Vachal, LTU, 949 W Bond Street, came forward and stated the point of the crosswalk is to increase safety. If there is less of an angle, it is then compromising crossing distance. It increases pedestrian exposure. It would cost $50,000 for 4 or 5 extra feet of exposure. The restriction was given to her years ago that the crossings need to stay in alignment with the steps.

Bergt stated the goal for her is to make it safe and save the curbline.

Gebhart asked if there are temporary crossing measures in place currently.

Elliott stated there are crosswalks which have been in place since the two-way conversion in 2021, but no temporary measures are in place.

Support

Tom Brandt, District 32 State Senator, 1445 K Street, came forward and stated he lives at Sky Park during the legislative session and crosses several times each day. Many events for senators are held on that side of the street. There is also nearby housing for low-income and disabled people. There is a high volume of pedestrians in-session. The switch to two-way traffic has created congestion, especially with the short traffic light on K Street leading to impatient drivers distracted by their phones, raising safety concerns. He proposed increasing enforcement by lowering the speed limit to 15 mph and increasing police presence, as well as towing cars parked for over two hours. He recommended developing the nearby lot for visitor parking.
Brandt brought a resolution supported by 46 of 49 senators. The Speaker did not sign it for impartiality, and he couldn't catch the other two. The lobbying community has also expressed concerns, as close calls have increased on the narrow street despite few accidents. A particular concern is the southeast corner of the Capitol, where faded crossing marks and parked vehicles limit visibility for drivers. Removing three parking spots could greatly enhance safety in that area.

Post asked what is preventing putting more parking around capitol.

Brandt stated there have been plans. Wells were been put in five or six years ago. He believes the State owns that lot and it would be close enough to the capitol for visitor parking. It has been a constant struggle with issues for handicap accessibility.

Justin Brady, Citizen, 645 S 14th Street, came forward and stated he crosses the intersection at least 500 times a year, as his office is just on the other side. After nearly 27 years of navigating this intersection, he believes it is safer with a stop sign in place, despite occasional violations. He brought a petition signed by 37 business owners and employees, mostly lobbyists, requesting action on this issue (Exhibit 1). The city's traffic engineer mentioned federal guidelines, but this intersection is unique and warrants special consideration, especially given its proximity to the State Capitol, which attracts thousands of visitors.

Matt Hanson, Office of the Capitol Commission, 1445 K Street, came forward and stated Brett Doherty, the interim capital administrator, is unable to attend today. They oppose changes to the curb line on the Capitol side but are open to removing some parking spaces to improve visibility for a stop sign. The graphic shows green areas as turf, with concrete extending across the intersection. It's essential to maintain existing curb cuts for historic bronze street lights. Last year, they moved State Patrol parking

to enhance pedestrian visibility and are willing to eliminate some parallel parking if needed. For the lot previously mentioned as a parking solution, they chose to plan for a future building combining parking and office space. They also have plans to restore the historic curb lines on the other sides and aim to maintain them on the west side.

Gebhart stated that this seems to be a drop-off zone. Is there a designated drop-off zone for the Capitol?

Hanson stated that occasionally, buses use the area as a drop-off, though they don't encourage it. The drop-off is the south entrance, and then parking would be on the south side of G Street down by McPhee Elementary. Bump outs would cause issues for drop-off and pickup, not that they encourage the location for that use.

Bob Ripley, citizen, 3022 Williams Street, came forward and stated that, regarding the one-way street on Fourteenth Street from Lincoln Mall North to K Street, many drivers mistakenly treated it as a two-way street. As for parking around the Capitol, his experience dates back to 1975, and there have been at least three or four studies on this issue. Unfortunately, the State has chosen not to act on any of the findings. One proposal involved utilizing the geothermal well field site for parking, but the plan was shelved as working from home became more common. There have been many studies over the years, but there has been a consistent lack of action.

Bergt moved approval of the project on the West side. On the East side, leave the Capitol curb line as is, remove parking and install a stop sign, seconded by Quade.

Post stated she would not support the motion because she supports the bump-outs. It would change the historic curb line on the Capitol side. The beauty of the Capitol building is that it's both historic and it's a working building. There is a need to balance the safety of the people working there with the historic nature of the building.

Cuca stated she has also worked at the Capitol, and if people aren't following a stop sign, they're going to park there. Cuca concurs with Post. The bump-out would add safety. It goes against design tactics, but the safety is paramount here.

Gebhart stated she is not supportive of the motion because it only approves half of one design solution. Gebhart would like to see this revisited with the goal of improving pedestrian safety and maintaining the curbline.

Quade stated he is in support of the motion.

K. Johnson stated he is in support of the motion. It's a reasonable balance between preservation and safety.

Motion failed for approval due to lack of obtaining four affirmative votes; 3-3; Bergt, K. Johnson, and Quade voting 'yes'; Gebhart, Post and Cuca voting 'no'.

Post moved approval of the project as presented, seconded by Cuca.
Motion failed for approval due to lack of obtaining four affirmative votes; 2-4; Cuca and Post voting 'yes'; Gebhart, K. Johnson, Quade, and Bergt voting 'no'.

Post moved to defer the item to the next Commission hearing, seconded by K. Johnson.

Post asked if one month would be sufficient enough time.

Elliott stated it would be, though she would not be at the April Commission meeting.

K. Johnson asked if Elliott could make changes to the proposal to balance preservation and safety.

Elliott stated she would need to check with the engineers if there is an alternative plan that's also within a reasonable budget.

Bergt asked if temporary measures could be tested on the East side.

Elliott stated not changing both sides at the same time would create additional issues and confusion for drivers. They had also proposed temporary measures to NCEC in February 2024, and NCEC denied the request.

Motion carried 6-0: Bergt, Post, Gebhart, K. Johnson, Quade, and Cuca voting "yes": D Johnson absent.

UDR25015- M STREET WATER MAIN REPLACEMENT

Public Hearing **March 28, 2025**

Members Present: Bergt, Post, Gebhart, K. Johnson, Quade, and Cuca; D Johnson absent.

Collin Christopher, Planning Department, 555 S 10th Street, Lincoln NE came forward and stated that this project goes from 13th Street to Antelope Valley, with the area in NCEC purview spanning 14th Street to 16th Street. Water main projects can be destructive to existing streetscape but they are not proposing an open trench method

and are instead using direction boring. No trees will be removed in the Evirons District. Decorative treatments would not be impacted due to the direction boring strategy. In general, staff is supportive of this project.

Craig Aldridge, LTU, 949 W Bond Street, came forward and stated the project will mainly use direct drilling to minimize surface impact, moving the proposed water main to the south side of M Street due to existing utilities. Impacts at Centennial Mall will be minimal, with some sidewalk restrictions during hydrant replacement. Lane closures will occur on N Street and at 14th and 16th Streets for about seven to ten days while they connect the new main. Bids open mid-April, with construction starting in early June and expected completion by mid-September at an estimated cost of $1.4 million from the select main replacement fund with Lincoln Water System.

Dave Brooks, Nebraska State Building Division, 301 Centennial Mall, came forward and stated he would like to know how the lane closures will affect the parking entrance on the north side of 1501 M Street, the loading dock located on the north side of 301 Centennial Mall, and the entrance to the garage at 1401 M Street.

Aldridge stated they will use direct drilling, which involves tunneling underground instead of open trenching. Lane closures will mainly occur during the transfer of services from the old main on the north side to the new main on the south side. After reviewing the plans for access points at 1401, they will create gaps in the lane closures to ensure access to facilities. He doesn't anticipate any major impacts or blockages. They will set up cones to guide drivers for ingress and egress. However, there may be restricted sight lines, so drivers should use caution around any equipment in the street and ensure traffic is clear before turning.

Gebhart moved approval of the project as presented, seconded by Bergt, and carried 6-0: Bergt, Post, Gebhart, K. Johnson, Quade, and Cuca voting "yes": D Johnson absent.

DISCUSS & ADVISE

<u>ADOPTION OF 2023 ANNUAL REPORT:</u> **March 28, 2025**

Members Present: Bergt, Post, Gebhart, K Johnson, and Cuca; D Johnson and Quade absent.

Christopher stated he gave an overview of the report at the joint meeting in November. He would ask for a vote of approval.

K johnson thanked staff for their efforts.

Cuca moved approval, seconded by Quade and carried 6-0: Bergt, Post, Gebhart, K. Johnson, Quade, and Cuca voting "yes": D. Johnson absent.

STAFF UPDATES

Christopher stated NCEC will discuss the 14th & Lincoln Mall intersection improvements again in April. There will also be a new LTU water main project along O Street, from 9th Street to 16th Street. This project is necessary for maintenance and will precede the downtown corridor streetscape project, which begins this year.

Cuca asked if the new convention center area is under NCEC purview

Christopher stated it is outside of NCEC's purview but it might be a discussion item.

K. Johnson asked for an update regarding the Commission vacancy left by D. Johnson.

Christopher stated that the Mayor's Office is still vetting candidates. Hopefully there will be a nomination in the next month going to City Council.

Gebhart stated she will be gone for the April NCEC meeting, but would like to provide comments.

There being no further business, the meeting was adjourned at 9:55 a.m.

Exhibit 1

TO: Chairman Ben Hansen
Members of the Executive Board

FROM: Members of the Lobby

RE: LR40 – Letter of Support

DATE: March 17, 2025

Good afternoon, Chairman Hansen and Members of the Executive Board:

We would like to thank Senator Brandt and the forty-five other legislators for their support and endorsement of LR40.

Many of us are privileged to have office space within the blocks surrounding the Capitol and can attest to the danger that crossing 14th street presents, especially during the legislative session. Drivers and pedestrians alike are often faced with crossing the street under adverse conditions, including traffic turning in three different directions with little visibility.

As constituents and legislative staff use the parking spaces surrounding the Capitol, inevitable blind spots are created with vehicles parked alongside 14th street. Pedestrians' line-of-sight is obstructed, creating challenges of timing their crossing. Furthermore, vehicles traveling both north and south do not yield to pedestrians making their way east to the Capitol. In fact, many vehicles driving north actually accelerate in front of the Capitol so they can make it through the set of lights situated at 14th and K.

Several of us have seen firsthand the physical harm that can occur at this intersection. And while not as many have as much skin in the game – quite literally – as Kent Rogert does, it is important to everyone's continued safety to place stop signs back in these heavily trafficked areas.

We encourage the City of Lincoln and the Nebraska State Capitol Environs Commission to act swiftly and again thank Senator Brandt for introducing LR40.

Sincerely,

Justin Brady
Kent Rogert
Korby Gilbertson
Bruce Bohrer
Krissa Delka
Jason Bromm
Curt Bromm
Bryan Slone
Jennifere Creager
Courtney Wittstruck
Bill Mueller
Joe Kohout
Brennen Miller
Sarah Wagelie

Natalie Peetz
Cora Schrader
Cathy Heyen
Harrison Peetz
Jack Peetz
Katie Zulkoski
John Lindsay
Randi Scott
Angela Amack
Scott Moore
Tim Keigher
Tip O'Neill
Loy Todd
Ansley Fellers

Seth Voyles
John Cederburg
NE Farm Bureau
Randi Scott
Richard Baier
NE Bankers Association
NE Strategies
Chris Dibbern
Sheila O'Connor
Sara Kay
AIA NE
Dexter Schrod
Jill Becker

CITY OF LINCOLN NEBRASKA

NEBRASKA CAPITOL ENVIRONS COMMISSION **STAFF REPORT**

APPLICATION NUMBER	UDR25014
APPLICATION TYPE	Certificate of Appropriateness
ADDRESS/LOCATION	S 14th Street and Lincoln Mall intersection
HEARING DATE	April 25, 2025 (continued)
ADDITIONAL MEETINGS	March 28, 2025 and February 23, 2024
APPLICANT	Elizabeth Elliott, Lincoln Transportation & Utilities, elizabeth.elliott@lincoln.ne.gov
STAFF CONTACT	Collin Christopher, 402-441-6370, cchristopher@lincoln.ne.gov

RECOMMENDATION: APPROVAL

Planning Staff Note: The public hearing on this item from March 28, 2025 has been continued to this month. At that March meeting, the commission opted to defer a decision until April after two failed votes to approve a Certificate of Appropriateness. Based on the feedback provided at that March meeting, LTU submitted two additional concepts for consideration. Each of the three concepts now under consideration are illustrated under Attachment B of this staff report.

Concept A – This is the original concept from March which adds bumpouts to both the east and west sides of S 14th Street. In March, some testifiers and commissioners raised concerns about adjusting the east curb line and the angle of the east-west crosswalks.

Concept B – This new concept eliminates the east bumpout. This results in a change to the angle of the east-west crosswalks, though said angle is still not ideal. This concept would result in the loss of a couple of parking stalls southeast of the intersection to improve visibility.

Concept C – This new concept also eliminates the east bumpout. Additionally, it extends the center median at the east end of Lincoln Mall, allowing for a single east-west crosswalk that would run perpindicular to the street and be located in the middle of the intersection. This solution would require the consolidtation of curb ramps along the Capitol Square curb line. Similar to Concept B, it would result in the loss of parking stalls southeast of the intersection.

Planning staff is of the opinion that both Concept B and Concept C are viable solutions that would be more appropriate than Concept A when considering the needs of all relevant stakeholders.

What follows is the original staff report from the March 28th public hearing, plus all three concepts included under Attachment B.

Summary of Request

Lincoln Transportation and Utilities (LTU) is interested in installing permanent bumpouts and stop signs at the intersection of S 14th Street and Lincoln Mall in order to improve pedestrian access and address safety concerns in this area. The proposal would also eliminate a limited number of parking stalls. LTU originally came to the Commission in February of 2024 to discuss their plans to add temporary bumpouts and stop

signs at the intersection. The Commission questioned the safety need for such improvements and acknowledged the concerns that Capitol staff had with the plan. They ultimately asked LTU to give the solution some more thought before coming back with an official request. In the meantime, LTU has continued to field concerns from senators who regularly navigate this intersection by foot.

It is not necessarily in the Commission's purview to determine the best way to manage vehicular/bike/pedestrian traffic in the City's right-of-way. That is the responsibility of LTU. Instead, the Commission's primary role in such a proposal is to ensure that the design of the proposed improvements meet the design standards. However, staff does believe that the views of the State – including both staff and senators – should be factored into any decision-making, especially as it relates to any changes being made to the curbline that defines Capitol Square.

Compatibility with the Design Standards

In reviewing the Capitol Environs Design Standards, Design Standards 2 and 18 and Guideline 18.5 standout as relevant to this rehab project:

Design Standard 2: Proximity

The nearer a property is to the Capitol, the greater responsibility it bears in the District. Buildings and other improvements facing Capitol Square shall meet very high standards for design, construction, and maintenance. Improvements facing the Capitol Malls shall also meet high standards. Other improvements within the District but not facing the Square or the Malls shall not intrude upon the Capitol's setting and shall contribute to the overall quality of the District.

Design Standard 18: General Landscape of All Malls

The landscape of the Capitol Malls should enhance the Capitol setting and vistas:

- *by providing canopy and definition at the mall edge, but leaving the centers of the malls more open, allowing on-axis views of the Capitol,*
- *by creating a sense of organization and unity through form, color, texture, and spacing that may be lacking in the adjacent architecture,*
- *by establishing a rhythm of visual and physical movement leading ultimately to the Capitol,*
- *by providing seasonal change and interest.*

There is a delicate balance between a landscape that enhances and one that overwhelms—color and form changes should be in large sweeps and masses to avoid creating small, distracting focal points. The landscape should be bolder and more colorful closest to the Capitol.

Facing Capitol Square and the Malls, front yards shall not contain mechanical equipment, above-ground utilities, docks, or unscreened ramps. Architectural or planted screenings may be offered, with maintenance requirements.

Active use of the Malls should be encouraged by the selection and placement of landscape elements such as seating.

Guideline 18.5:

Use high quality pavement that is durable, neutral or natural color, able to be matched or replaced locally or regionally; nonslip but not too rough for high heels; textured or patterned subtly. Asphalt or

asphalt pavers are not acceptable. Design paved areas to allow replacement or repair to occur in sections that maintain the established pavement pattern.

Compatibility per Staff Analysis: The standards emphasize the need for rhythm along the malls and a high standard of design facing Capitol Square, and the proposal appears to achieve that. LTU has incorporated pavers fields and colored concrete ramps in order to match the visual aesthetic of Lincoln Mall. Additionally, all material selections appear to be high-quality and maintenance-friendly as suggested by Guideline 18.5.

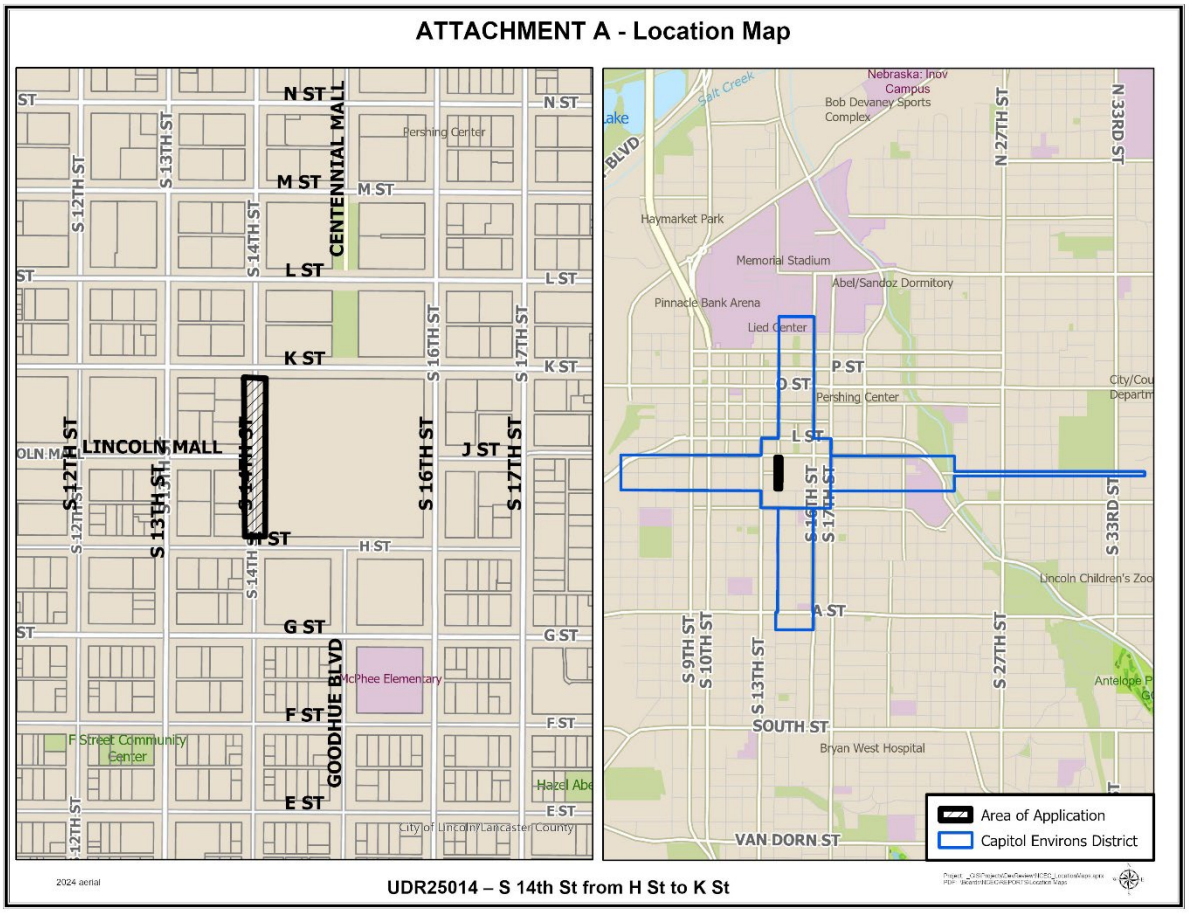
Recommendations/Action

Staff believes that this proposal generally meets the intent of the standards. That said, staff does have some reservations about bumping out the east side of S 14th Street. Capitol Square does not currently have any bumpouts along its perimeter, and this proposal would obviously change that. LTU should listen to key stakeholders from the State – including both staff and senators – before finalizing plans to modify the Capitol Square curbline. If bumpouts were limited to just the west side of S 14th, pedestrian access and safety would still be significantly improved without causing disruption to Capitol operations.

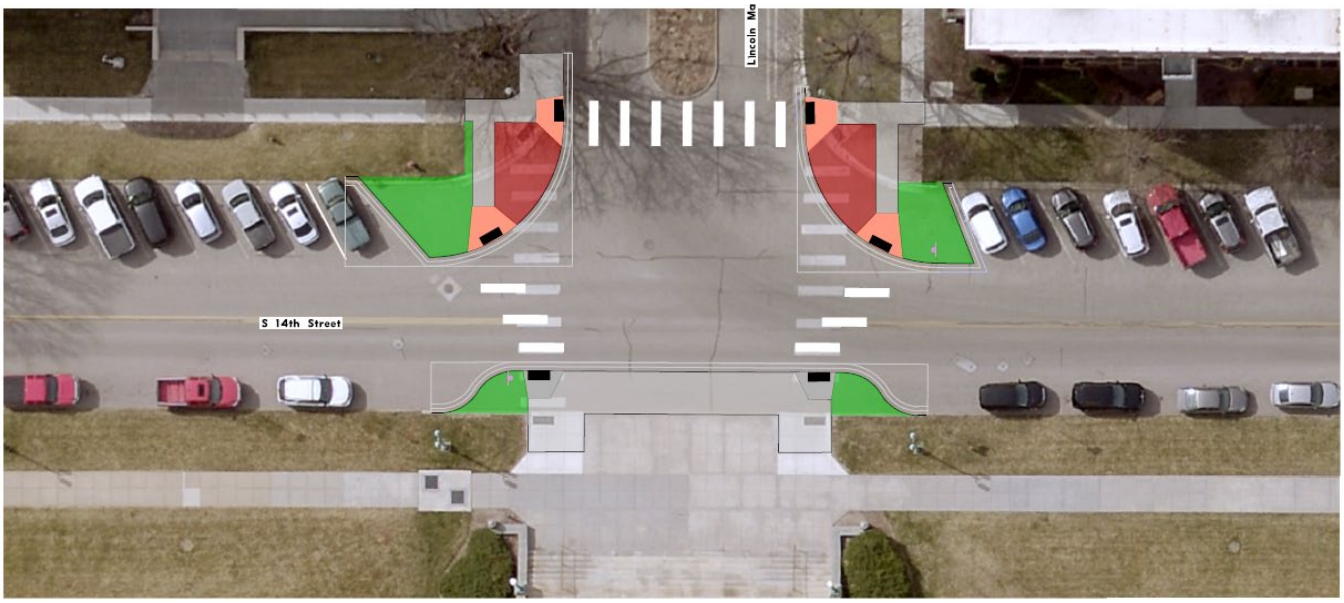
Recommended finding: The proposed intersection improvements at S 14th Street and Lincoln Mall generally comply with the Capitol Environs Design Standards.

Recommended action: Approval of a Certificate of Appropriateness for the proposed intersection improvements at S 14th Street and Lincoln Mall, with careful consideration of improvements on the east side of 14th Street to maintain consistency of and preserve the design of Capitol grounds.

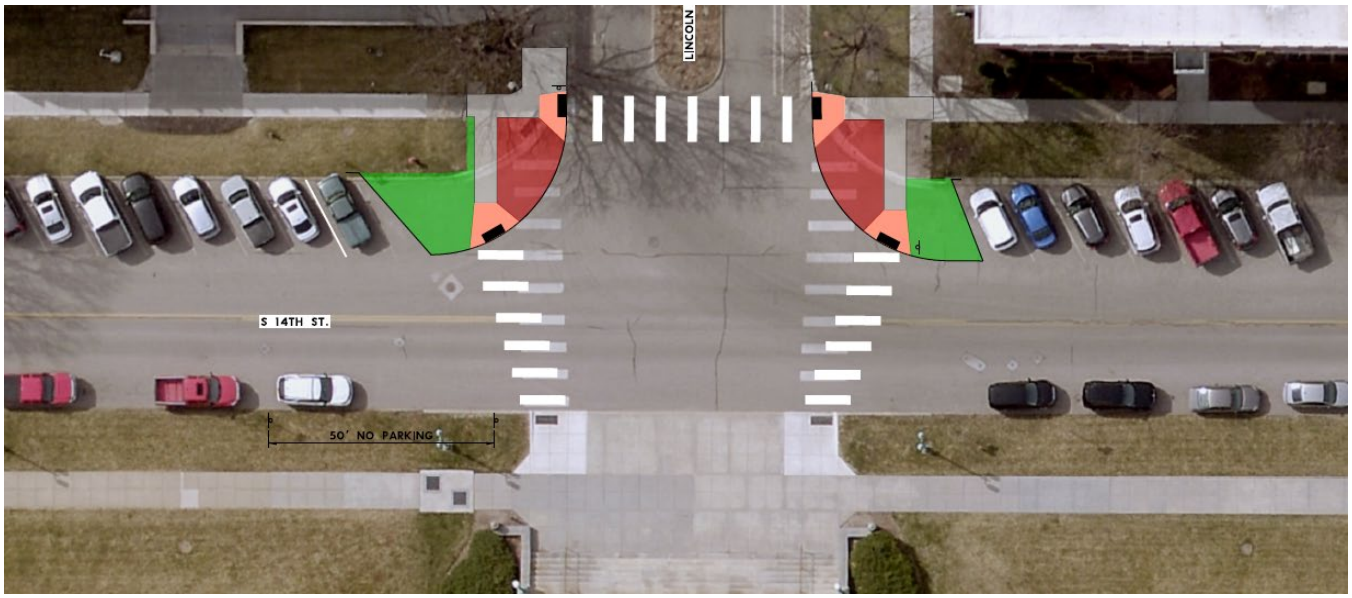
ATTACHMENT A – Location Map



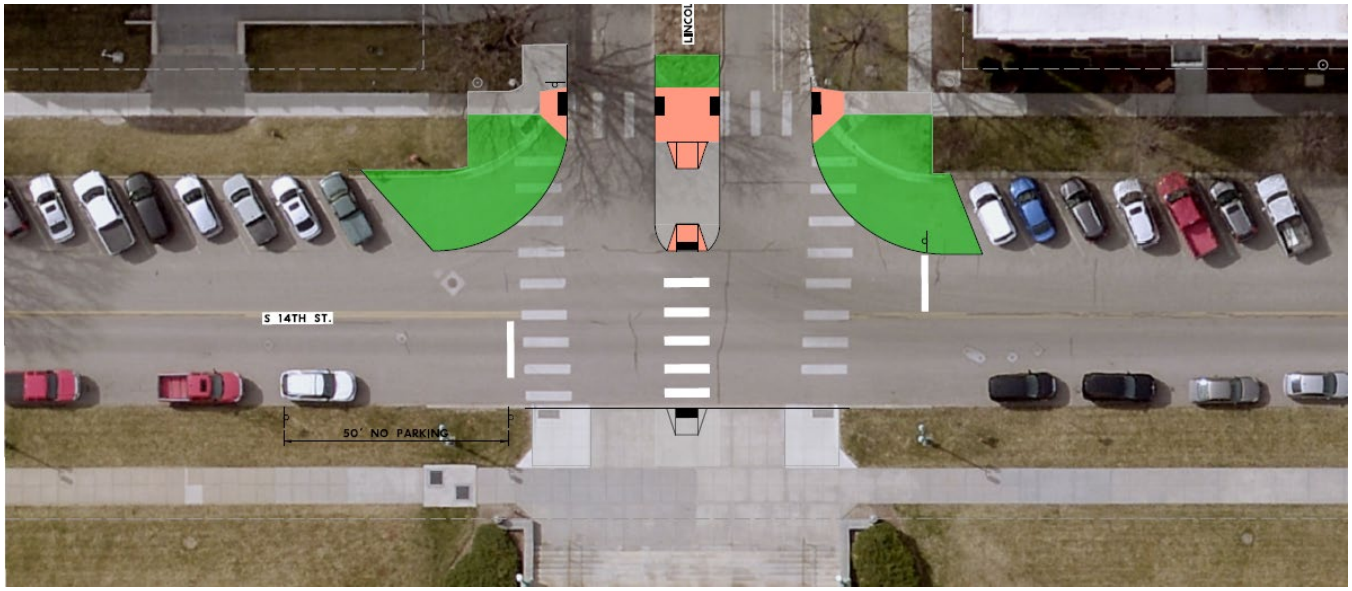
ATTACHMENT B – Site Plan Options



Concept A *(original conept presented on 03/28/2025) – In this original concept from March, bumpouts are being proposed on both the east and west sides of S 14th Street. During the public hearing, some testifiers and commissioners expressed concerns about the bumpouts on the east side and the angle of the east-west crosswalks.*



Concept B *– In this new concept the curb line on the east side of S 14th Street remains unchanged, but two parallel parking stalls south of the intersection are to be removed to improve sight lines. The angle of the east-west crosswalks is less harsh compared to Concept A, but the crosswalks are still far from perpindicular to the curb line.*



Concept C *– Like Concept B, Concept C leaves the east curb line unchanged, resulting in the loss of two parallel parking stalls to ensure improved visibility. Additionally, this concept extends the center median at the east end of Lincoln Mall, allowing for a single east-west crosswalk that would run perpindicular to the street and be located in the middle of the intersection. This solution would require the consolidtation of curb ramps along the Capitol Square curb line.*

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LTU	PROJECT NO.	SHEET NO.
	706540	1
	Date: 3/6/2025	Drawn: RML
	Horz. Scale: 1:20	Checked: RML
		Approved: DKV

0 10 20

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	95	CY
1.05001	Sawing Type "A"	364	LF
1.06001	Sawing Type "B"	364	LF
1.07001	Sawing Type "C"	85	LF
2.08001	Earthwork Measured in Embankment	48	CY
4.09304	Conc Sidewalk 4"	1254	SF
4.09308	Conc Sidewalk 8"	84	SF
4.09601	Combined Curb Gutter	294	LF
4.11001	Detectable Warning Panel	60	SF

Item	Description	Quantity	Unit
5.07006	Conc Base, 6" LB-3500	90	SY
6.06002	Asph Conc, Type 2	13	TN
13.03004	Molten Thermoplastic Pav Mrk, 4"	19	LF
13.03024	Molten Thermoplastic Pav Mrk, 24"	130	LF
30.07002	Seeding, Type "B"	0.02	AC
50.00045	Brick Paver, Sidewalk	263	SF
50.00045	Install Salvaged Brick Paver	265	SF
50.00045	Colored Concrete Sidewalk for Ramps, 8"	245	SF
50.00045	Remove Brick Pavers	50	SF
50.00045	Remove and Salvage Brick Pavers	265	SF

S 14th Street and Lincoln Mall

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DATE: 4/11/2025
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LTU	PROJECT NO.	SHEET NO.
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	Date: 3/13/2025	Drawn: RML
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		Approved: DKV

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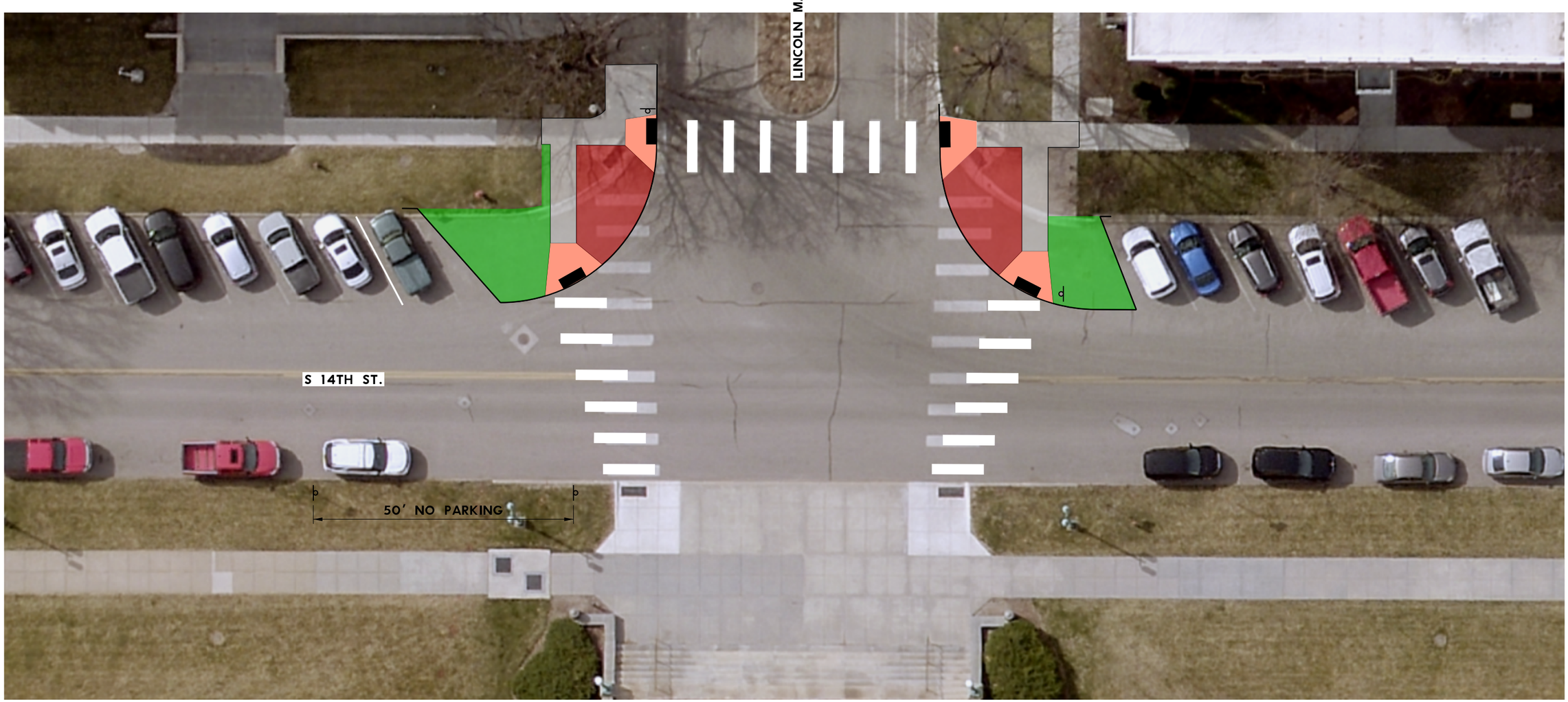

LEGEND	
BRICK PAVERS	
GRASS	
COLORED CONCRETE	
NEW CONCRETE SIDEWALK	
STOP SIGN	

S 14th Street and Lincoln Mall

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	Date:	Drawn: RML
	Horz. Scale: 1:20	Checked: RML
		Approved: DKV

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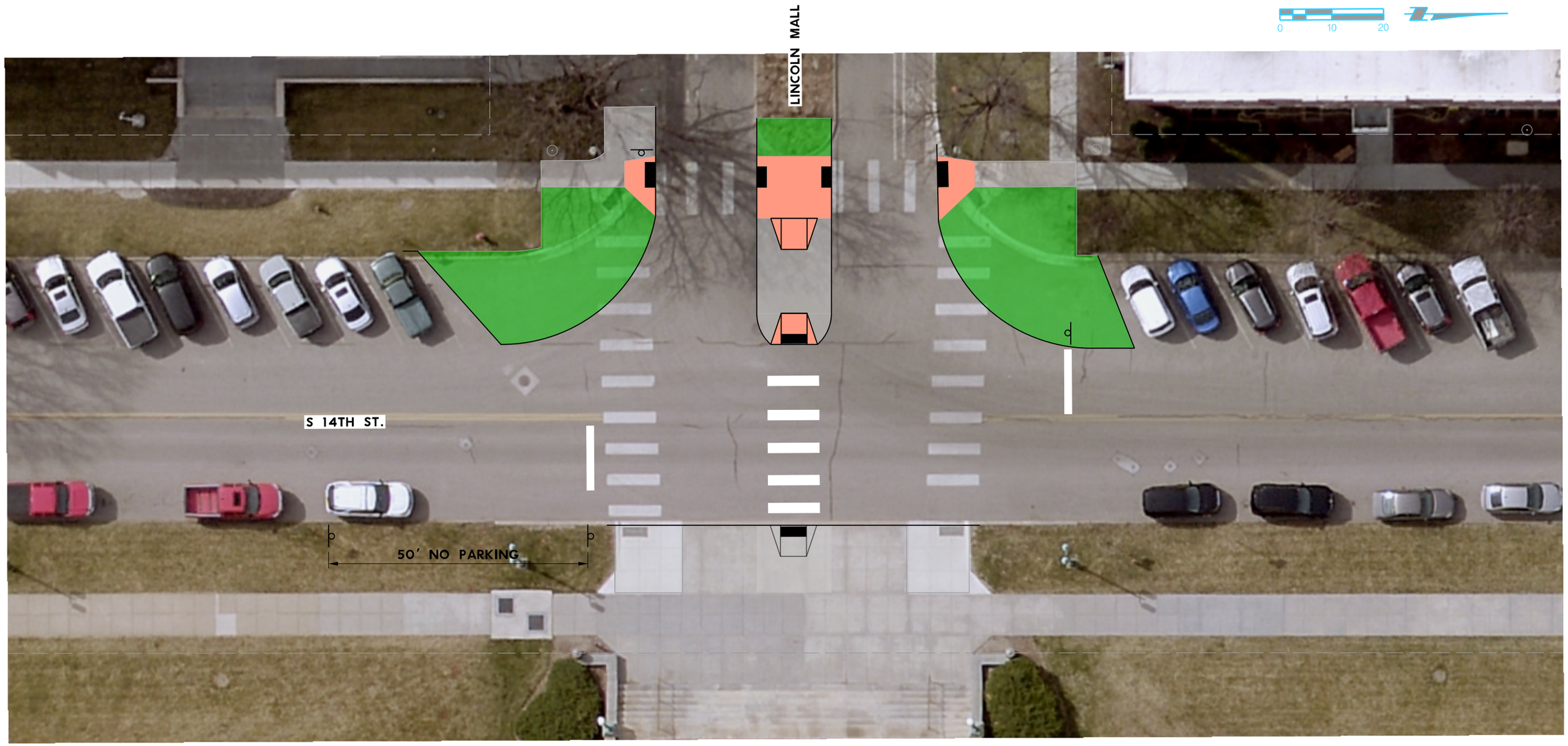


LEGEND	
GRASS	
COLORED CONCRETE	
NEW CONCRETE SIDEWALK	
STOP SIGN	

S 14th Street and Lincoln Mall

CITY OF LINCOLN NEBRASKA

NEBRASKA CAPITOL ENVIRONS COMMISSION **STAFF REPORT**

APPLICATION NUMBER	UDR25037
APPLICATION TYPE	Certificate of Appropriateness
ADDRESS/LOCATION	O Street Water Main Replacement
HEARING DATE	April 25, 2025
ADDITIONAL MEETINGS	-
APPLICANT	Marc Rosso, Lincoln Transportation & Utilities, mrosso@lincoln.ne.gov
STAFF CONTACT	Collin Christopher, 402-441-6370, cchristopher@lincoln.ne.gov

RECOMMENDATION: APPROVAL

Summary of Request

Lincoln Transportation and Utilities (LTU) is planning a water main replacement project for the north side of O Street from 9th to 16th streets. This project intersects the Capitol Environs District from 14th to 16th streets. It is being implemented ahead of a planned streetscape enhancement project for O Street that will include sidewalk, landscape, crosswalk, and roadway improvements from 9th Street to Centennial Mall. As such, the water main project will aim to leave the streetscape in a somewhat temporary condition nearest the curb for a brief period of time to avoid doing work twice.

One issue that both the water main project and the streetscape project will contend with is the loss of street trees. The water main project will require the removal of seven trees in total, five of which are ash trees already in need of removal. Only one of those seven trees will be removed within the Environs District. The streetscape project will remove many more trees, including approximately 35 ash trees (four of which are in the Environs District). While the project will ultimately replace all the lost trees in even greater quantities, there is concern amongst city staff about the visual impact that such a loss will mean in the short term. As such, staff is developing a plan to temporarily replace all trees removed before the streetscape project begins with trees in wood crates that are to be relocated once construction commences. Diagrams showing the tree removals and their temporary replacements have been included in the agenda packet for reference. More details of this strategy will be provided at the public hearing.

In the attachments, conceptual plans for the O Street streetscape project have also been provided for background. These plans are being refined now and will come back in May or June for final approval.

Compatibility with the Design Standards

The design standards have limited applicability to a water main replacement project like this that is focused on below-ground infrastructure, especially since only one tree is being impacted within the Environs District. Directional boring is being used at key points of the project like the Centennial Mall intersection to limit surface-level disruptions of enhanced streetscape elements. The parts of the project that will be more disruptive will be made whole by the streetscape project that follows.

The streetscape project itself will certainly be guided by the design standards and staff is interested in hearing feedback on the conceptual design of that project. As stated previously, more refined plans for that work will be available for review in May or June.

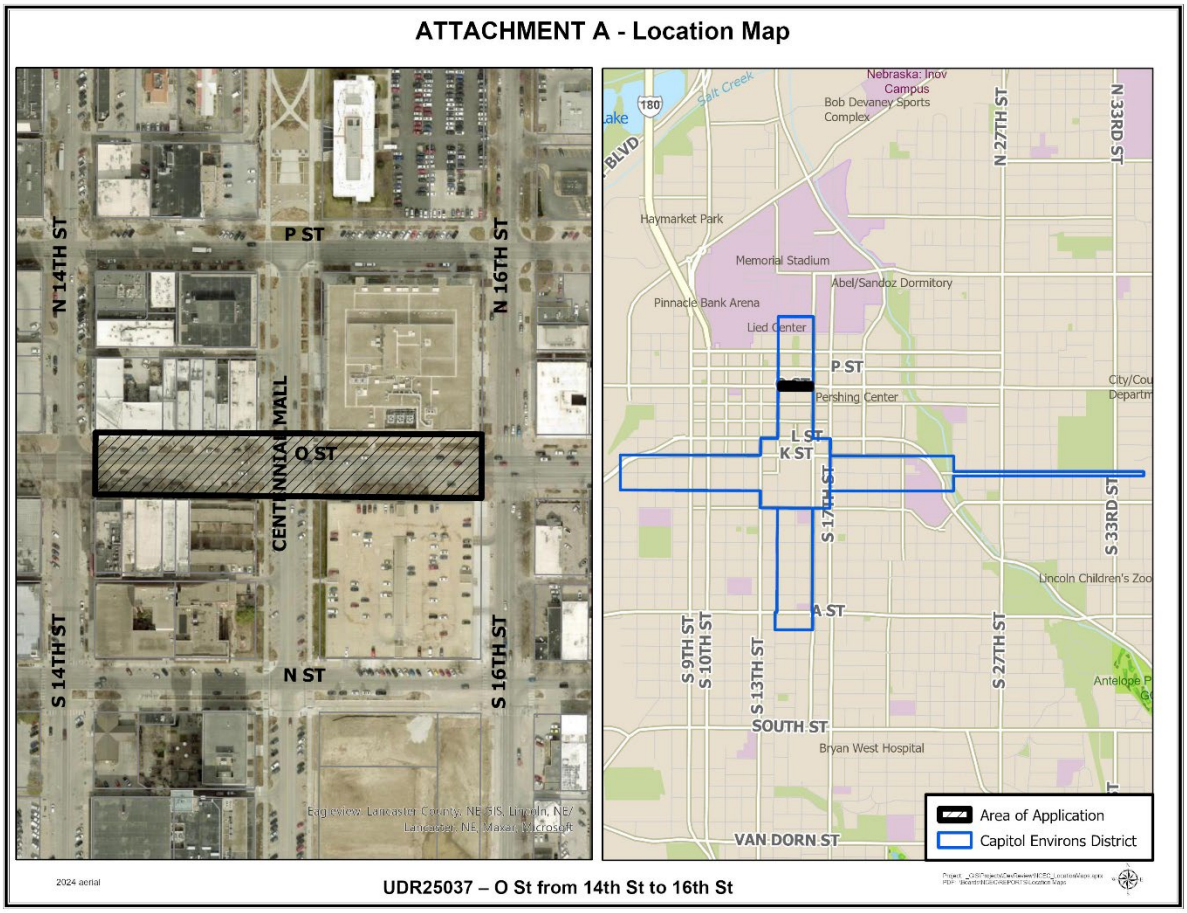
Recommendations/Action

Staff is of the opinion that this proposal generally meets the intent of the standards and should be approved for a Certificate of Appropriateness.

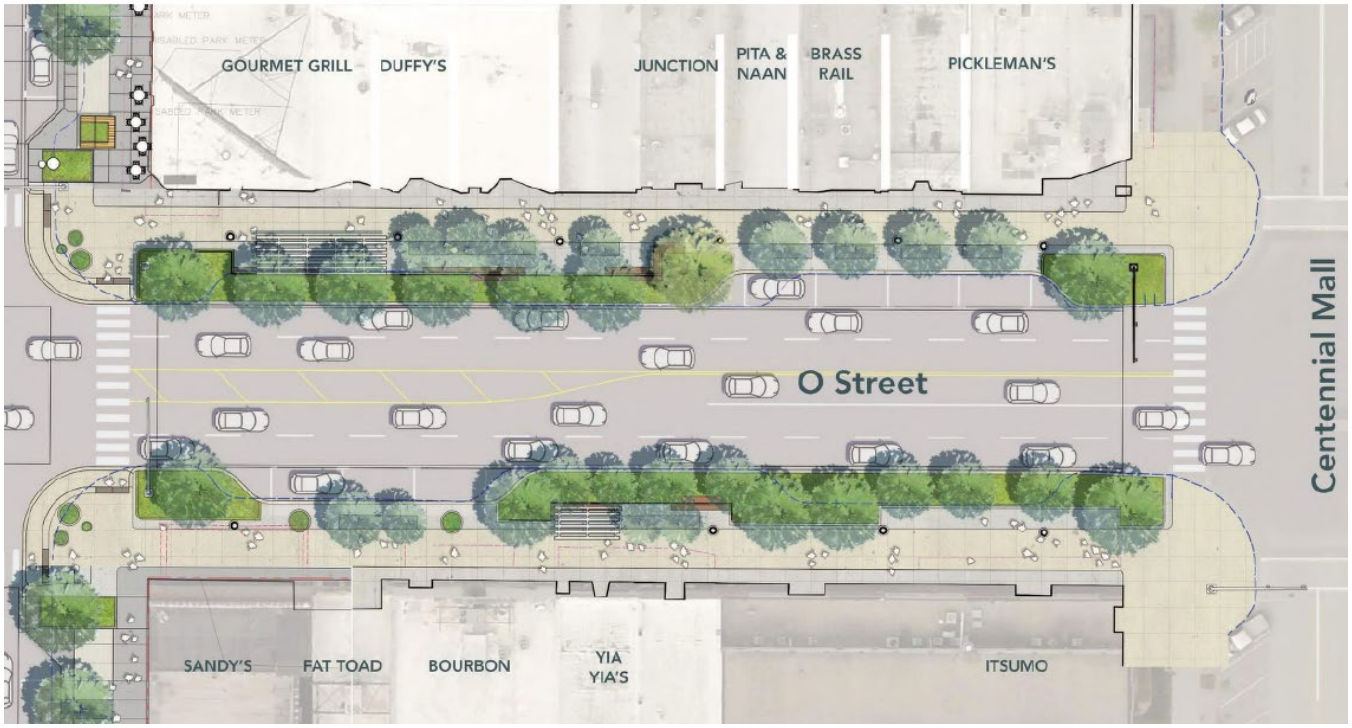
Recommended finding: The proposed O Street water main replacement project generally complies with the Capitol Environs Design Standards.

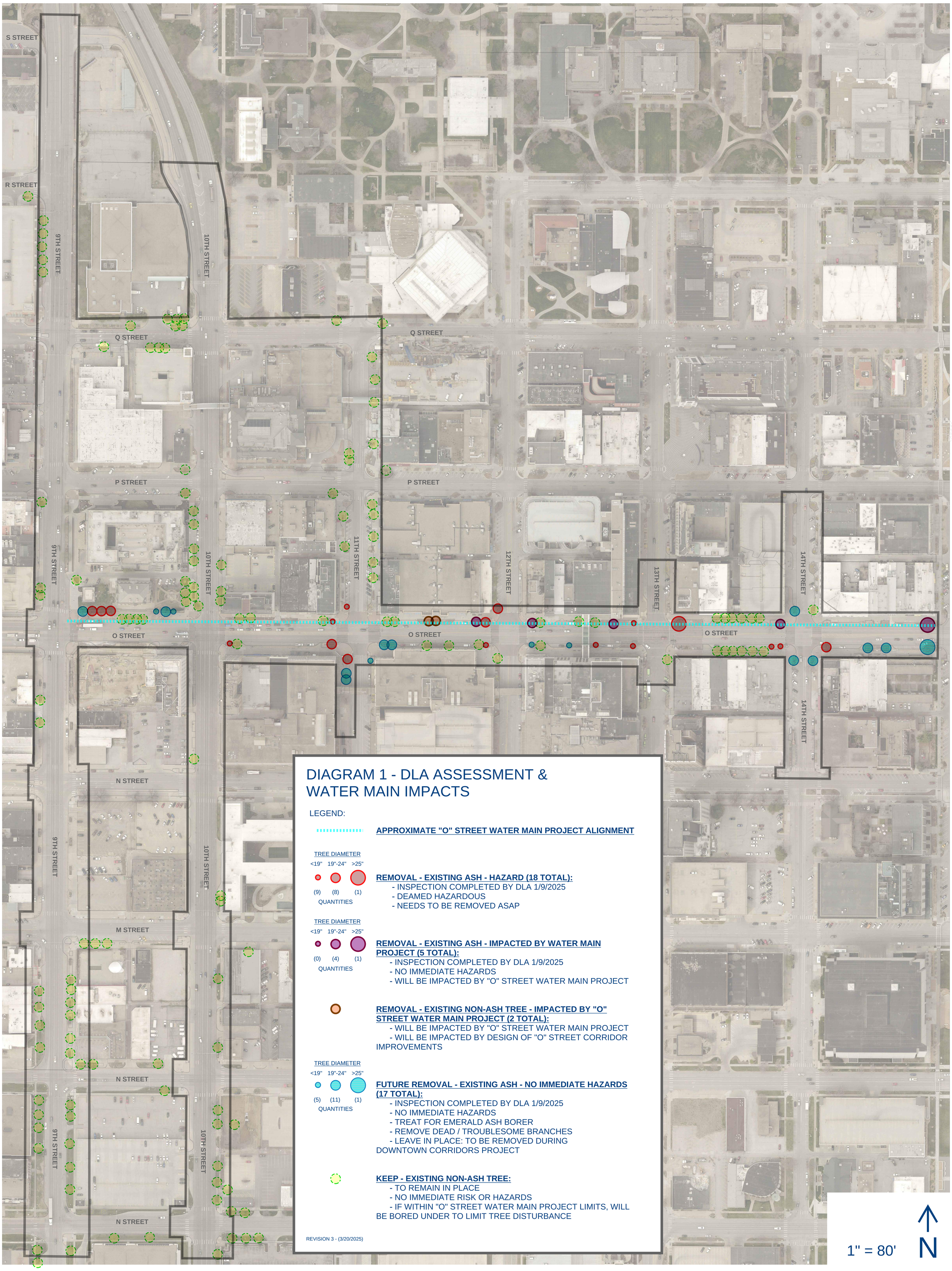
Recommended action: Approval of a Certificate of Appropriateness for the O Street water main replacement project, with the condition that the streetscape project come back for a Certificate when the final proposed design is complete.

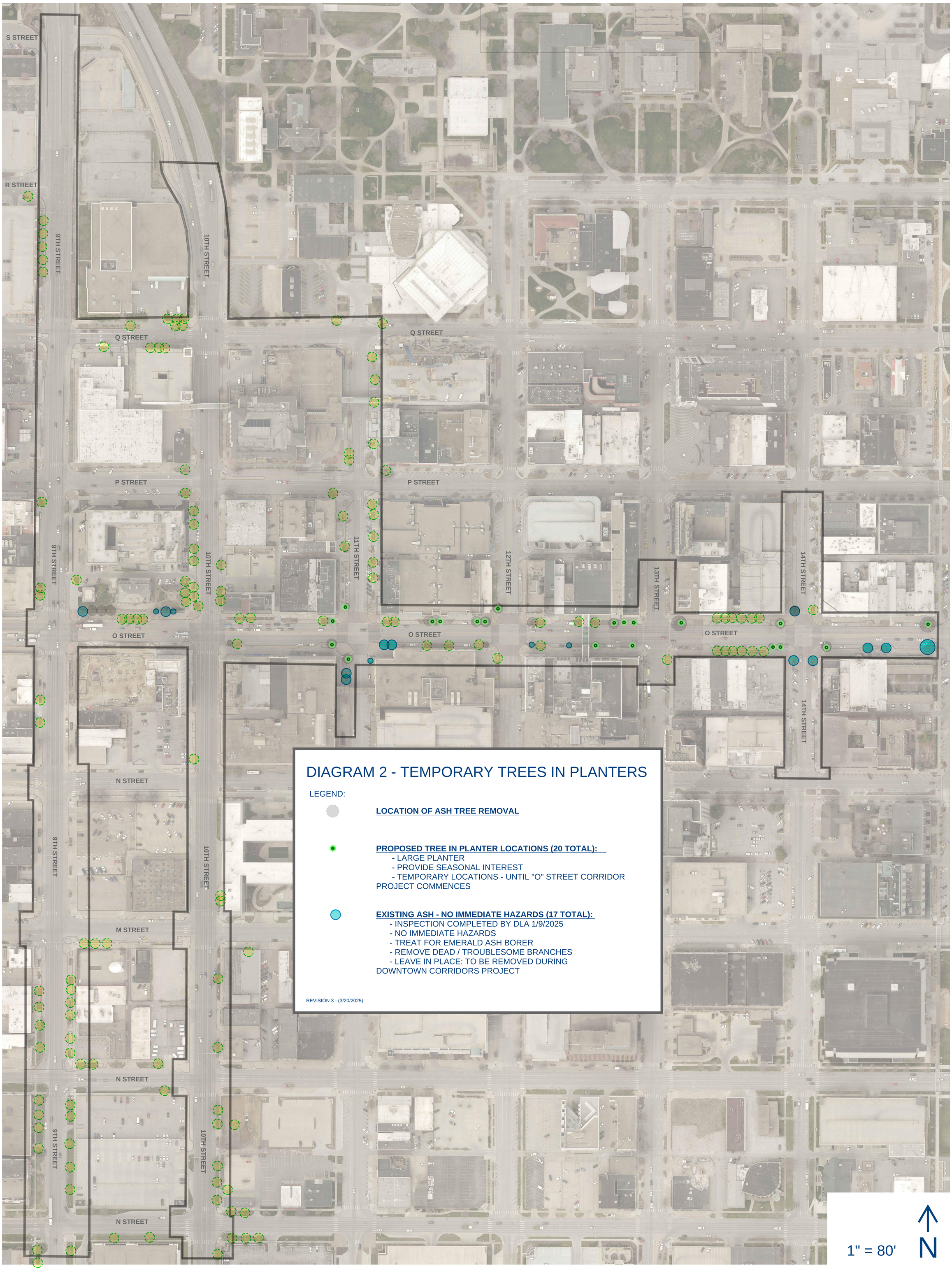
ATTACHMENT A – Location Map



ATTACHMENT B – Downtown Corridors Streetscape Concept




S STREET
R STREET
Q STREET
P STREET
O STREET
N STREET
M STREET
9TH STREET
10TH STREET
11TH STREET
12TH STREET
13TH STREET
14TH STREET
DIAGRAM 1 - DLA ASSESSMENT & WATER MAIN IMPACTS
LEGEND:
APPROXIMATE "O" STREET WATER MAIN PROJECT ALIGNMENT
TREE DIAMETER
<19" 19"-24" >25"
(9) (8) (1)
QUANTITIES
REMOVAL - EXISTING ASH - HAZARD (18 TOTAL):
- INSPECTION COMPLETED BY DLA 1/9/2025
- DEAMED HAZARDOUS
- NEEDS TO BE REMOVED ASAP
TREE DIAMETER
<19" 19"-24" >25"
(0) (4) (1)
QUANTITIES
REMOVAL - EXISTING ASH - IMPACTED BY WATER MAIN PROJECT (5 TOTAL):
- INSPECTION COMPLETED BY DLA 1/9/2025
- NO IMMEDIATE HAZARDS
- WILL BE IMPACTED BY "O" STREET WATER MAIN PROJECT
REMOVAL - EXISTING NON-ASH TREE - IMPACTED BY "O" STREET WATER MAIN PROJECT (2 TOTAL):
- WILL BE IMPACTED BY "O" STREET WATER MAIN PROJECT
- WILL BE IMPACTED BY DESIGN OF "O" STREET CORRIDOR IMPROVEMENTS
TREE DIAMETER
<19" 19"-24" >25"
(5) (11) (1)
QUANTITIES
FUTURE REMOVAL - EXISTING ASH - NO IMMEDIATE HAZARDS (17 TOTAL):
- INSPECTION COMPLETED BY DLA 1/9/2025
- NO IMMEDIATE HAZARDS
- TREAT FOR EMERALD ASH BORER
- REMOVE DEAD / TROUBLESOME BRANCHES
- LEAVE IN PLACE: TO BE REMOVED DURING DOWNTOWN CORRIDORS PROJECT
KEEP - EXISTING NON-ASH TREE:
- TO REMAIN IN PLACE
- NO IMMEDIATE RISK OR HAZARDS
- IF WITHIN "O" STREET WATER MAIN PROJECT LIMITS, WILL BE BORED UNDER TO LIMIT TREE DISTURBANCE
REVISION 3 - (3/20/2025)
1" = 80'
N


S STREET
R STREET
Q STREET
P STREET
O STREET
N STREET
M STREET
9TH STREET
10TH STREET
11TH STREET
12TH STREET
13TH STREET
14TH STREET
DIAGRAM 2 - TEMPORARY TREES IN PLANTERS
LEGEND:
LOCATION OF ASH TREE REMOVAL
PROPOSED TREE IN PLANTER LOCATIONS (20 TOTAL):
- LARGE PLANTER
- PROVIDE SEASONAL INTEREST
- TEMPORARY LOCATIONS - UNTIL "O" STREET CORRIDOR PROJECT COMMENCES
EXISTING ASH - NO IMMEDIATE HAZARDS (17 TOTAL):
- INSPECTION COMPLETED BY DLA 1/9/2025
- NO IMMEDIATE HAZARDS
- TREAT FOR EMERALD ASH BORER
- REMOVE DEAD / TROUBLESOME BRANCHES
- LEAVE IN PLACE: TO BE REMOVED DURING DOWNTOWN CORRIDORS PROJECT
REVISION 3 - (3/20/2025)
1" = 80'
N

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	1
Date: 03-31-2025	Drawn: SJP
NOT TO SCALE	Checked: RSM
	Approved: OMK

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
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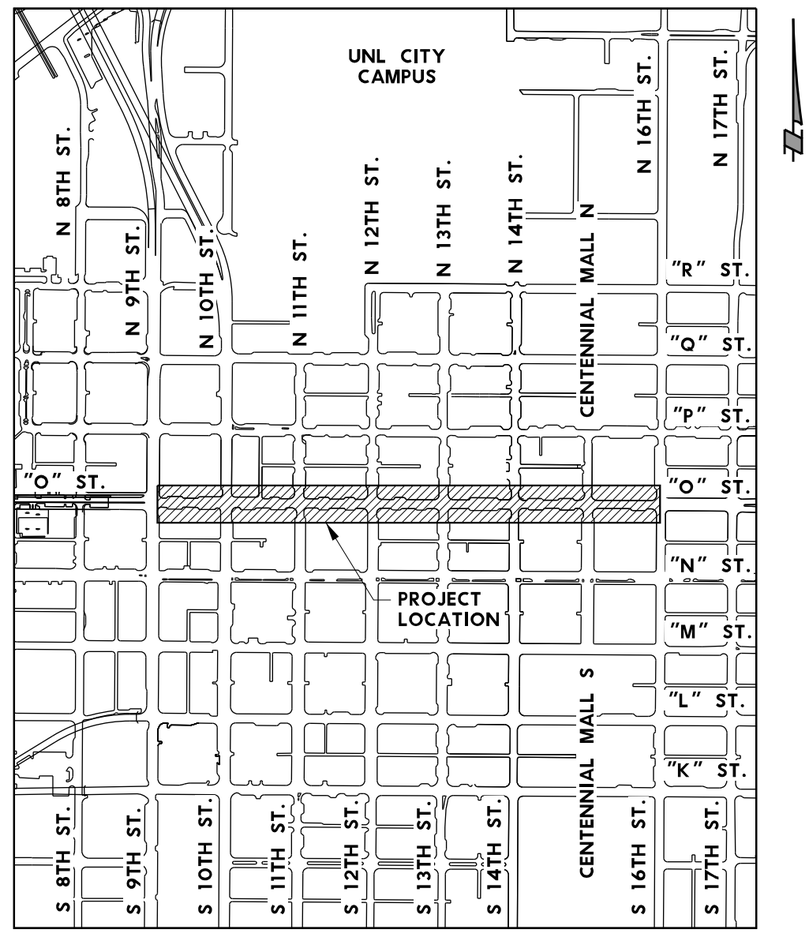
DATE: 03-31-2025
DGN: ...\Sheets\General\705444CO01.DGN

CITY OF LINCOLN (2025)
WATER MAIN REPLACEMENT
"O" STREET, 9TH ST. TO 16TH ST.
PROJECT NO. 705444

SHT. NO.	SHEET INDEX
1	COVER
2 – 3	SUMMARY OF QUANTITIES
4	TYPICAL SECTIONS
5	GENERAL NOTES
6	HORIZONTAL AND VERTICAL CONTROL
7 – 12	GEOMETRICS
13 – 18	SEDIMENT & EROSION CONTROL
19 – 29	JOINTS & GRADES
30 – 35	REMOVALS
36 – 41	CONSTRUCTION
42 – 51	WATER MAIN
52 – 55	WATER MAIN PROFILE
56 – 60	PAVEMENT MARKING & SIGNING



LINCOLN STANDARDS PLAN QR CODE

ne1call.com
Nebraska 811
Know what's below.
Call before you dig.

PRIOR TO CONSTRUCTION:

CALL : 1-800-331-5666 OR 811 FOR LOCATION OF UNDERGROUND TELEPHONE, ELECTRIC, GAS MAINS, CABLEVISION AND CITY OF LINCOLN UTILITIES.

NOTE: EXISTING UNDERGROUND AND OVERHEAD UTILITIES AND DRAINAGE STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL CONTRACTORS TO EXACTLY LOCATE AND PROTECT EACH EXISTING UTILITY BEFORE AND DURING ACTUAL CONSTRUCTION.

PROJECT CONTACT

LINCOLN TRANSPORTATION & UTILITIES
PROJECT DELIVERY - CONSTRUCTION
949 W BOND ST.
SUITE 200
LINCOLN, NE 68521
ATTN: MARC ROSSO.....(402) 441-7711

LINCOLN TRANSPORTATION & UTILITIES
TRAFFIC ENGINEERING
949 W BOND ST.
SUITE 200
LINCOLN, NE 68521
ATTN: DAVID MCCLINTOCK.....(402) 441-7711

LINCOLN WATER SYSTEM
2021 N 27TH ST.
LINCOLN, NE 68503
ATTN: STEVE OWEN.....(402) 441-7571

SEALS INCLUDED:
OWEN M. KILLHAM – WATER MAIN
REESE S. MEYER – ROADWAY
SHANE A. KING – TRAFFIC

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

COORDINATING PROFESSIONAL

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO.
024-07835

LTU

PROJECT NO.	SHEET NO.
705444	2
Date: 03\31\2025	Drawn: SJP
NOT TO SCALE	Checked: RSM
	Approved: OMK

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\BW_PENTABLE.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Sheets\General\705444SQ01.dgn

GENERAL ITEMS

ITEM	ITEM DESCRIPTION	UNIT	QUANTITY
01.00001	MOBILIZATION	LUMP SUM	1
01.01001	CONSTRUCTION STAKING	LUMP SUM	1
01.04001	PVMT & SIDEWALK REM	CU. YDS.	731
01.05001	SAWING, TYPE "A"	LIN. FT.	433
01.06001	SAWING, TYPE "B"	LIN. FT.	2,101
01.07001	SAWING, TYPE "C"	LIN. FT.	1,978
01.11001	ADJ MH TO GRADE	EACH	1
50.00040	REM & SALVAGE PAVERS	SQ. YDS.	555

EARTHWORK ITEMS

ITEM	ITEM DESCRIPTION	UNIT	QUANTITY
02.01001	GEN CLEARING & GRUBBING	LUMP SUM	1
02.02012	TREE REM (12" TO 23")	EACH	6
02.02024	TREE REM (24" TO 35")	EACH	3

PAVING ITEMS

ITEM	ITEM DESCRIPTION	UNIT	QUANTITY
04.09010	PCC PAVT, 10"	SQ. YDS.	80
04.09110	PCC PAVT W/ INTERGRAL CURB, 10"	SQ. YDS.	1,061
04.09304	CONC SIDEWALK, 4"	SQ. FT.	2,561
04.09310	CONC SIDEWALK, 10"	SQ. FT.	565
04.09601	COMBINED CURB & GUTTER	LIN. FT.	974
04.10008	PCC ALLEY PAVT, 8"	SQ. FT.	31
04.11001	DETECTABLE WARNING PANELS	SQ. FT.	110
05.07008	CONC BASE, LB-3500, 8"	SQ. YDS.	264
06.06001	ASPHALTIC CONCRETE, TYPE 1	TON	32

PAVEMENT MARKING ITEMS

ITEM	ITEM DESCRIPTION	UNIT	QUANTITY
13.03024	MOLTEN THERMOPLASTIC MKG, 24"	LIN. FT.	110
13.05004	PAINT MKG, 4"	LIN. FT.	280
13.05012	PAINT MKG, 12"	LIN. FT.	70

SIGNING ITEMS - FOR INFORMATION ONLY

ITEM	ITEM DESCRIPTION	UNIT	QUANTITY
14.03001	REMOVE TRAFFIC SIGN ONLY	EACH	2

TRAFFIC CONTROL ITEMS

ITEM	ITEM DESCRIPTION	UNIT	QUANTITY
15.05001	DYNAMIC MESSAGE SIGN	DAY	10
15.09001	TRAFFIC CONTROL FOR CONST	LUMP SUM	1

STORM DRAINAGE ITEMS

ITEM	ITEM DESCRIPTION	UNIT	QUANTITY
21.08007	STORM DRAIN INLET TOP ONLY, 72" ARMORED FACE	EACH	3
21.08008	RECONSTRUCT INLET THROAT	EACH	3
21.13006	REMOVE EXISTING INLET TOP ONLY	EACH	3

PRELIMINARY PLAN
2ND
SUBMITTAL
03\31\2025
NOT FINAL - SUBJECT TO CHANGE

SUMMARY OF QUANTITIES

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	3
Date: 03\31\2025	Drawn: SJP
NOT TO SCALE	Checked: RSM
	Approved: OMK

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\BW_PENTABLE.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Sheets\General\705444SQ01.dgn

WATER MAIN ITEMS			
ITEM	ITEM DESCRIPTION	UNIT	QUANTITY
20.06106	DIRECTIONAL DRILLING FOR 6" WATER MAIN	LIN. FT.	55
20.06112	DIRECTIONAL DRILLING FOR 12" WATER MAIN	LIN. FT.	1,279
20.09001	CONC FOR THRUST BLOCKS & ANCHORAGES	CU. YDS.	68.32
20.09002	REINF STL FOR THRUST BLKS & ANCHORAGES	LBS	559.60
23.04008	REM 8" WATER MAIN	LIN. FT.	144
23.04010	REM 10" WATER MAIN	LIN. FT.	885
23.04012	REM 12" WATER MAIN	LIN. FT.	338
23.04016	REM 16" WATER MAIN	LIN. FT.	31
23.04101	REM & SALVAGE HYDRANT	EACH	22
23.04105	REM & SALVAGE GATE VALVE & BOX	EACH	7
23.04106	REM & SALVAGE REDUCER	EACH	1
23.04107	REM & SALVAGE BEND	EACH	1
23.04108	REM & SALVAGE CROSS	EACH	1
23.04109	REM & SALVAGE TEE	EACH	1
23.04117	REM & RESET BEND	EACH	1
23.07006	WATER MAIN, 6"	LIN. FT.	126
23.07012	WATER MAIN, 12"	LIN. FT.	2,916
23.07016	WATER MAIN, 16"	LIN. FT.	16
23.07070	ANCHORING ELBOW, MJ, 6"	EACH	20
23.07072	ANCHORING COUPLING, MJ (L = 18"), 6"	EACH	23
23.07086	REDUCER, MJ, 16" x 12"	EACH	1
23.07103	DEG BEND, MJ, 12" x 90	EACH	1
23.07112	DEG BEND, MJ, 12" x 45	EACH	23
23.07113	DEG BEND, MJ, 16" x 45	EACH	2
23.07123	DEG BEND, MJ, 12" x 22.5	EACH	6
23.07204	CROSS, MJ, 12" x 12"	EACH	1
23.07206	CROSS, MJ, 16" x 12"	EACH	1
23.07304	TEE, MJ, 12" x 6"	EACH	21
23.07306	TEE, MJ, 12" x 12"	EACH	3
23.07407	OFFSET, 18" DROP, MJ, 12"	EACH	3
23.07512	SOLID SLEEVE, MJ (L = 12"), 12"	EACH	27
23.07516	SOLID SLEEVE, MJ (L = 15"), 16"	EACH	1
23.07612	DUAL PURPOSE SLEEVE, MJ (L = 12"), 12"	EACH	1
23.07804	RETAINER GLANDS, MJ, 4"	EACH	29
23.07806	RETAINER GLANDS, MJ, 6"	EACH	12
23.07808	RETAINER GLANDS, MJ, 8"	EACH	1
23.07812	RETAINER GLANDS, MJ, 12"	EACH	202
23.07816	RETAINER GLANDS, MJ, 16"	EACH	8
23.08006	GATE VALVE, MJ, 6"	EACH	22
23.08012	GATE VALVE, MJ, 12"	EACH	11
23.08225	TAPPING SLEEVE & VALVE, MJ, 24" x 12"	EACH	1
23.08355	HYDRANT, L = 5.5'	EACH	21
23.10001	TEMPORARY HYDRANT AND BLOW-OFF	EACH	4
23.11075	COPPER WATER SERVICE PIPE, 0.75"	LIN. FT.	448
23.11100	COPPER WATER SERVICE PIPE, 1"	LIN. FT.	460
23.11125	COPPER WATER SERVICE PIPE, 1.25"	LIN. FT.	12
23.11150	COPPER WATER SERVICE PIPE, 1.5"	LIN. FT.	86
23.11200	COPPER WATER SERVICE PIPE, 2"	LIN. FT.	51
23.11475	BORING FOR COPPER WATER SERVICE PIPE, 0.75"	LIN. FT.	389
23.11500	BORING FOR COPPER WATER SERVICE PIPE, 1"	LIN. FT.	385
23.11550	BORING FOR COPPER WATER SERVICE PIPE, 1.5"	LIN. FT.	74
23.12001	ABANDONMENT OF WATER MAIN	LUMP SUM	1
50.00001	INTERNAL WATER SERVICE CONNECTION	EACH	6
50.00001	REMOVE AND RESET PIV	EACH	1
50.00005	WATER SERVICE PIPE, 4"	LIN. FT.	67
50.00005	WATER SERVICE PIPE, 6"	LIN. FT.	49
50.00005	WATER SERVICE PIPE, 8"	LIN. FT.	6

WATER MAIN ITEMS - FOR INFORMATION ONLY			
ITEM	ITEM DESCRIPTION	UNIT	QUANTITY
23.08208	TAPPING SLEEVE & VALVE, MJ, 12" X 4"	EACH	30
23.08209	TAPPING SLEEVE & VALVE, MJ, 12" X 6"	EACH	12
23.08210	TAPPING SLEEVE & VALVE, MJ, 12" x 8"	EACH	1
50.00001	CURB STOP & BOX REPLACEMENT	EACH	6

LANDSCAPE ITEMS			
ITEM	ITEM DESCRIPTION	UNIT	QUANTITY
31.03001	SELECT TOPSOIL	CU. YDS.	871
50.00010	MULCH - 3" DEPTH	CU. YDS.	219

EROSION CONTROL ITEMS			
ITEM	ITEM DESCRIPTION	UNIT	QUANTITY
32.04001	CURB INLET PROTECTION INST	EACH	10
32.04002	CURB INLET PROTECTION MAINT	EACH	10
32.04003	CURB INLET PROTECTION REM	EACH	10
32.10001	BIODEGRADABLE WATTLE INST	LIN. FT.	1,612
32.10002	BIODEGRADABLE WATTLE MAINT	LIN. FT.	1,612
32.10003	BIODEGRADABLE WATTLE REM	LIN. FT.	1,612

PRELIMINARY PLAN
2ND
SUBMITTAL
03\31\2025
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SUMMARY OF QUANTITIES

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO.
024-07835

LTU

PROJECT NO.	SHEET NO.
705444	4
Date: 03\31\2025	Drawn: SJP
NOT TO SCALE	Checked: RSM
	Approved: OMK

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
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USER: spickus
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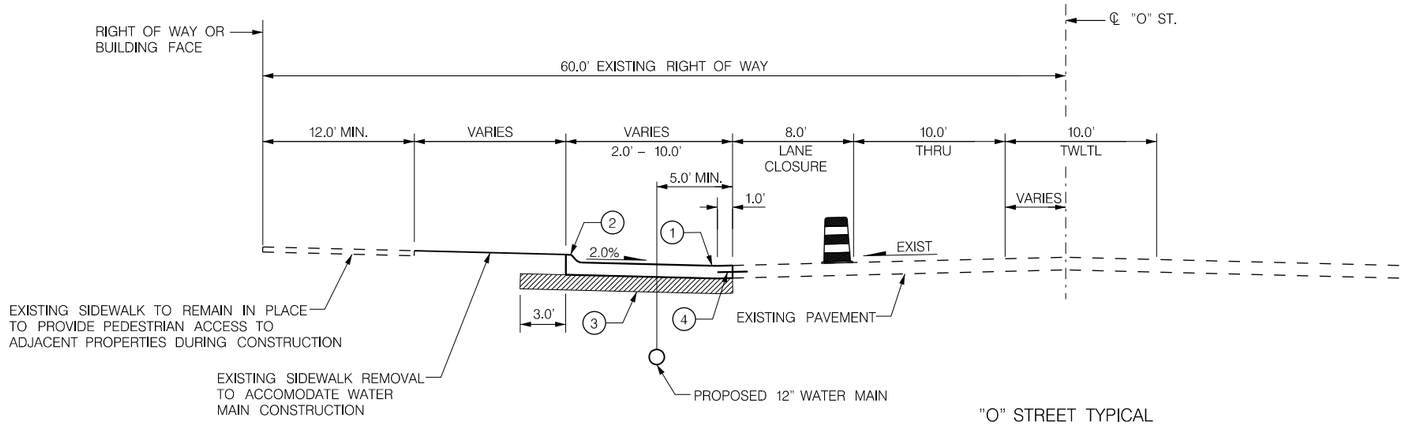


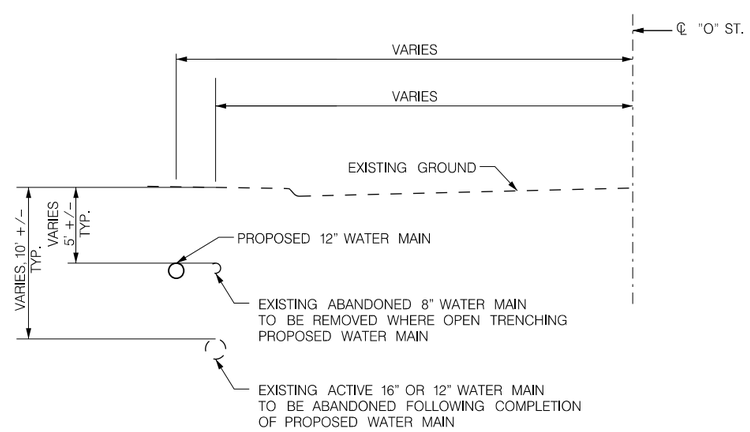
"O" STREET TYPICAL

CONSTRUCTION PHASING
(PARKING BAY LOCATIONS SHOWN)

STA. 5408+43.75 TO STA. 5423+79.28

LEGEND

1. 10" PCC PAVEMENT WITH INTEGRAL CURB
2. 6" HIGH INTEGRAL CURB
3. 12" SUBGRADE PREPARATION (SUBSIDIARY TO PAVEMENT)
4. NO. 5 – 30" AT 4'-0" CTRS. DRILLED AND GROUTED INTO EXISTING PAVEMENT (SUBSIDIARY TO PAVEMENT)



DETAIL OF STACKED WATER MAINS
ALONG NORTH SIDE OF "O" STREET

NOTES:

1. TYPICALS ARE APPROXIMATE AND MAY NOT REFLECT ALL RECONSTRUCTION. REFER TO GEOMETRIC PLANS AND CONSTRUCTION & REMOVAL PLANS FOR EXACT RECONSTRUCTION LIMITS.
2. ROADWAY CROSS SLOPES VARY FROM THOSE SHOWN ON THE TYPICAL SECTIONS AT INTERSECTIONS. REFER TO JOINTS AND GRADES SHEETS FOR PAVEMENT ELEVATIONS AT TRANSITIONS TO EXISTING PAVEMENT AND THROUGH INTERSECTIONS.

PRELIMINARY PLAN
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TYPICAL SECTIONS

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
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USER: spickus
DATE: 03\31\2025
DGN: ...\Sheets\General\705444GN01.DGN

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	5
Date: 03\31\2025	Drawn: SJP
NOT TO SCALE	Checked: RSM
	Approved: OMK

LEGEND – SURVEY (UTILITIES)

- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRICAL RISER
- GAS BLOW OFF
- GAS METER
- GAS VALVE
- GUY POLE
- GUY ANCHOR
- LIGHT POLE
- MONITORING WELL
- ORNAMENTAL LIGHT
- PULL BOX
- SPRINKLER CONTROL BOX
- SPRINKLER HEAD
- STORM DRAINAGE FLARED END SECTION
- STORM DRAINAGE GRATE INLET
- STORM DRAINAGE CURB INLET
- STORM DRAINAGE MANHOLE
- TELEPHONE BOX
- TELEPHONE PULL BOX
- TELEVISION/CABLE RISER BOX
- TRAFFIC SIGNAL
- TRAFFIC CONTROL BOX
- UTILITY POLE
- WASTE WATER MANHOLE
- WATER HYDRANT
- WATER BLOW OFF
- WATER MANHOLE
- WATER PRIVATE WELL
- WATER STOP BOX
- WATER VALVE
- WATER YARD HYDRANT
- 30" RCP — STORM DRAINAGE
- 24" WASTE WATER — WASTE WATER
- 8" WATER — WATER

LEGEND – SURVEY (NON SURVEYED UTILITIES)

- UG — GAS LINE
- UE — ELECTRICAL SERVICE
- OE — ELECTRICAL SERVICE OVERHEAD
- 8" UWW — WASTE WATER
- 8" RCP USD — STORM DRAINAGE
- 8" UW — WATER
- UT — TELEPHONE LINE
- OT — TELEPHONE LINE OVERHEAD
- UFO — FIBER OPTIC TELE. LINE
- UTV — TELEVISION/CABLE TV LINE
- OTV — TELEVISION/CABLE TV LINE OVERHEAD
- TRAFFIC SIGNAL

LEGEND – SURVEY (MISC.)

- BM — BENCH MARK
- B — BORING
- 48" FENCE — FENCE – R.O.W. OR WIRE
- 36" FENCE — FENCE – CHAIN LINK
- 60" FENCE — FENCE – PICKET, PRIVACY OR SPLIT RAIL
- FLOWLINE
- GUARDRAIL
- HEAD STONE
- MAILBOX
- RAILROAD CROSSING SIGNAL
- RAILROAD SWITCH
- RAILROAD TRACKS
- 6' BLOCK WALL — RETAINING WALL
- SIGN
- WATER EDGE
- NDOT PROJECT

LEGEND – SURVEY (LANDSCAPE)

- 2' — BUSH – CONIFEROUS
- 2' — BUSH – DECIDUOUS
- BUSH – CONIFEROUS BUSH ROW
- BUSH – DECIDUOUS BUSH ROW
- 8" — STUMP – < 12"
- 18" — STUMP – 12" TO 23"
- 28" — STUMP – 24" TO 35"
- 38"" — STUMP – > 36"
- TREE – CONIFEROUS MASS PERIM.
- 8" — TREE – CONIFEROUS < 12"
- 18" — TREE – CONIFEROUS 12" TO 23"
- 28" — TREE – CONIFEROUS 24" TO 35"
- 38"" — TREE – CONIFEROUS > 36"
- TREE – CONIFEROUS TREE LINE
- TREE – DECIDUOUS MASS PERIM.
- 8" — TREE – DECIDUOUS < 12"
- 18" — TREE – DECIDUOUS 12" TO 23"
- 28" — TREE – DECIDUOUS 24" TO 36"
- 38"" — TREE – DECIDUOUS > 36"
- TREE – DECIDUOUS TREE LINE
- 8" — TREE REMOVAL

LEGEND – EROSION & SEDIMENT CONTROL

- —xxx—xxx— BIODEGRADABLE WATTLE
- SELECT TOPSOIL
- CURB INLET PROTECTION

LEGEND – TRAFFIC SIGNAL AND LIGHTING

- MAINLINE CONDUIT GROUP TRENCH
- MAINLINE CONDUIT GROUP BORED
- CONDUIT IN TRENCH
- CONDUIT BORED
- CONCRETE ANCHOR
- CONDUIT PLUG
- CONTROLLER & PAD
- DOWN GUY
- DYNAMIC MESSAGE SIGN
- ELECTRIC METER PEDESTAL
- EMERGENCY DETECTOR
- FIBER MARKER
- GROUND
- HEAD BS-1, T31
- HEAD PS-1, T13C
- HEAD TS-1, T11 & TS-1, T12
- HEAD TS-1, T31
- HEAD TS-1L, T32
- HEAD TS-1R, T33
- HEAD TS-1L, T34
- HEAD TS-1R, T35
- HEAD TS-1LL, T41
- HEAD TS-1RR, T41
- HEAD TS-1RR, T52
- HEAD, PREPARE TO STOP
- HEAD, SPEED ZONE
- LED MESSAGE SIGN
- LUMINAIRE
- MAST ARM
- METRO STREET NAME SIGN
- OVERHEAD CABLE
- PEDESTRIAN PUSH BUTTON — PPB
- PEDESTRIAN PUSH BUTTON AUDIBLE — PPBA
- POLE WITH FOUNDATION
- POLE, STREET LIGHT
- POLE, WOOD
- POWER PEDESTAL
- POWER POLE
- POWER TRANSFORMER
- PULL BOX
- PULL BOX, T48
- RADIO ANTENNA
- RISER
- SIGN ON ARM
- SPAN WIRE
- SPLICE, DIRECT BURIED
- SPEED — SPEED INDICATOR — SPEED
- MONITORING CAMERA
- TRAFFIC MONITORING POLE
- RECTANGULAR RAPID FLASHING BEACON
- VEHICLE DETECTOR
- VEHICLE DETECTOR PUCKS
- VEHICLE DETECTOR CAMERA

CONDUIT DESIGNATIONS

B is Conduit Bored (ie..3" B)
T is Conduit Trenched (ie..3" T)

LEGEND – RIGHT-OF-WAY

- LOT CORNER
- RIGHT-OF-WAY
- EXISTING CONTROL ACCESS
- EXISTING PERMANENT EASEMENT
- EXISTING ROW
- PROPERTY LINE
- PROPOSED TEMPORARY EASEMENT

LEGEND – PROPOSED (MISC.)

- PROPOSED LOC – FILL
- PROPOSED LOC – CUT
- ASPHALT SURFACE
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK

LINCOLN STANDARDS PLAN QR CODE

TRAFFIC SIGNAL CABLE DESIGNATIONS

C is conductor (ie.. 3/C)
CC is Coaxial Cable
CCC is Camera Control Cable
CDC is Camera Detector Cable
CG is Circuit Ground
CPC is Camera Power Cable
DB is Direct Buried
ECC is Ethernet Communication Cable
ECU is Empty, City Use Only
EDC is Emergency Detector Cable
EX is Existing
INS is Install
INT is Intraduct
LC is Lead-In Cable
MM is Multi Mode Fiber Cable
NO is Number
PR is Pair of Communication (ie.. 6 PR)
REL is Relocate
REM is Remove
SC is Service Cable
SL is Street Light
SM is Single Mode Fiber Cable
ETW is Electric Tracer Wire Cable is new if no designation

GENERAL NOTES:

ALL SURVEY WAS DONE BY ELECTRONIC INSTRUMENT. ALL ELEVATIONS SHOWN ARE NAVD 88.

GEOMETRICS & DIMENSIONS ON THIS PROJECT ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

TREES TO BE REMOVED ARE IDENTIFIED ON THE PLANS. ADDITIONAL TREES NOT IDENTIFIED FOR REMOVAL SHALL BE REMOVED ONLY UPON APPROVAL OF THE FIELD ENGINEER.

2023 LINCOLN STANDARD PLANS SHALL BE USED WHERE APPLICABLE. REVISIONS AVAILABLE ON REQUEST FROM ENGINEERING SERVICES OR ARE AVAILABLE ON LINE AT lincoln.ne.gov keyword: Standard

CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES, THROUGH THE USE OF POTHOLING, EXCAVATION, OR OTHER MEANS, PRIOR TO CONSTRUCTION ON THIS PROJECT.

CONTACT TRAFFIC ENGINEERING FOR THE REMOVAL AND RESETTING OF ANY SIGNS.

PRELIMINARY PLAN
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olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	6
Date: 03\31\2025	Drawn: SJP
NOT TO SCALE	Checked: RSM
	Approved: OMK

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\BW_PENTABLE.tbl
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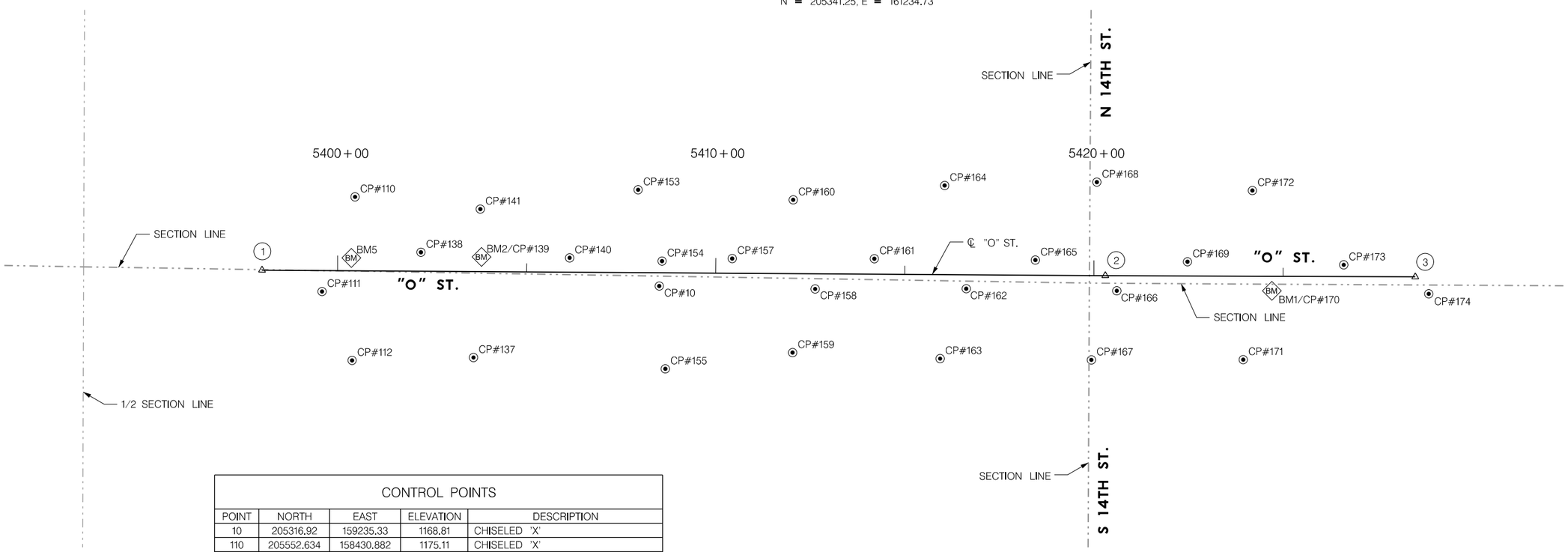
DATE: 03\31\2025
DGN: ...\Sheets\General\705444HC01.DGN

"O" STREET

1. P.O.B. STA. 5398+00.00 – ℄ "O" ST.
   N = 205358.93, E = 158184.79
2. P.I. STA. 5420+30.23 – ℄ "O" ST.
   Δ = 00° 09'12.42" LT.
   N = 205344.39, E = 160414.96
3. P.O.E. STA. 5428+50.00 – ℄ "O" ST.
   N = 205341.25, E = 161234.73



CONTROL POINTS

POINT	NORTH	EAST	ELEVATION	DESCRIPTION
10	205316.92	159235.33	1168.81	CHISELED 'X'
110	205552.634	158430.882	1175.11	CHISELED 'X'
111	205302.391	158343.680	1170.47	CHISELED 'X'
112	205120.302	158423.055	1164.76	CHISELED 'X'
137	205127.901	158744.175	1172.00	CHISELED 'X'
138	205406.186	158605.148	1173.73	CHISELED 'X'
139	205393.779	158765.218	1174.48	CHISELED 'X'
140	205391.380	158998.352	1172.07	CHISELED 'X'
141	205520.315	158762.123	1175.13	CHISELED 'X'
153	205571.361	159179.462	1171.37	CHISELED 'X'
154	205382.902	159242.758	1169.84	CHISELED 'X'
155	205098.042	159251.379	1167.14	CHISELED 'X'
157	205389.562	159428.312	1168.56	CHISELED 'X'
158	205309.155	159647.586	1166.67	CHISELED 'X'
159	205140.962	159587.963	1168.30	CHISELED 'X'
160	205544.777	159589.562	1167.56	CHISELED 'X'
161	205389.098	159804.163	1167.43	CHISELED 'X'
162	205309.835	160047.216	1167.75	CHISELED 'X'
163	205125.035	159978.074	1169.18	CHISELED 'X'
164	205582.716	159990.100	1167.86	CHISELED 'X'
165	205385.577	160229.917	1167.94	CHISELED 'X'
166	205304.345	160445.326	1169.27	CHISELED 'X'
167	205121.705	160378.112	1170.66	CHISELED 'X'
168	205591.621	160392.513	1169.32	CHISELED 'X'
169	205381.119	160632.235	1170.22	CHISELED 'X'
170	205303.521	160854.327	1170.42	CHISELED 'X'
171	205122.260	160779.589	1171.88	CHISELED 'X'
172	205569.402	160803.845	1169.08	CHISELED 'X'
173	205372.914	161045.379	1171.27	CHISELED 'X'
174	205296.236	161270.253	1172.21	CHISELED 'X'

BENCH MARKS

1. CHISELED "X" IN CONCRETE 3.40' SE OF CURB,
   SE CORNER OF CENTENNIAL MALL AND "O" STREET
   SEE CONTROL POINT 170
   ELEV. 1171.705 (N.A.V.D. 1988)
2. CHISELED "X" IN CONCRETE 2.40' NE OF CURB,
   NW CORNER OF 10TH AND "O" STREET
   SEE CONTROL POINT 139
   ELEV. 1174.480 (N.A.V.D. 1988)
3. CHISELED "X" IN TOP OF CURB, 4.00' W OF RAMP,
   S CORNER OF "S" AND 9TH STREET
   ELEV. 1164.790 (N.A.V.D 1988)
4. CHISELED "X" IN CONCRETE 8.80' SW OF CURB,
   SW CORNER OF "M" AND 9TH STREET
   ELEV. 1158.790 (N.A.V.D. 1988)
5. CHISELED SQUARE IN BACK OF CURB
   NE CORNER OF 9TH AND "O" STREET
   ELEV. 1171.740 (N.A.V.D. 1988)

NOTES:

1. HORIZONTAL CONTROL IS LANCASTER COUNTY GRID.

PRELIMINARY PLAN
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HORIZONTAL AND VERTICAL CONTROL

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
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PROJECT NO. 024-07835

LTU

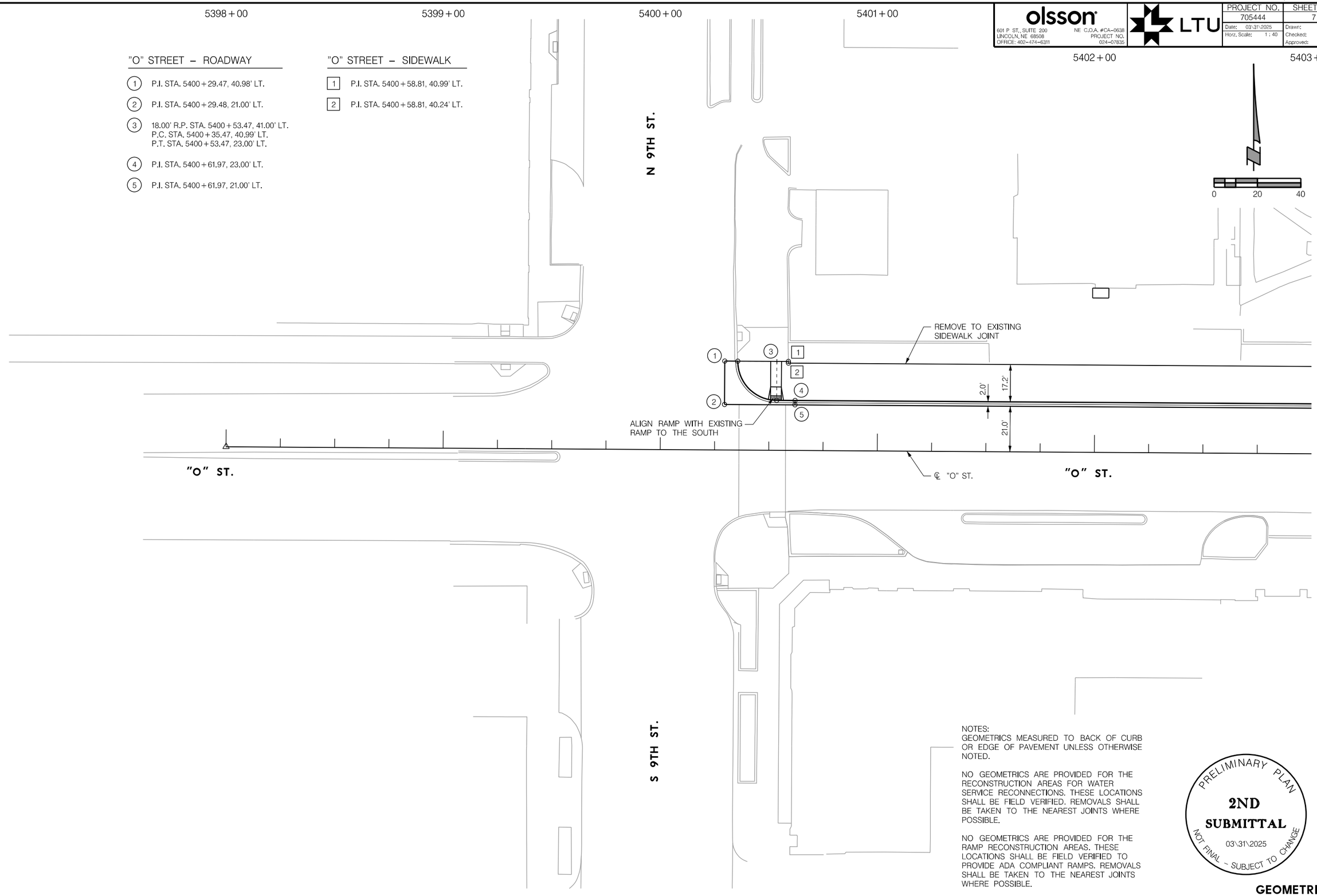
PROJECT NO.	SHEET NO.
705444	7
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

"O" STREET – ROADWAY

1. P.I. STA. 5400+29.47, 40.98' LT.
2. P.I. STA. 5400+29.48, 21.00' LT.
3. 18.00' R.P. STA. 5400+53.47, 41.00' LT.
   P.C. STA. 5400+35.47, 40.99' LT.
   P.T. STA. 5400+53.47, 23.00' LT.
4. P.I. STA. 5400+61.97, 23.00' LT.
5. P.I. STA. 5400+61.97, 21.00' LT.

"O" STREET – SIDEWALK

1. P.I. STA. 5400+58.81, 40.99' LT.
2. P.I. STA. 5400+58.81, 40.24' LT.



NOTES:
GEOMETRICS MEASURED TO BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

NO GEOMETRICS ARE PROVIDED FOR THE RECONSTRUCTION AREAS FOR WATER SERVICE RECONNECTIONS. THESE LOCATIONS SHALL BE FIELD VERIFIED. REMOVALS SHALL BE TAKEN TO THE NEAREST JOINTS WHERE POSSIBLE.

NO GEOMETRICS ARE PROVIDED FOR THE RAMP RECONSTRUCTION AREAS. THESE LOCATIONS SHALL BE FIELD VERIFIED TO PROVIDE ADA COMPLIANT RAMPS. REMOVALS SHALL BE TAKEN TO THE NEAREST JOINTS WHERE POSSIBLE.

PRELIMINARY PLAN
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GEOMETRICS
"O" STREET

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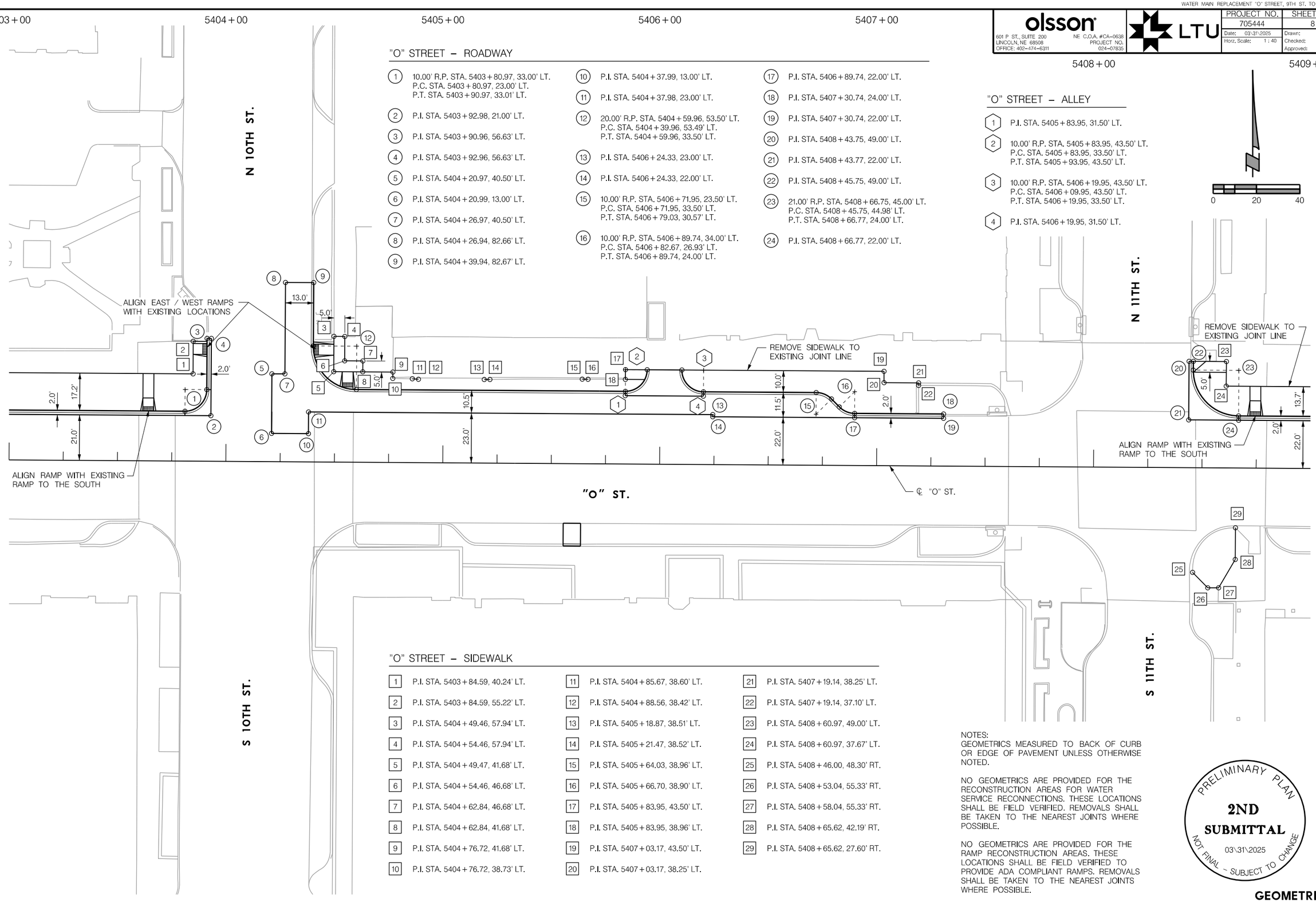

"O" STREET – ROADWAY

1. 10.00' R.P. STA. 5403+80.97, 33.00' LT.
   P.C. STA. 5403+80.97, 23.00' LT.
   P.T. STA. 5403+90.97, 33.01' LT.
2. P.I. STA. 5403+92.98, 21.00' LT.
3. P.I. STA. 5403+90.96, 56.63' LT.
4. P.I. STA. 5403+92.96, 56.63' LT.
5. P.I. STA. 5404+20.97, 40.50' LT.
6. P.I. STA. 5404+20.99, 13.00' LT.
7. P.I. STA. 5404+26.97, 40.50' LT.
8. P.I. STA. 5404+26.94, 82.66' LT.
9. P.I. STA. 5404+39.94, 82.67' LT.
10. P.I. STA. 5404+37.99, 13.00' LT.
11. P.I. STA. 5404+37.98, 23.00' LT.
12. 20.00' R.P. STA. 5404+59.96, 53.50' LT.
    P.C. STA. 5404+39.96, 53.49' LT.
    P.T. STA. 5404+59.96, 33.50' LT.
13. P.I. STA. 5406+24.33, 23.00' LT.
14. P.I. STA. 5406+24.33, 22.00' LT.
15. 10.00' R.P. STA. 5406+71.95, 23.50' LT.
    P.C. STA. 5406+71.95, 33.50' LT.
    P.T. STA. 5406+79.03, 30.57' LT.
16. 10.00' R.P. STA. 5406+89.74, 34.00' LT.
    P.C. STA. 5406+82.67, 26.93' LT.
    P.T. STA. 5406+89.74, 24.00' LT.
17. P.I. STA. 5406+89.74, 22.00' LT.
18. P.I. STA. 5407+30.74, 24.00' LT.
19. P.I. STA. 5407+30.74, 22.00' LT.
20. P.I. STA. 5408+43.75, 49.00' LT.
21. P.I. STA. 5408+43.77, 22.00' LT.
22. P.I. STA. 5408+45.75, 49.00' LT.
23. 21.00' R.P. STA. 5408+66.75, 45.00' LT.
    P.C. STA. 5408+45.75, 44.98' LT.
    P.T. STA. 5408+66.77, 24.00' LT.
24. P.I. STA. 5408+66.77, 22.00' LT.

"O" STREET – ALLEY

1. P.I. STA. 5405+83.95, 31.50' LT.
2. 10.00' R.P. STA. 5405+83.95, 43.50' LT.
   P.C. STA. 5405+83.95, 33.50' LT.
   P.T. STA. 5405+93.95, 43.50' LT.
3. 10.00' R.P. STA. 5406+19.95, 43.50' LT.
   P.C. STA. 5406+09.95, 43.50' LT.
   P.T. STA. 5406+19.95, 33.50' LT.
4. P.I. STA. 5406+19.95, 31.50' LT.

"O" STREET – SIDEWALK

1. P.I. STA. 5403+84.59, 40.24' LT.
2. P.I. STA. 5403+84.59, 55.22' LT.
3. P.I. STA. 5404+49.46, 57.94' LT.
4. P.I. STA. 5404+54.46, 57.94' LT.
5. P.I. STA. 5404+49.47, 41.68' LT.
6. P.I. STA. 5404+54.46, 46.68' LT.
7. P.I. STA. 5404+62.84, 46.68' LT.
8. P.I. STA. 5404+62.84, 41.68' LT.
9. P.I. STA. 5404+76.72, 41.68' LT.
10. P.I. STA. 5404+76.72, 38.73' LT.
11. P.I. STA. 5404+85.67, 38.60' LT.
12. P.I. STA. 5404+88.56, 38.42' LT.
13. P.I. STA. 5405+18.87, 38.51' LT.
14. P.I. STA. 5405+21.47, 38.52' LT.
15. P.I. STA. 5405+64.03, 38.96' LT.
16. P.I. STA. 5405+66.70, 38.90' LT.
17. P.I. STA. 5405+83.95, 43.50' LT.
18. P.I. STA. 5405+83.95, 38.96' LT.
19. P.I. STA. 5407+03.17, 43.50' LT.
20. P.I. STA. 5407+03.17, 38.25' LT.
21. P.I. STA. 5407+19.14, 38.25' LT.
22. P.I. STA. 5407+19.14, 37.10' LT.
23. P.I. STA. 5408+60.97, 49.00' LT.
24. P.I. STA. 5408+60.97, 37.67' LT.
25. P.I. STA. 5408+46.00, 48.30' RT.
26. P.I. STA. 5408+53.04, 55.33' RT.
27. P.I. STA. 5408+58.04, 55.33' RT.
28. P.I. STA. 5408+65.62, 42.19' RT.
29. P.I. STA. 5408+65.62, 27.60' RT.

NOTES:
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NO GEOMETRICS ARE PROVIDED FOR THE RAMP RECONSTRUCTION AREAS. THESE LOCATIONS SHALL BE FIELD VERIFIED TO PROVIDE ADA COMPLIANT RAMPS. REMOVALS SHALL BE TAKEN TO THE NEAREST JOINTS WHERE POSSIBLE.

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GEOMETRICS
"O" STREET

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705444	9
Date: 03\31\2025	Drawn: SJP
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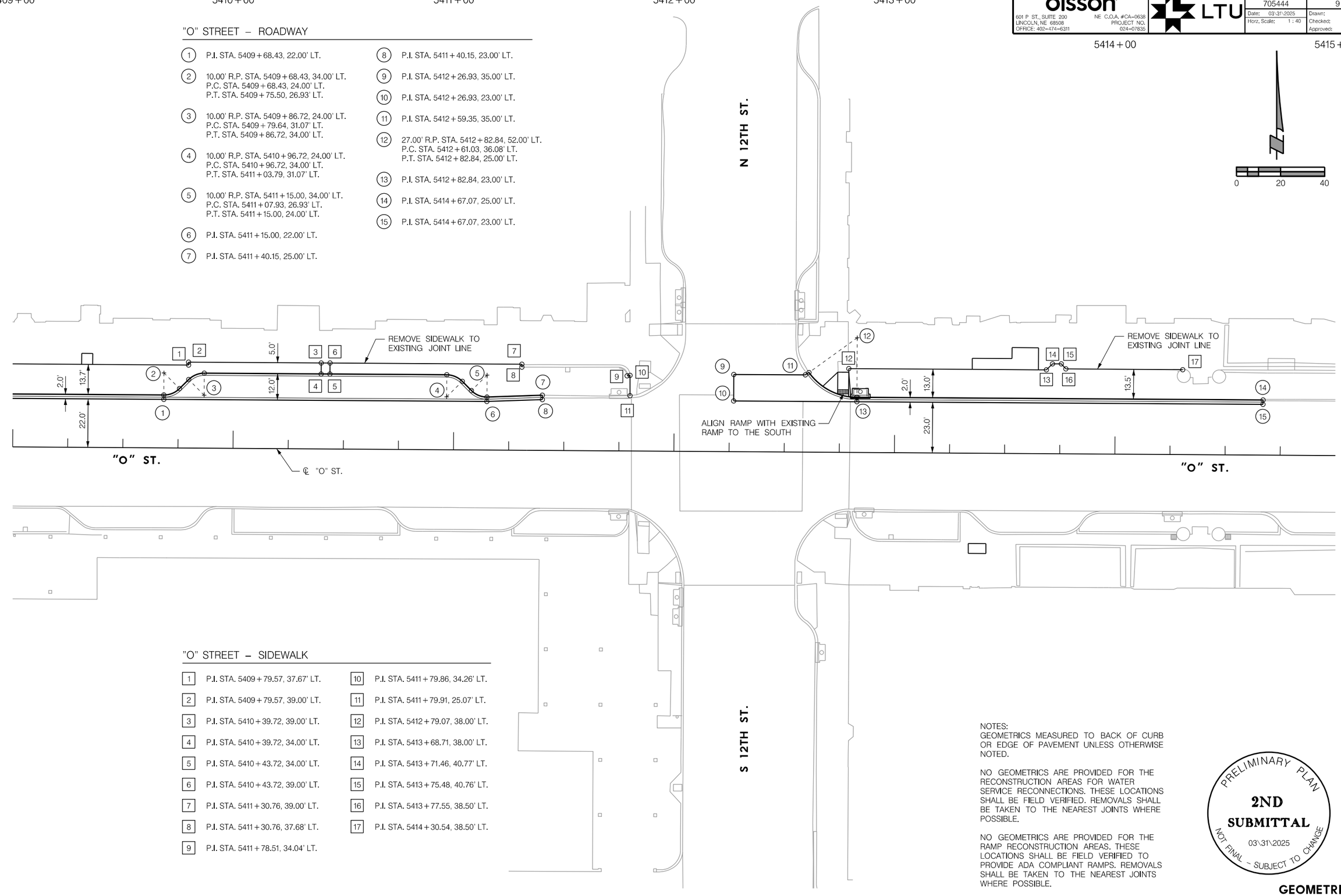
5409+00 5410+00 5411+00 5412+00 5413+00 5414+00 5415+00

"O" STREET – ROADWAY

1. P.I. STA. 5409+68.43, 22.00' LT.
2. 10.00' R.P. STA. 5409+68.43, 34.00' LT.
   P.C. STA. 5409+68.43, 24.00' LT.
   P.T. STA. 5409+75.50, 26.93' LT.
3. 10.00' R.P. STA. 5409+86.72, 24.00' LT.
   P.C. STA. 5409+79.64, 31.07' LT.
   P.T. STA. 5409+86.72, 34.00' LT.
4. 10.00' R.P. STA. 5410+96.72, 24.00' LT.
   P.C. STA. 5410+96.72, 34.00' LT.
   P.T. STA. 5411+03.79, 31.07' LT.
5. 10.00' R.P. STA. 5411+15.00, 34.00' LT.
   P.C. STA. 5411+07.93, 26.93' LT.
   P.T. STA. 5411+15.00, 24.00' LT.
6. P.I. STA. 5411+15.00, 22.00' LT.
7. P.I. STA. 5411+40.15, 25.00' LT.
8. P.I. STA. 5411+40.15, 23.00' LT.
9. P.I. STA. 5412+26.93, 35.00' LT.
10. P.I. STA. 5412+26.93, 23.00' LT.
11. P.I. STA. 5412+59.35, 35.00' LT.
12. 27.00' R.P. STA. 5412+82.84, 52.00' LT.
    P.C. STA. 5412+61.03, 36.08' LT.
    P.T. STA. 5412+82.84, 25.00' LT.
13. P.I. STA. 5412+82.84, 23.00' LT.
14. P.I. STA. 5414+67.07, 25.00' LT.
15. P.I. STA. 5414+67.07, 23.00' LT.



"O" STREET – SIDEWALK

1. P.I. STA. 5409+79.57, 37.67' LT.
2. P.I. STA. 5409+79.57, 39.00' LT.
3. P.I. STA. 5410+39.72, 39.00' LT.
4. P.I. STA. 5410+39.72, 34.00' LT.
5. P.I. STA. 5410+43.72, 34.00' LT.
6. P.I. STA. 5410+43.72, 39.00' LT.
7. P.I. STA. 5411+30.76, 39.00' LT.
8. P.I. STA. 5411+30.76, 37.68' LT.
9. P.I. STA. 5411+78.51, 34.04' LT.
10. P.I. STA. 5411+79.86, 34.26' LT.
11. P.I. STA. 5411+79.91, 25.07' LT.
12. P.I. STA. 5412+79.07, 38.00' LT.
13. P.I. STA. 5413+68.71, 38.00' LT.
14. P.I. STA. 5413+71.46, 40.77' LT.
15. P.I. STA. 5413+75.48, 40.76' LT.
16. P.I. STA. 5413+77.55, 38.50' LT.
17. P.I. STA. 5414+30.54, 38.50' LT.

NOTES:
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NO GEOMETRICS ARE PROVIDED FOR THE RAMP RECONSTRUCTION AREAS. THESE LOCATIONS SHALL BE FIELD VERIFIED TO PROVIDE ADA COMPLIANT RAMPS. REMOVALS SHALL BE TAKEN TO THE NEAREST JOINTS WHERE POSSIBLE.

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

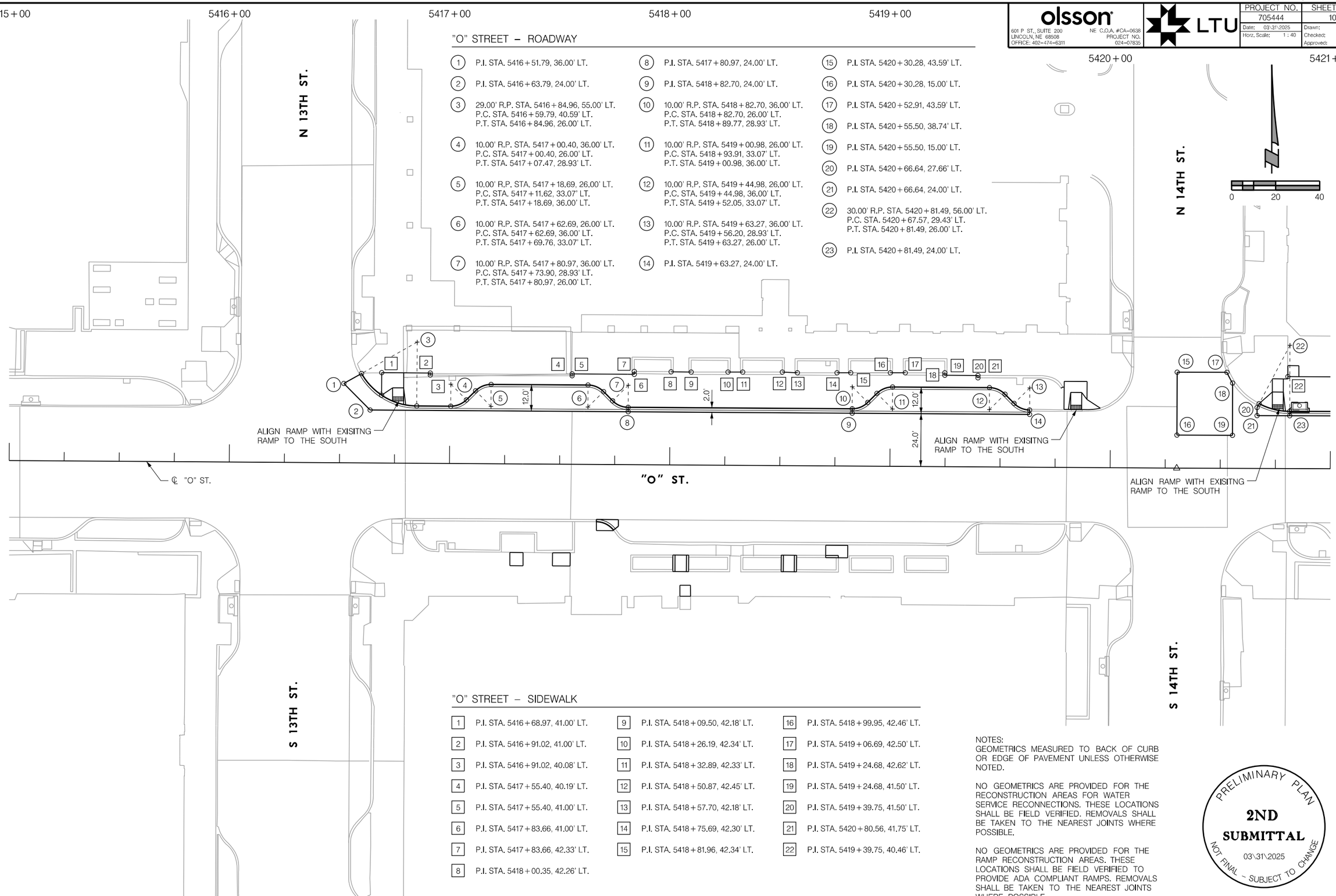
GEOMETRICS
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\BW_PENTABLE.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Geometrics\705444GEOM.dgn

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	10
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



"O" STREET – ROADWAY

1. P.I. STA. 5416+51.79, 36.00' LT.
2. P.I. STA. 5416+63.79, 24.00' LT.
3. 29.00' R.P. STA. 5416+84.96, 55.00' LT.
   P.C. STA. 5416+59.79, 40.59' LT.
   P.T. STA. 5416+84.96, 26.00' LT.
4. 10.00' R.P. STA. 5417+00.40, 36.00' LT.
   P.C. STA. 5417+00.40, 26.00' LT.
   P.T. STA. 5417+07.47, 28.93' LT.
5. 10.00' R.P. STA. 5417+18.69, 26.00' LT.
   P.C. STA. 5417+11.62, 33.07' LT.
   P.T. STA. 5417+18.69, 36.00' LT.
6. 10.00' R.P. STA. 5417+62.69, 26.00' LT.
   P.C. STA. 5417+62.69, 36.00' LT.
   P.T. STA. 5417+69.76, 33.07' LT.
7. 10.00' R.P. STA. 5417+80.97, 36.00' LT.
   P.C. STA. 5417+73.90, 28.93' LT.
   P.T. STA. 5417+80.97, 26.00' LT.
8. P.I. STA. 5417+80.97, 24.00' LT.
9. P.I. STA. 5418+82.70, 24.00' LT.
10. 10.00' R.P. STA. 5418+82.70, 36.00' LT.
    P.C. STA. 5418+82.70, 26.00' LT.
    P.T. STA. 5418+89.77, 28.93' LT.
11. 10.00' R.P. STA. 5419+00.98, 26.00' LT.
    P.C. STA. 5418+93.91, 33.07' LT.
    P.T. STA. 5419+00.98, 36.00' LT.
12. 10.00' R.P. STA. 5419+44.98, 26.00' LT.
    P.C. STA. 5419+44.98, 36.00' LT.
    P.T. STA. 5419+52.05, 33.07' LT.
13. 10.00' R.P. STA. 5419+63.27, 36.00' LT.
    P.C. STA. 5419+56.20, 28.93' LT.
    P.T. STA. 5419+63.27, 26.00' LT.
14. P.I. STA. 5419+63.27, 24.00' LT.
15. P.I. STA. 5420+30.28, 43.59' LT.
16. P.I. STA. 5420+30.28, 15.00' LT.
17. P.I. STA. 5420+52.91, 43.59' LT.
18. P.I. STA. 5420+55.50, 38.74' LT.
19. P.I. STA. 5420+55.50, 15.00' LT.
20. P.I. STA. 5420+66.64, 27.66' LT.
21. P.I. STA. 5420+66.64, 24.00' LT.
22. 30.00' R.P. STA. 5420+81.49, 56.00' LT.
    P.C. STA. 5420+67.57, 29.43' LT.
    P.T. STA. 5420+81.49, 26.00' LT.
23. P.I. STA. 5420+81.49, 24.00' LT.

"O" STREET – SIDEWALK

1. P.I. STA. 5416+68.97, 41.00' LT.
2. P.I. STA. 5416+91.02, 41.00' LT.
3. P.I. STA. 5416+91.02, 40.08' LT.
4. P.I. STA. 5417+55.40, 40.19' LT.
5. P.I. STA. 5417+55.40, 41.00' LT.
6. P.I. STA. 5417+83.66, 41.00' LT.
7. P.I. STA. 5417+83.66, 42.33' LT.
8. P.I. STA. 5418+00.35, 42.26' LT.
9. P.I. STA. 5418+09.50, 42.18' LT.
10. P.I. STA. 5418+26.19, 42.34' LT.
11. P.I. STA. 5418+32.89, 42.33' LT.
12. P.I. STA. 5418+50.87, 42.45' LT.
13. P.I. STA. 5418+57.70, 42.18' LT.
14. P.I. STA. 5418+75.69, 42.30' LT.
15. P.I. STA. 5418+81.96, 42.34' LT.
16. P.I. STA. 5418+99.95, 42.46' LT.
17. P.I. STA. 5419+06.69, 42.50' LT.
18. P.I. STA. 5419+24.68, 42.62' LT.
19. P.I. STA. 5419+24.68, 41.50' LT.
20. P.I. STA. 5419+39.75, 41.50' LT.
21. P.I. STA. 5420+80.56, 41.75' LT.
22. P.I. STA. 5419+39.75, 40.46' LT.

NOTES:
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PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

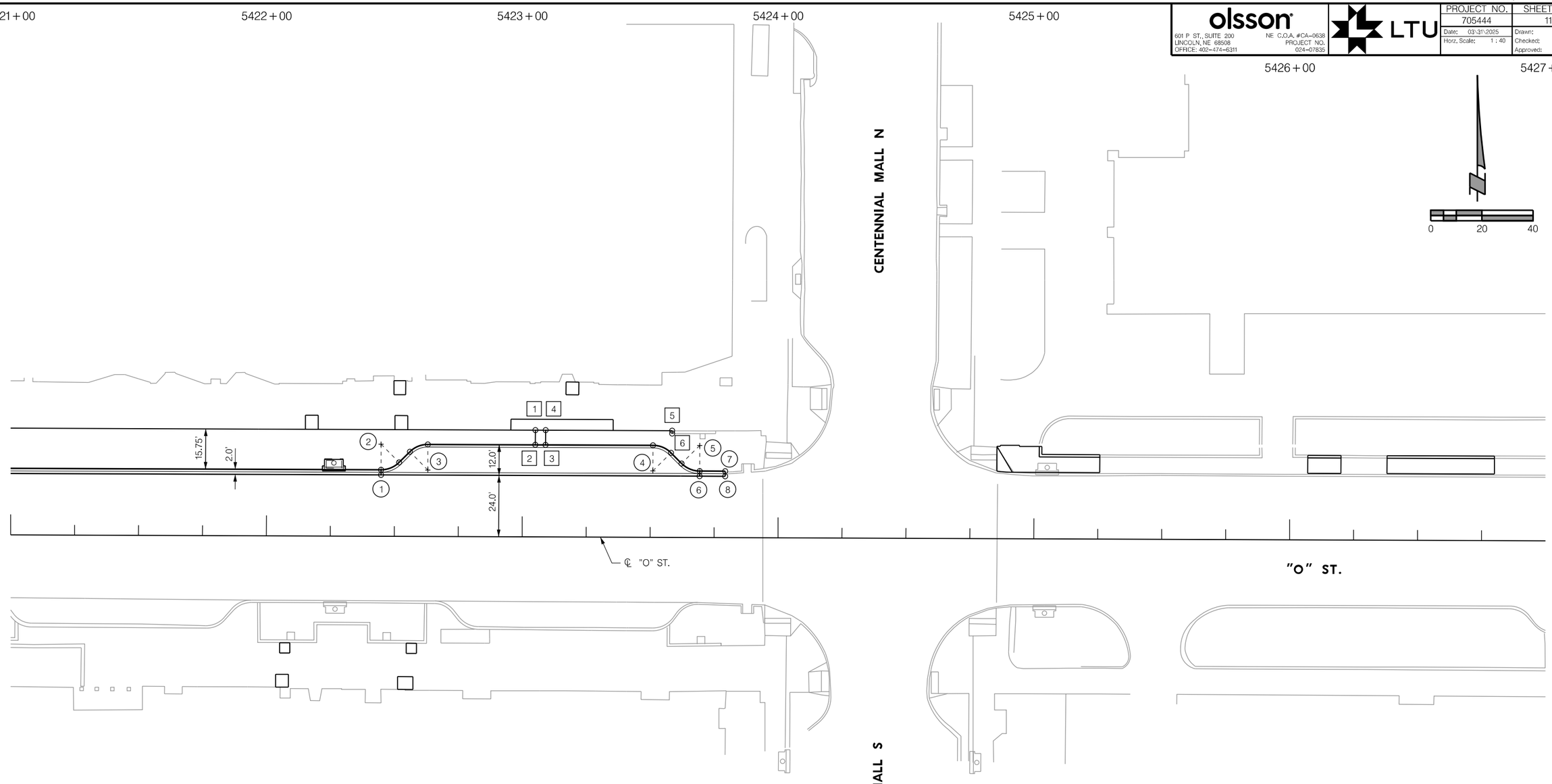
GEOMETRICS
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\BW_PENTABLE.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Geometrics\705444GE05.dgn

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	11
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



"O" STREET – ROADWAY

1. P.I. STA. 5422+44.71, 24.00' LT.
2. 10.00' R.P. STA. 5422+44.71, 36.00' LT.
   P.C. STA. 5422+44.71, 26.00' LT.
   P.T. STA. 5422+51.78, 28.93' LT.
3. 10.00' R.P. STA. 5422+63.00, 26.00' LT.
   P.C. STA. 5422+55.96, 33.11' LT.
   P.T. STA. 5422+63.00, 36.00' LT.
4. 10.00' R.P. STA. 5423+51.00, 26.00' LT.
   P.C. STA. 5423+51.00, 36.00' LT.
   P.T. STA. 5423+58.07, 33.07' LT.
5. 10.00' R.P. STA. 5423+69.28, 36.00' LT.
   P.C. STA. 5423+62.21, 28.93' LT.
   P.T. STA. 5423+69.28, 26.00' LT.
6. P.I. STA. 5423+69.28, 24.00' LT.
7. P.I. STA. 5423+79.28, 26.00' LT.
8. P.I. STA. 5423+79.28, 24.00' LT.

"O" STREET – SIDEWALK

1. P.I. STA. 5423+05.01, 41.75' LT.
2. P.I. STA. 5423+05.00, 36.00' LT.
3. P.I. STA. 5423+09.00, 36.00' LT.
4. P.I. STA. 5423+09.01, 41.75' LT.
5. P.I. STA. 5423+58.45, 41.75' LT.
6. P.I. STA. 5423+58.45, 40.60' LT.

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PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

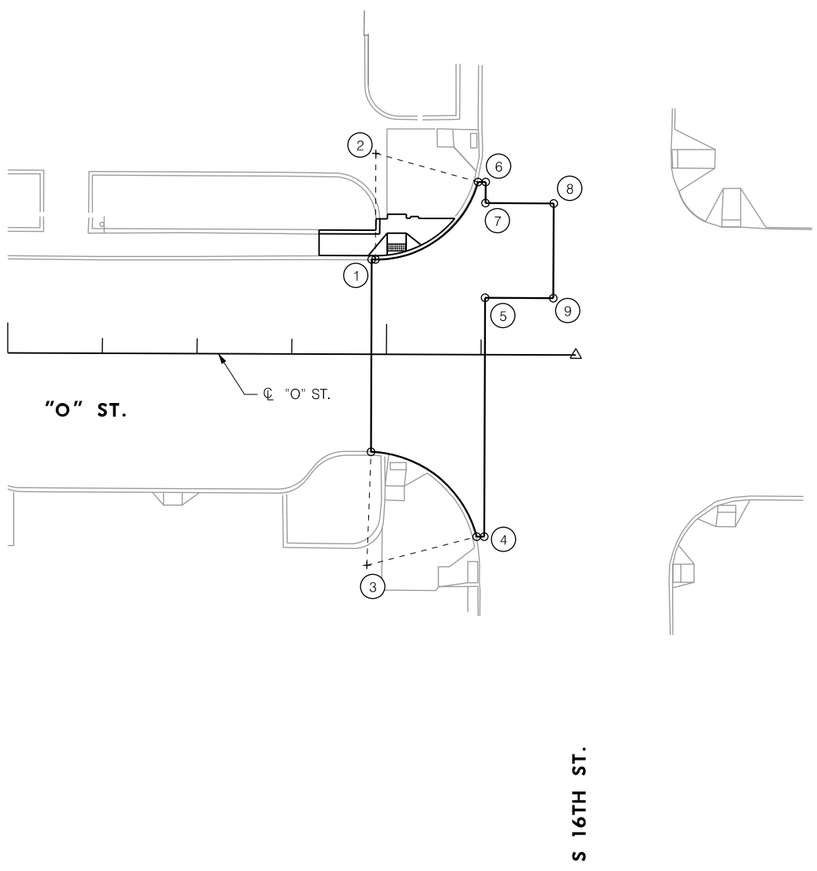
GEOMETRICS
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\BW_PENTABLE.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Geometrics\705444GE06.dgn

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

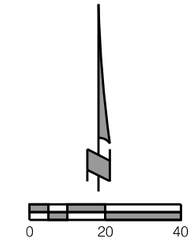
LTU

PROJECT NO.	SHEET NO.
705444	12
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



"O" STREET – ROADWAY

1. P.I. STA. 5427+96.02, 25.00' LT.
2. 28.00' R.P. STA. 5427+97.02, 53.00' LT.
   P.C. STA. 5427+97.02, 25.00' LT.
   P.T. STA. 5428+24.02, 45.58' LT.
3. 30.00' R.P. STA. 5427+95.02, 55.75' RT.
   P.C. STA. 5427+96.02, 25.77' RT.
   P.T. STA. 5428+24.02, 48.07' RT.
4. P.I. STA. 5428+26.02, 48.07' RT.
5. P.I. STA. 5428+26.02, 15.00' LT.
6. P.I. STA. 5428+26.02, 45.58' LT.
7. P.I. STA. 5428+26.02, 40.00' LT.
8. P.I. STA. 5428+44.02, 40.00' LT.
9. P.I. STA. 5428+44.02, 15.00' LT.



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PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

GEOMETRICS
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\EC_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444EC01.dgn

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

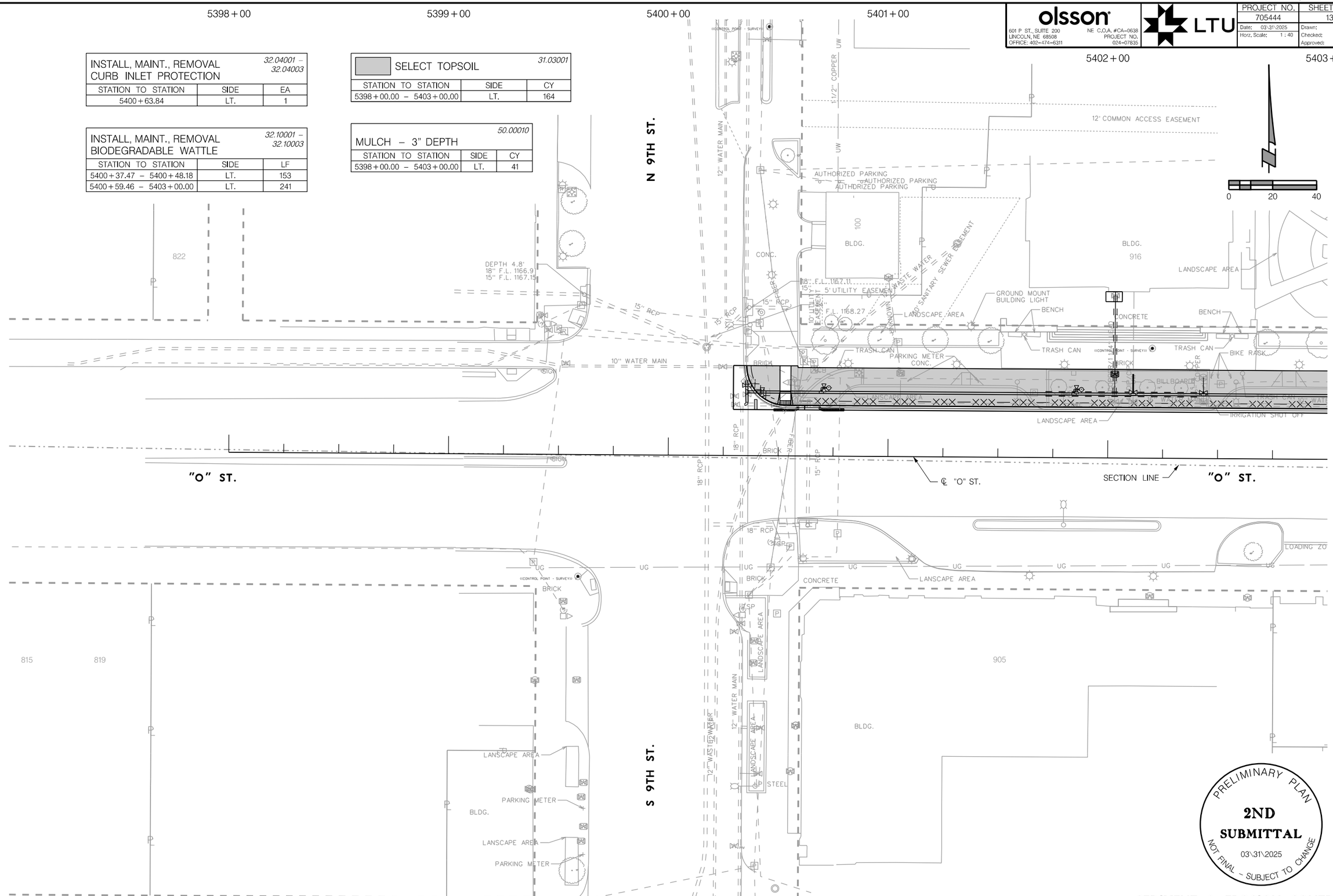
PROJECT NO.	SHEET NO.
705444	13
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

INSTALL, MAINT., REMOVAL CURB INLET PROTECTION		32.04001 – 32.04003
STATION TO STATION	SIDE	EA
5400+63.84	LT.	1

INSTALL, MAINT., REMOVAL BIODEGRADABLE WATTLE		32.10001 – 32.10003
STATION TO STATION	SIDE	LF
5400+37.47 – 5400+48.18	LT.	153
5400+59.46 – 5403+00.00	LT.	241

SELECT TOPSOIL		31.03001
STATION TO STATION	SIDE	CY
5398+00.00 – 5403+00.00	LT.	164

MULCH – 3" DEPTH		50.00010
STATION TO STATION	SIDE	CY
5398+00.00 – 5403+00.00	LT.	41



PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

SEDIMENT & EROSION CONTROL
"O" STREET

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	14
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

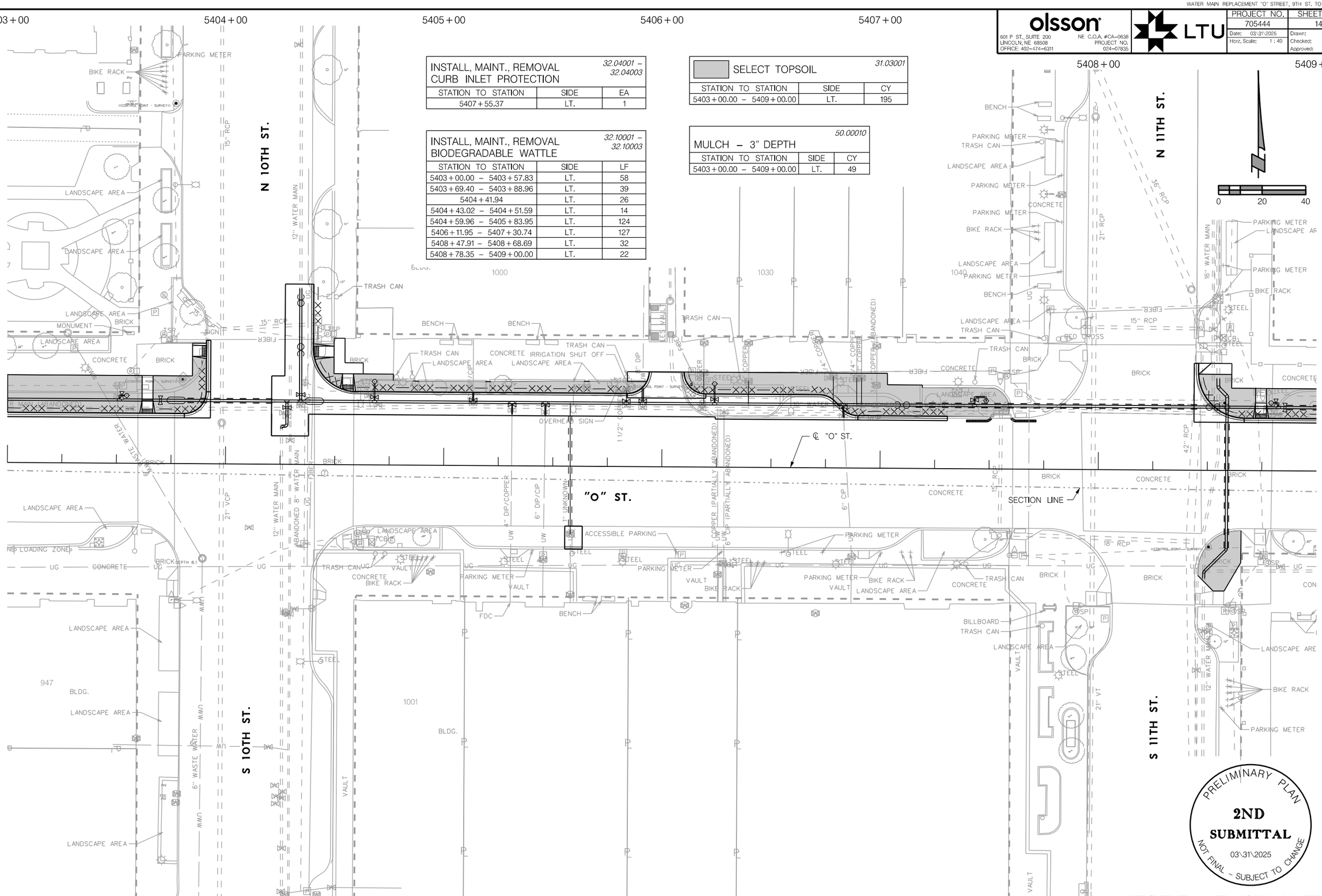
PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\EC_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444EC02.dgn

INSTALL, MAINT., REMOVAL CURB INLET PROTECTION		32.04001 – 32.04003
STATION TO STATION	SIDE	EA
5407 + 55.37	LT.	1

INSTALL, MAINT., REMOVAL BIODEGRADABLE WATTLE		32.10001 – 32.10003
STATION TO STATION	SIDE	LF
5403 + 00.00 – 5403 + 57.83	LT.	58
5403 + 69.40 – 5403 + 88.96	LT.	39
5404 + 41.94	LT.	26
5404 + 43.02 – 5404 + 51.59	LT.	14
5404 + 59.96 – 5405 + 83.95	LT.	124
5406 + 11.95 – 5407 + 30.74	LT.	127
5408 + 47.91 – 5408 + 68.69	LT.	32
5408 + 78.35 – 5409 + 00.00	LT.	22

SELECT TOPSOIL		31.03001
STATION TO STATION	SIDE	CY
5403 + 00.00 – 5409 + 00.00	LT.	195

MULCH – 3" DEPTH		50.00010
STATION TO STATION	SIDE	CY
5403 + 00.00 – 5409 + 00.00	LT.	49



PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

SEDIMENT & EROSION CONTROL
"O" STREET

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	15
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

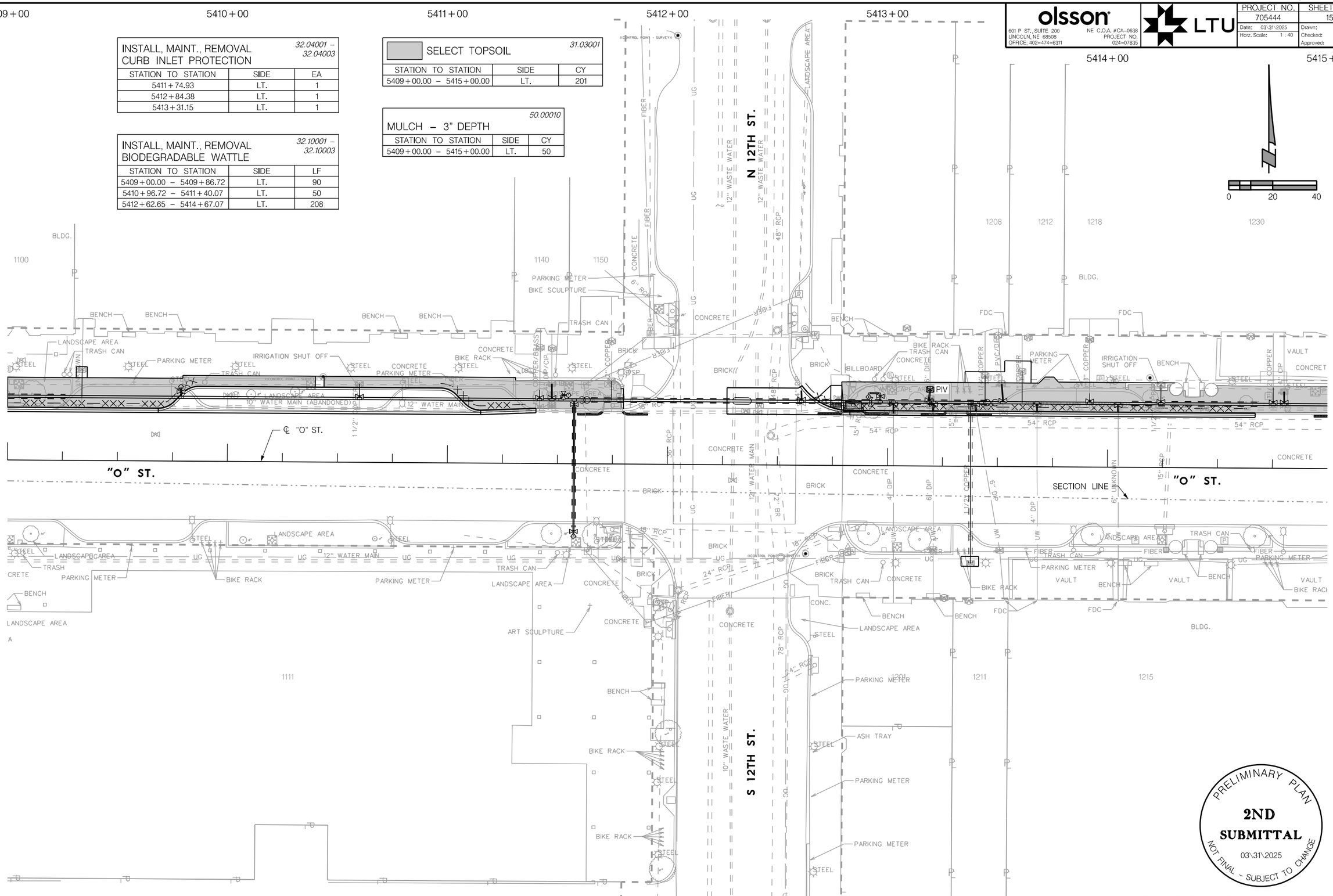
PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\EC_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444EC03.dgn

INSTALL, MAINT., REMOVAL CURB INLET PROTECTION		32.04001 – 32.04003
STATION TO STATION	SIDE	EA
5411+74.93	LT.	1
5412+84.38	LT.	1
5413+31.15	LT.	1

INSTALL, MAINT., REMOVAL BIODEGRADABLE WATTLE		32.10001 – 32.10003
STATION TO STATION	SIDE	LF
5409+00.00 – 5409+86.72	LT.	90
5410+96.72 – 5411+40.07	LT.	50
5412+62.65 – 5414+67.07	LT.	208

SELECT TOPSOIL		31.03001
STATION TO STATION	SIDE	CY
5409+00.00 – 5415+00.00	LT.	201

MULCH – 3" DEPTH		50.00010
STATION TO STATION	SIDE	CY
5409+00.00 – 5415+00.00	LT.	50



PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

SEDIMENT & EROSION CONTROL
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\EC_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444EC04.dgn

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

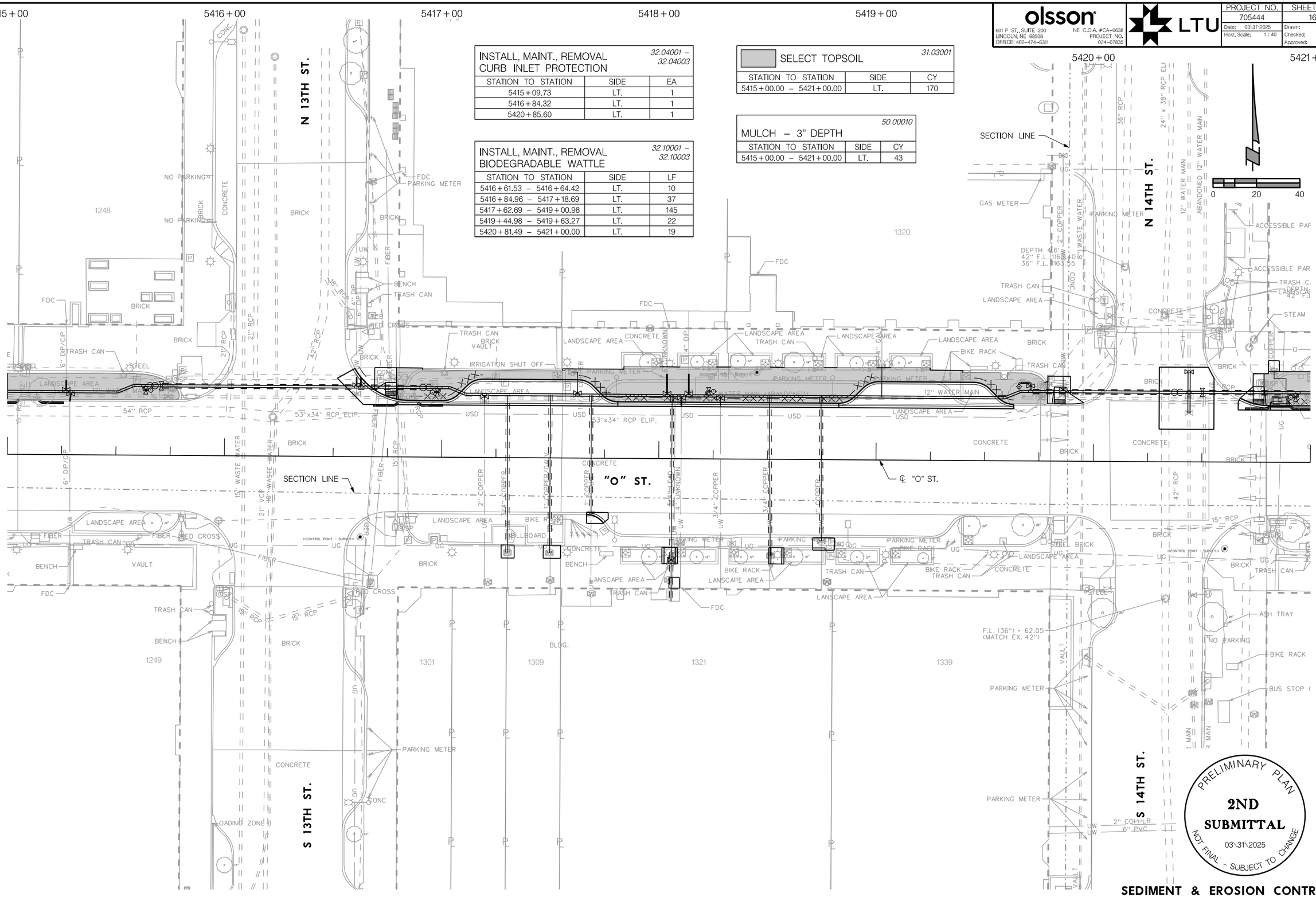
PROJECT NO.	SHEET NO.
705444	16
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

INSTALL, MAINT., REMOVAL CURB INLET PROTECTION		32.04001 – 32.04003
STATION TO STATION	SIDE	EA
5415+09.73	LT.	1
5416+84.32	LT.	1
5420+85.60	LT.	1

INSTALL, MAINT., REMOVAL BIODEGRADABLE WATTLE		32.10001 – 32.10003
STATION TO STATION	SIDE	LF
5416+61.53 – 5416+64.42	LT.	10
5416+84.96 – 5417+18.69	LT.	37
5417+62.69 – 5419+00.98	LT.	145
5419+44.98 – 5419+63.27	LT.	22
5420+81.49 – 5421+00.00	LT.	19

SELECT TOPSOIL		31.03001
STATION TO STATION	SIDE	CY
5415+00.00 – 5421+00.00	LT.	170

MULCH – 3" DEPTH		50.00010
STATION TO STATION	SIDE	CY
5415+00.00 – 5421+00.00	LT.	43



PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

SEDIMENT & EROSION CONTROL

"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\EC_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444EC05.dgn

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

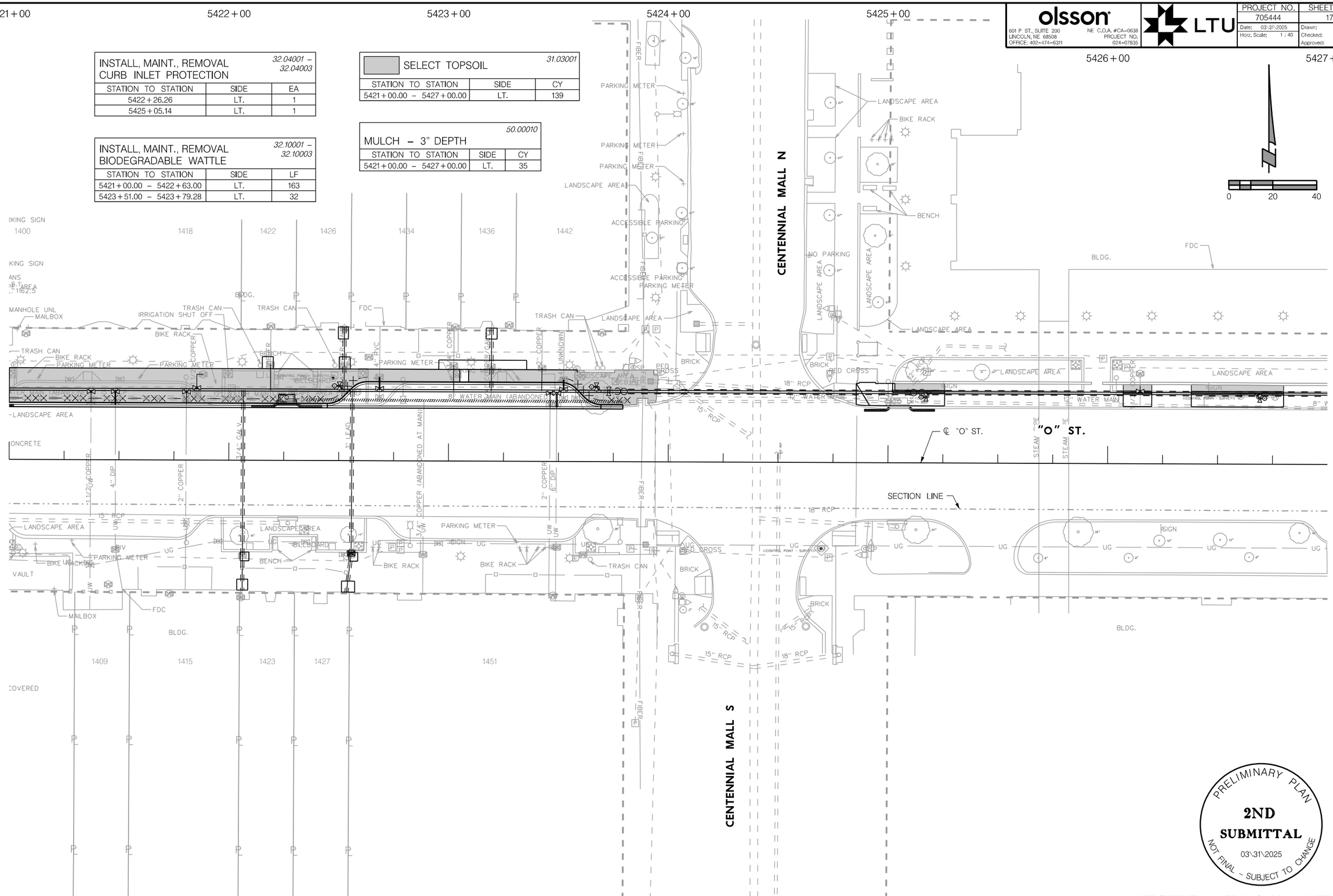
PROJECT NO.	SHEET NO.
705444	17
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

INSTALL, MAINT., REMOVAL CURB INLET PROTECTION		32.04001 – 32.04003
STATION TO STATION	SIDE	EA
5422 + 26.26	LT.	1
5425 + 05.14	LT.	1

INSTALL, MAINT., REMOVAL BIODEGRADABLE WATTLE		32.10001 – 32.10003
STATION TO STATION	SIDE	LF
5421 + 00.00 – 5422 + 63.00	LT.	163
5423 + 51.00 – 5423 + 79.28	LT.	32

SELECT TOPSOIL		31.03001
STATION TO STATION	SIDE	CY
5421 + 00.00 – 5427 + 00.00	LT.	139

MULCH – 3" DEPTH		50.00010
STATION TO STATION	SIDE	CY
5421 + 00.00 – 5427 + 00.00	LT.	35



PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

SEDIMENT & EROSION CONTROL
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\EC_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444EC06.dgn

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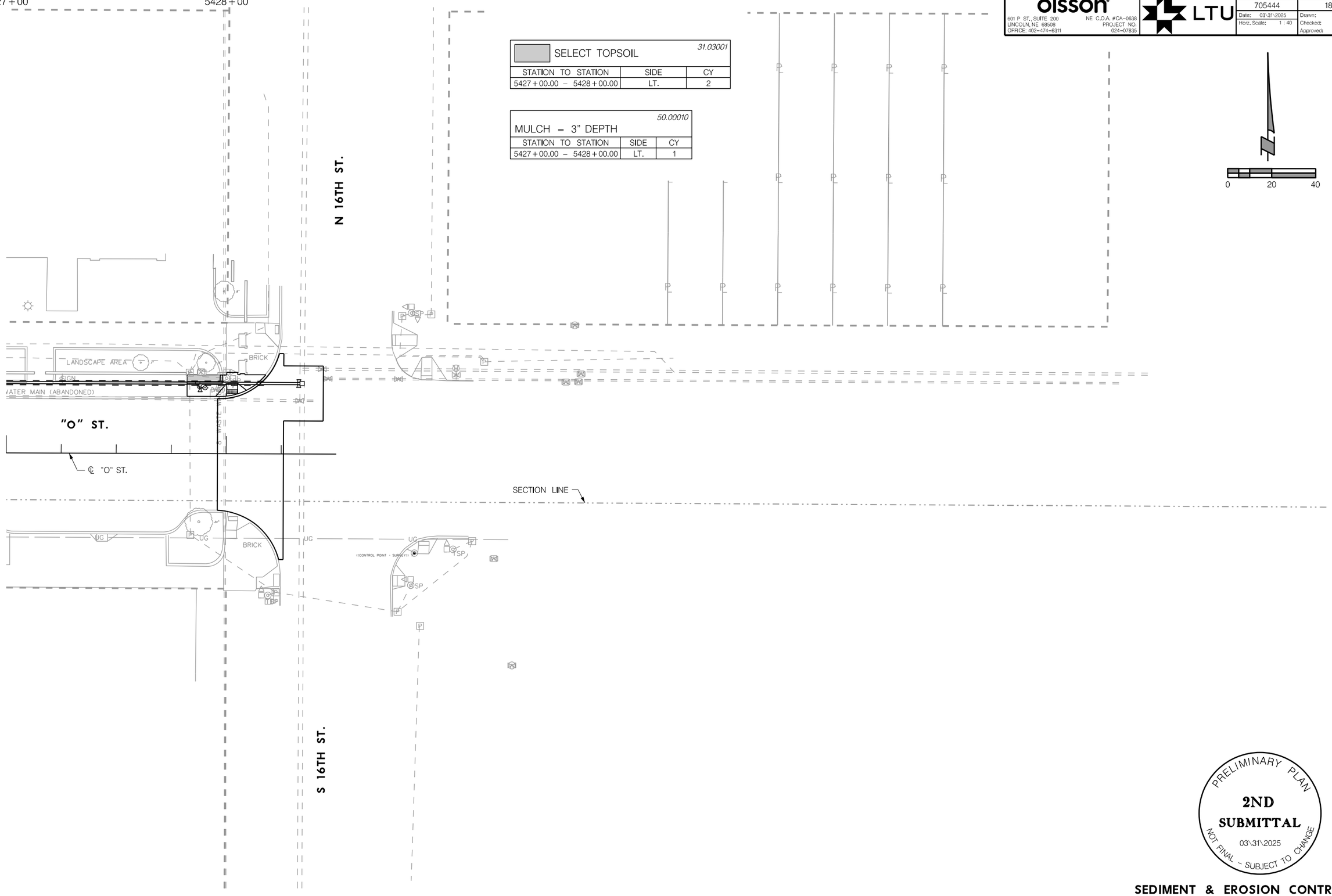
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	18
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



SELECT TOPSOIL		31.03001
STATION TO STATION	SIDE	CY
5427+00.00 – 5428+00.00	LT.	2

MULCH – 3" DEPTH		50.00010
STATION TO STATION	SIDE	CY
5427+00.00 – 5428+00.00	LT.	1

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

SEDIMENT & EROSION CONTROL
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\JG_pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444JG01.dgn

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601 P ST., SUITE 200
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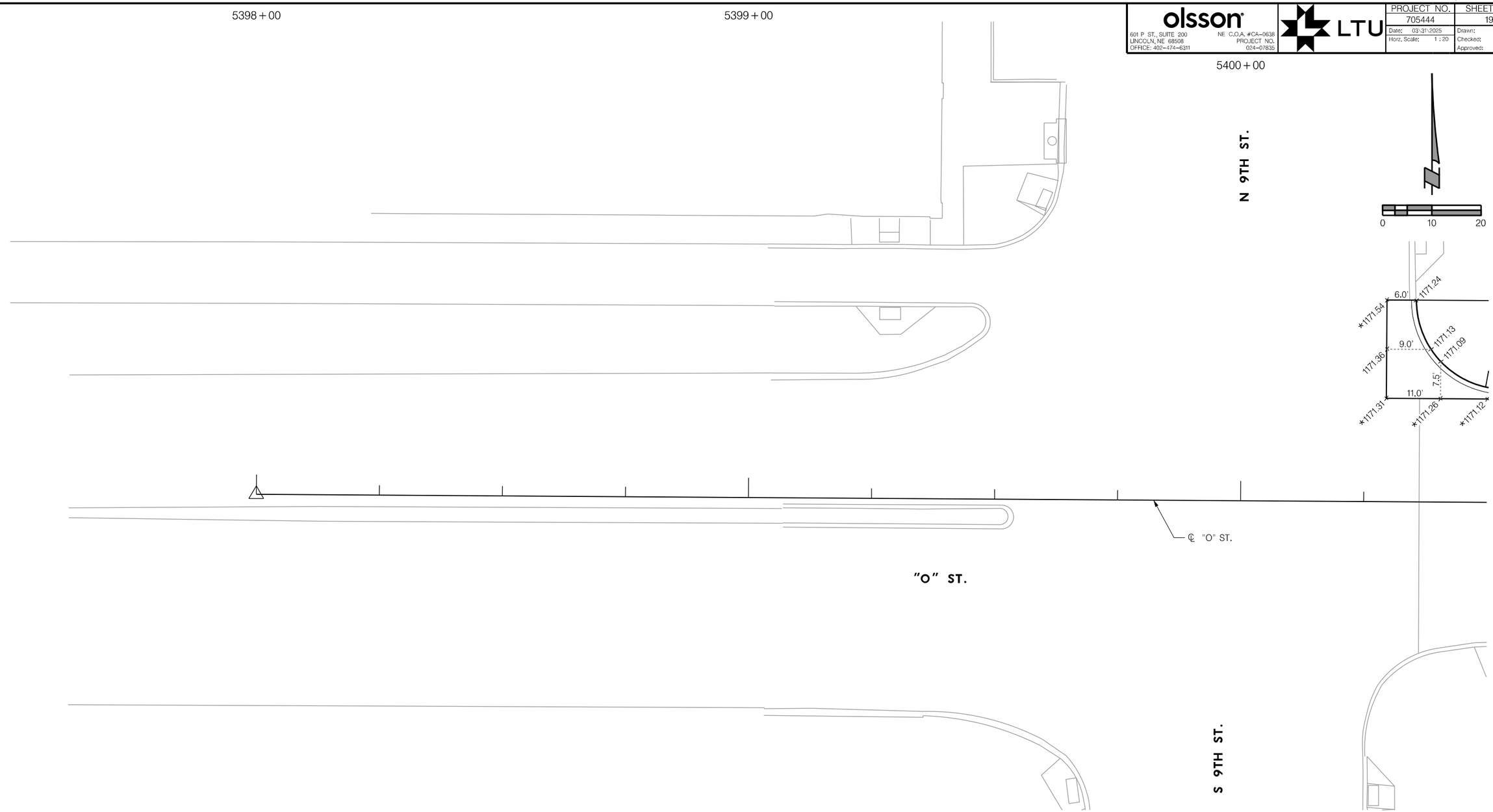
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	19
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 20	Checked: RSM
	Approved: OMK



SLOPE LEGEND

⇦	1.5% DESIRABLE MAXIMUM (2.0% ABSOLUTE MAXIMUM) SLOPE
⬅	7.3% DESIRABLE MAXIMUM (8.3% ABSOLUTE MAXIMUM) SLOPE

SLOPES MAY BE LESS THAN THE DESIRABLE MAXIMUM, BUT SHALL NOT EXCEED THE ABSOLUTE MAXIMUM. THE CONTRACTOR SHOULD ACCOUNT FOR CONSTRUCTION TOLERANCES TO PREVENT EXCEEDING THE MAXIMUM SLOPES. ANY SLOPES EXCEEDING THE ABSOLUTE MAXIMUMS SHALL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL FROM THE PROJECT MANAGER.

LEGEND

- - - - - · = LONGITUDINAL JOINT LINE

--------- = TRANSVERSE JOINT LINE

0000.00 = ELEVATION AT TOP OF SLAB (ELEVATION BASED ON 1988 NVD).

* = FIELD VERIFY GRADE TO MATCH EXISTING ELEVATION

MC = TOP OF 3" MOUNTABLE CURB

TC = TOP OF 6" CURB (DROP CURB AT DRIVEWAYS, MEDIAN CROSSWALKS AND CURB RAMPS PER L.S.P.'S.)

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL - SUBJECT TO CHANGE

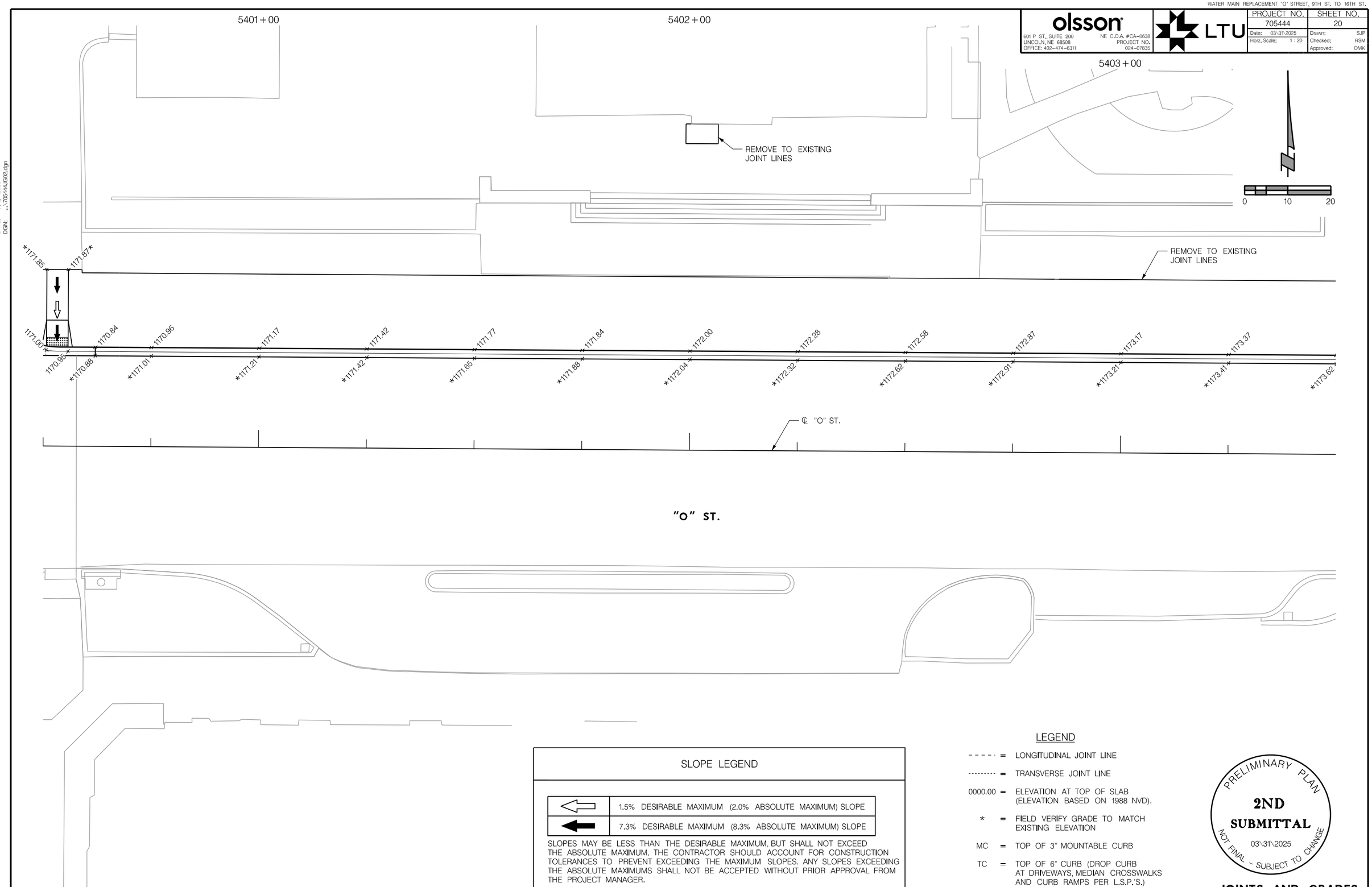
JOINTS AND GRADES
"O" STREET

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	20
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 20	Checked: RSM
	Approved: OMK

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\JG_pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444JG02.dgn



SLOPE LEGEND

⇦	1.5% DESIRABLE MAXIMUM (2.0% ABSOLUTE MAXIMUM) SLOPE
⬅	7.3% DESIRABLE MAXIMUM (8.3% ABSOLUTE MAXIMUM) SLOPE

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LEGEND

- - - - - · = LONGITUDINAL JOINT LINE

--------- = TRANSVERSE JOINT LINE

0000.00 = ELEVATION AT TOP OF SLAB (ELEVATION BASED ON 1988 NVD).

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PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL - SUBJECT TO CHANGE

JOINTS AND GRADES
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\JG_pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444JG03.dgn

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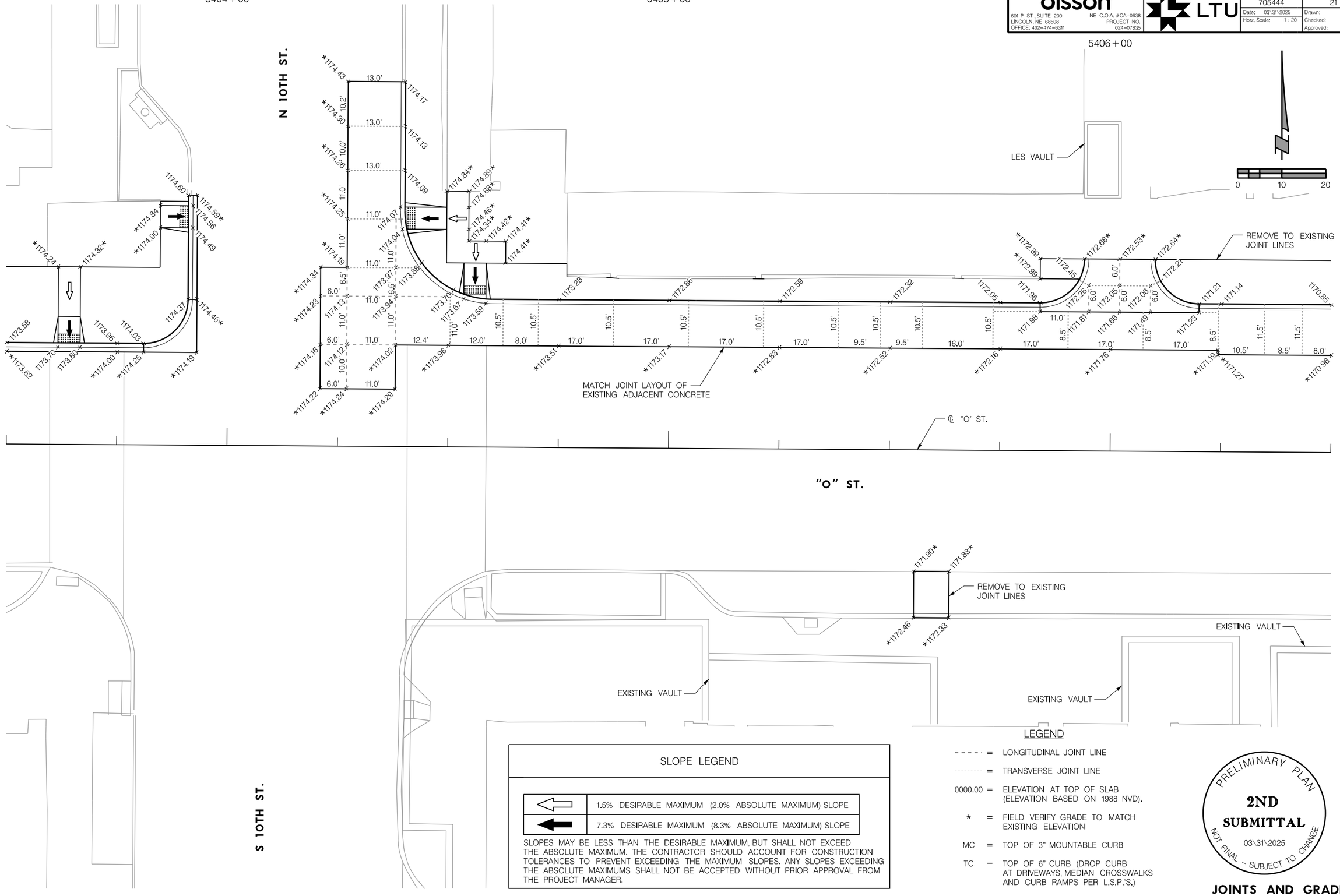
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	21
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 20	Checked: RSM
	Approved: OMK



SLOPE LEGEND

⇦	1.5% DESIRABLE MAXIMUM (2.0% ABSOLUTE MAXIMUM) SLOPE
⬅	7.3% DESIRABLE MAXIMUM (8.3% ABSOLUTE MAXIMUM) SLOPE

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LEGEND

- - - - - = LONGITUDINAL JOINT LINE

- - - - - - - - = TRANSVERSE JOINT LINE

0000.00 = ELEVATION AT TOP OF SLAB (ELEVATION BASED ON 1988 NVD).

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MC = TOP OF 3" MOUNTABLE CURB

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PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL - SUBJECT TO CHANGE

JOINTS AND GRADES
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\JG_pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444JG04.dgn

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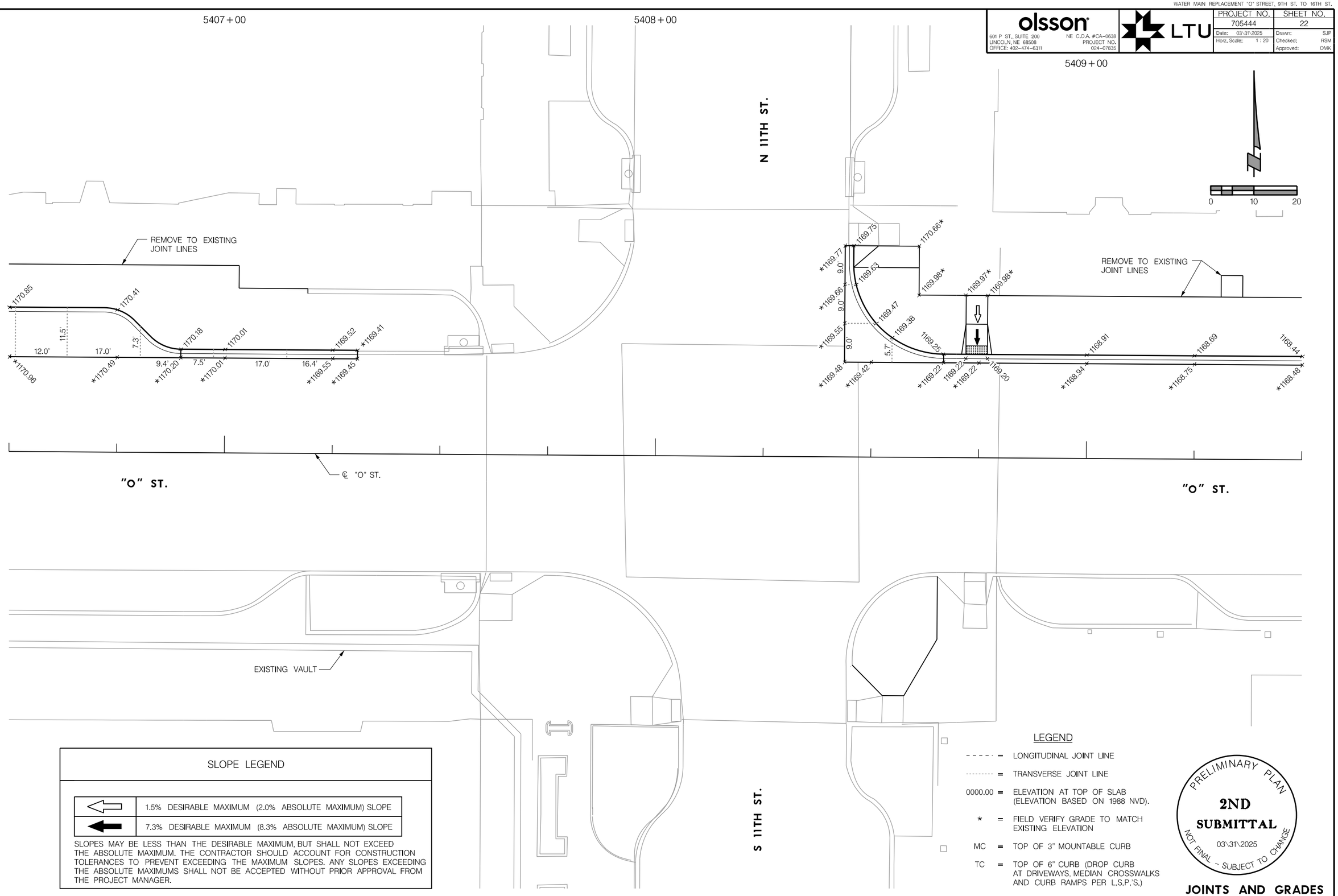
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	22
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 20	Checked: RSM
	Approved: OMK



SLOPE LEGEND

⇦	1.5% DESIRABLE MAXIMUM (2.0% ABSOLUTE MAXIMUM) SLOPE
⬅	7.3% DESIRABLE MAXIMUM (8.3% ABSOLUTE MAXIMUM) SLOPE

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LEGEND

- - - - - = LONGITUDINAL JOINT LINE

- - - - - - - - = TRANSVERSE JOINT LINE

0000.00 = ELEVATION AT TOP OF SLAB (ELEVATION BASED ON 1988 NVD).

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MC = TOP OF 3" MOUNTABLE CURB

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PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL - SUBJECT TO CHANGE

JOINTS AND GRADES
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\JG_pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444JG05.dgn

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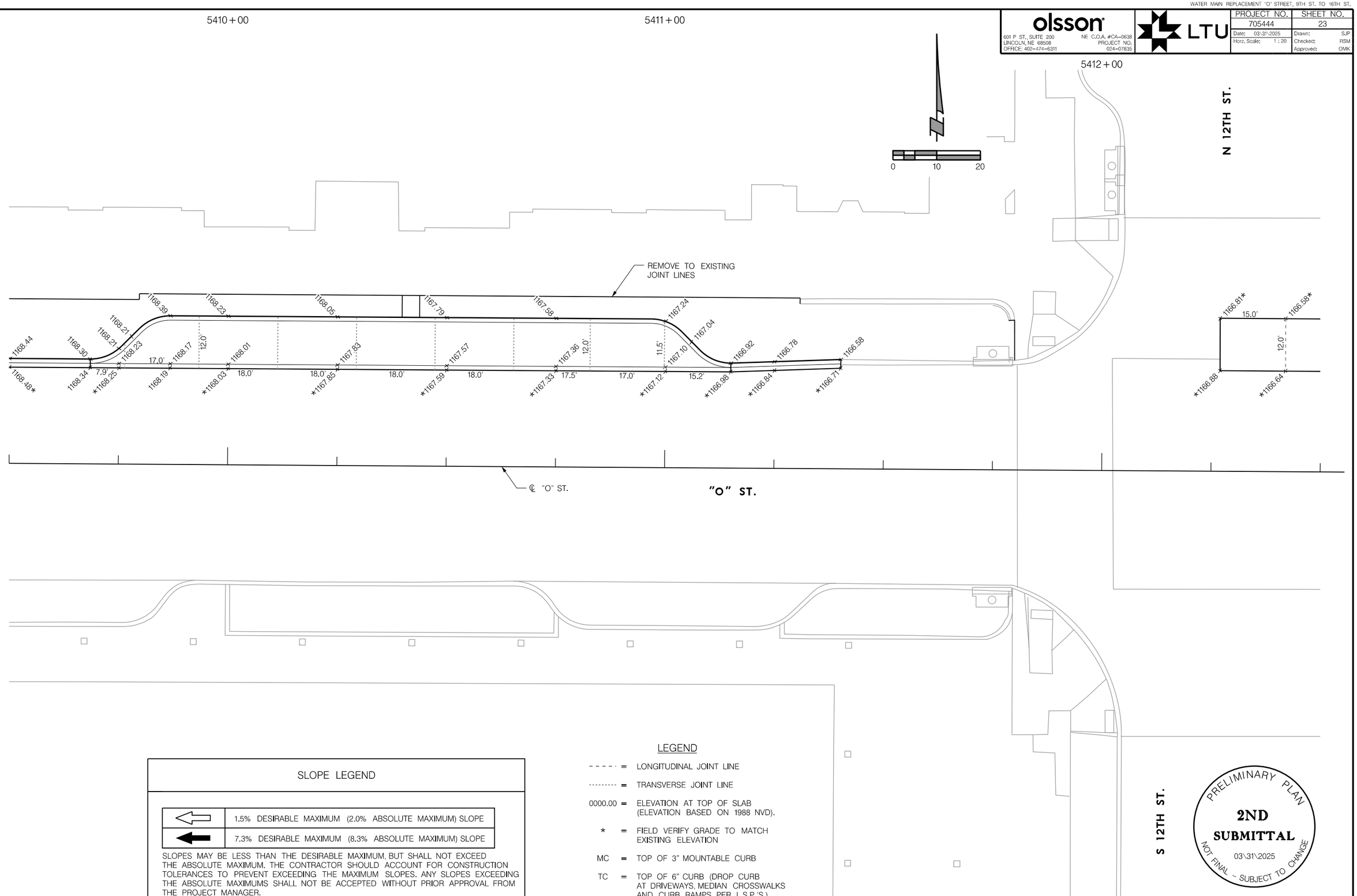
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	23
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 20	Checked: RSM
	Approved: OMK



SLOPE LEGEND

⇦	1.5% DESIRABLE MAXIMUM (2.0% ABSOLUTE MAXIMUM) SLOPE
⬅	7.3% DESIRABLE MAXIMUM (8.3% ABSOLUTE MAXIMUM) SLOPE

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LEGEND

- - - - - = LONGITUDINAL JOINT LINE

- - - - - - - - = TRANSVERSE JOINT LINE

0000.00 = ELEVATION AT TOP OF SLAB (ELEVATION BASED ON 1988 NVD).

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PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL - SUBJECT TO CHANGE

JOINTS AND GRADES
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\JG_pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444JG06.dgn

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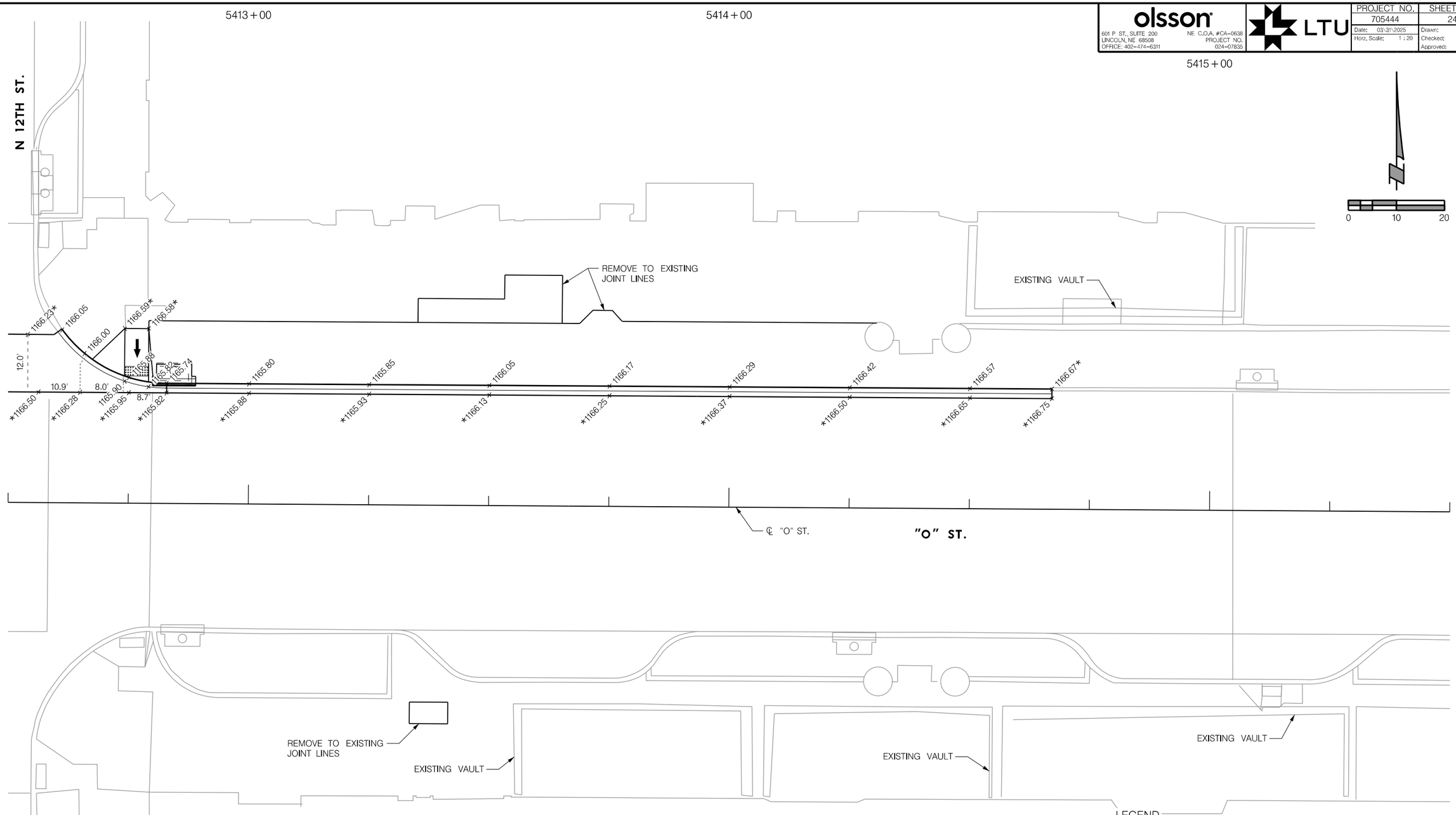
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	24
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 20	Checked: RSM
	Approved: OMK



SLOPE LEGEND

⇦	1.5% DESIRABLE MAXIMUM (2.0% ABSOLUTE MAXIMUM) SLOPE
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LEGEND

- - - - - = LONGITUDINAL JOINT LINE

- - - - - - - - = TRANSVERSE JOINT LINE

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PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
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JOINTS AND GRADES
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\JG_pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444JG07.dgn

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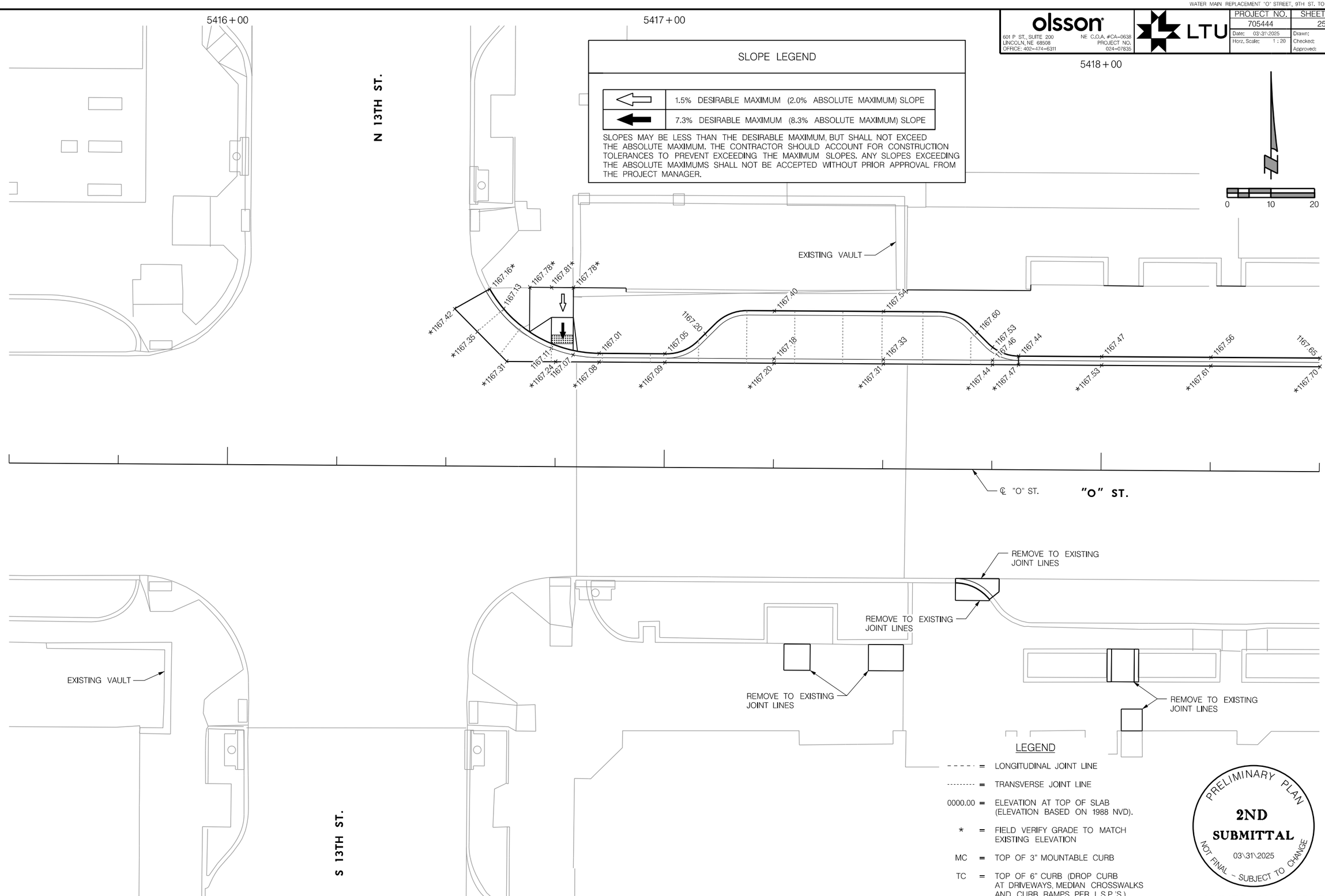
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	25
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 20	Checked: RSM
	Approved: OMK



SLOPE LEGEND

⇦	1.5% DESIRABLE MAXIMUM (2.0% ABSOLUTE MAXIMUM) SLOPE
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LEGEND

- - - - - = LONGITUDINAL JOINT LINE

- - - - - - - - = TRANSVERSE JOINT LINE

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PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL - SUBJECT TO CHANGE

JOINTS AND GRADES
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\JG_pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444JG08.dgn

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601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	26
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 20	Checked: RSM
	Approved: OMK

SLOPE LEGEND

⇦	1.5% DESIRABLE MAXIMUM (2.0% ABSOLUTE MAXIMUM) SLOPE
⬅	7.3% DESIRABLE MAXIMUM (8.3% ABSOLUTE MAXIMUM) SLOPE

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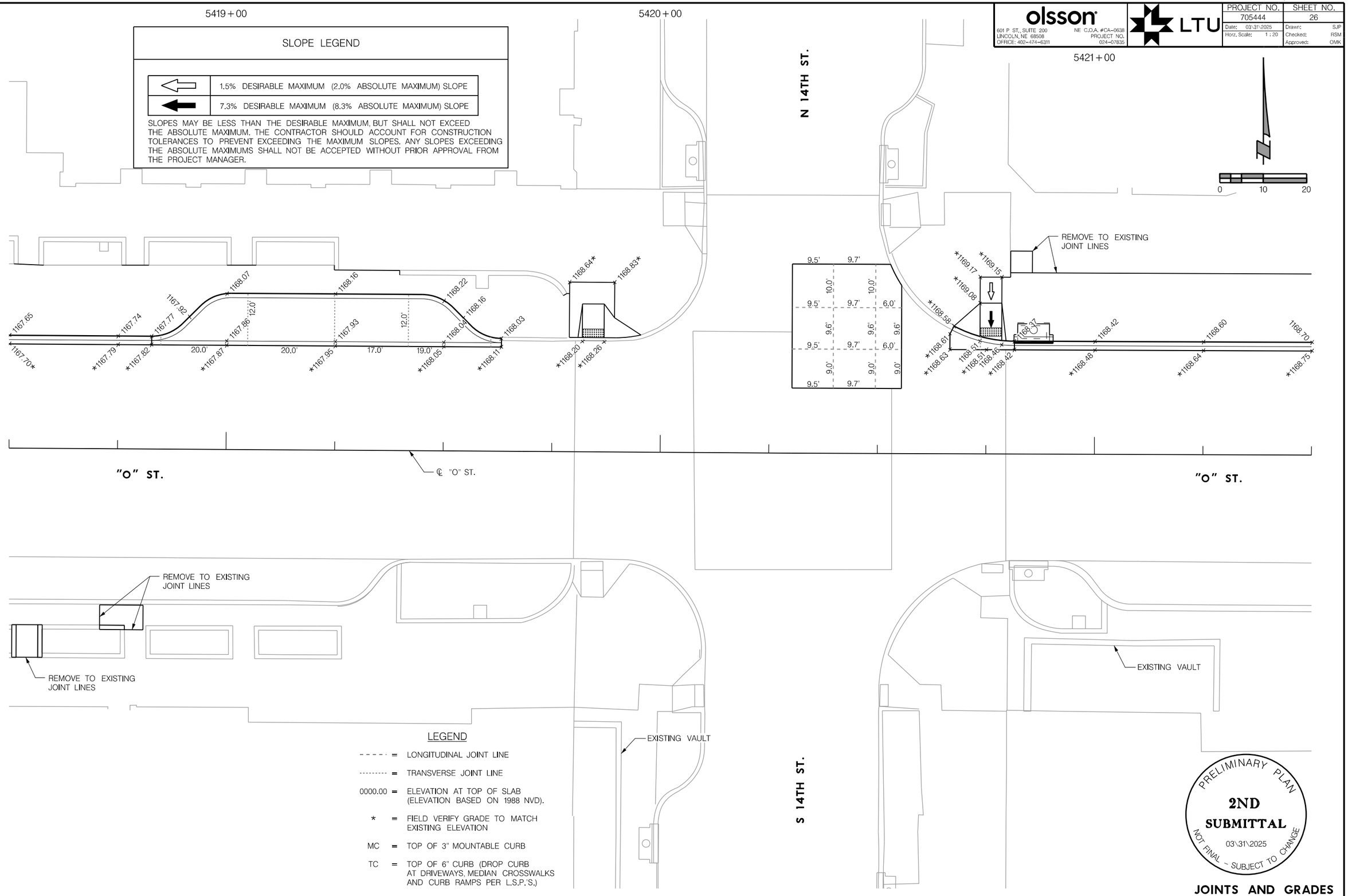

LEGEND

- - - - -	=	LONGITUDINAL JOINT LINE
- - - - - - - -	=	TRANSVERSE JOINT LINE
0000.00	=	ELEVATION AT TOP OF SLAB (ELEVATION BASED ON 1988 NVD).
*	=	FIELD VERIFY GRADE TO MATCH EXISTING ELEVATION
MC	=	TOP OF 3" MOUNTABLE CURB
TC	=	TOP OF 6" CURB (DROP CURB AT DRIVEWAYS, MEDIAN CROSSWALKS AND CURB RAMPS PER L.S.P.'S.)

JOINTS AND GRADES
"O" STREET

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601 P ST., SUITE 200
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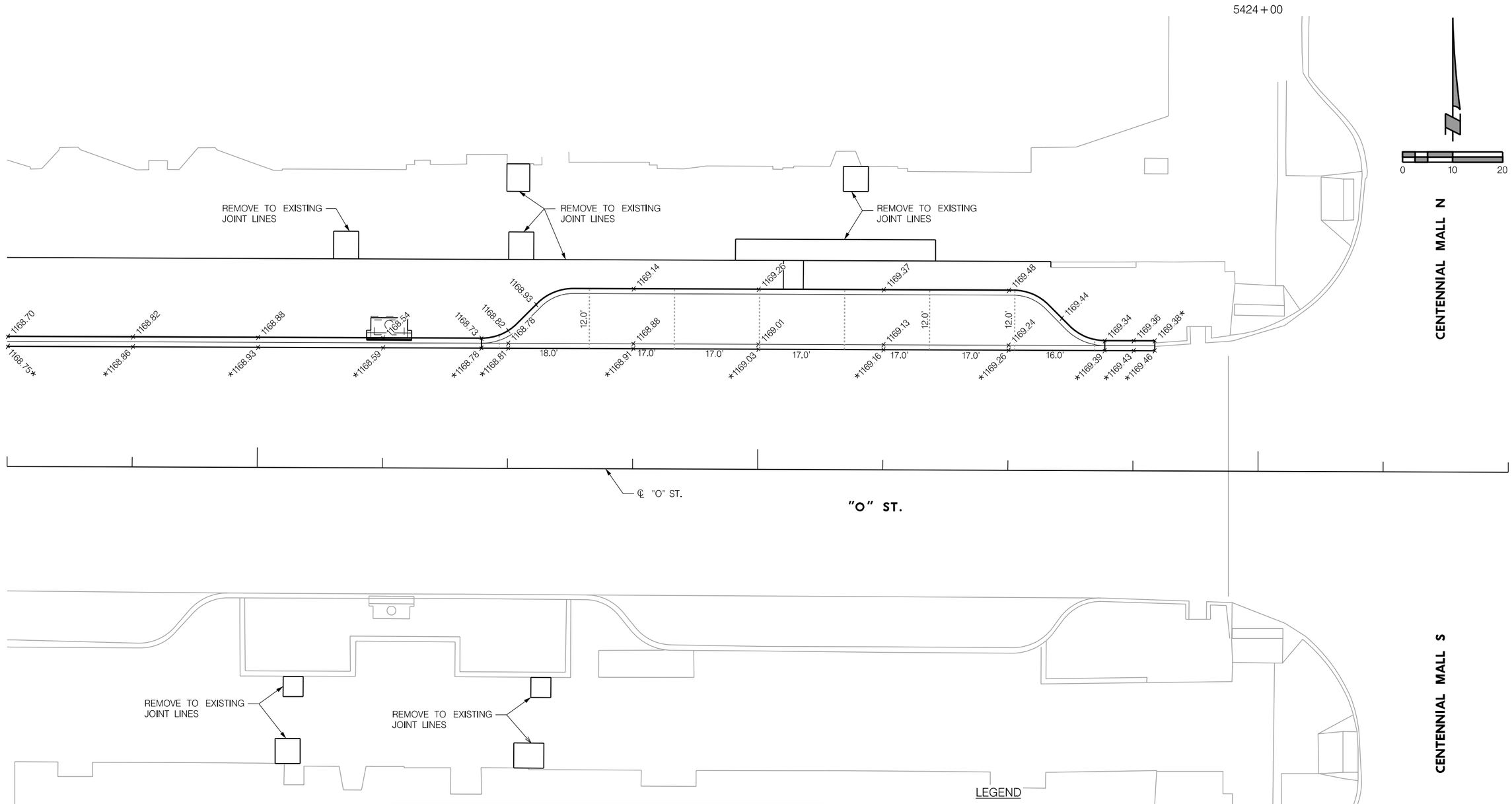
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	27
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 20	Checked: RSM
	Approved: OMK

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\JG_pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444JG09.dgn



SLOPE LEGEND

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LEGEND

- - - - - = LONGITUDINAL JOINT LINE

- - - - - - - - = TRANSVERSE JOINT LINE

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PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL - SUBJECT TO CHANGE

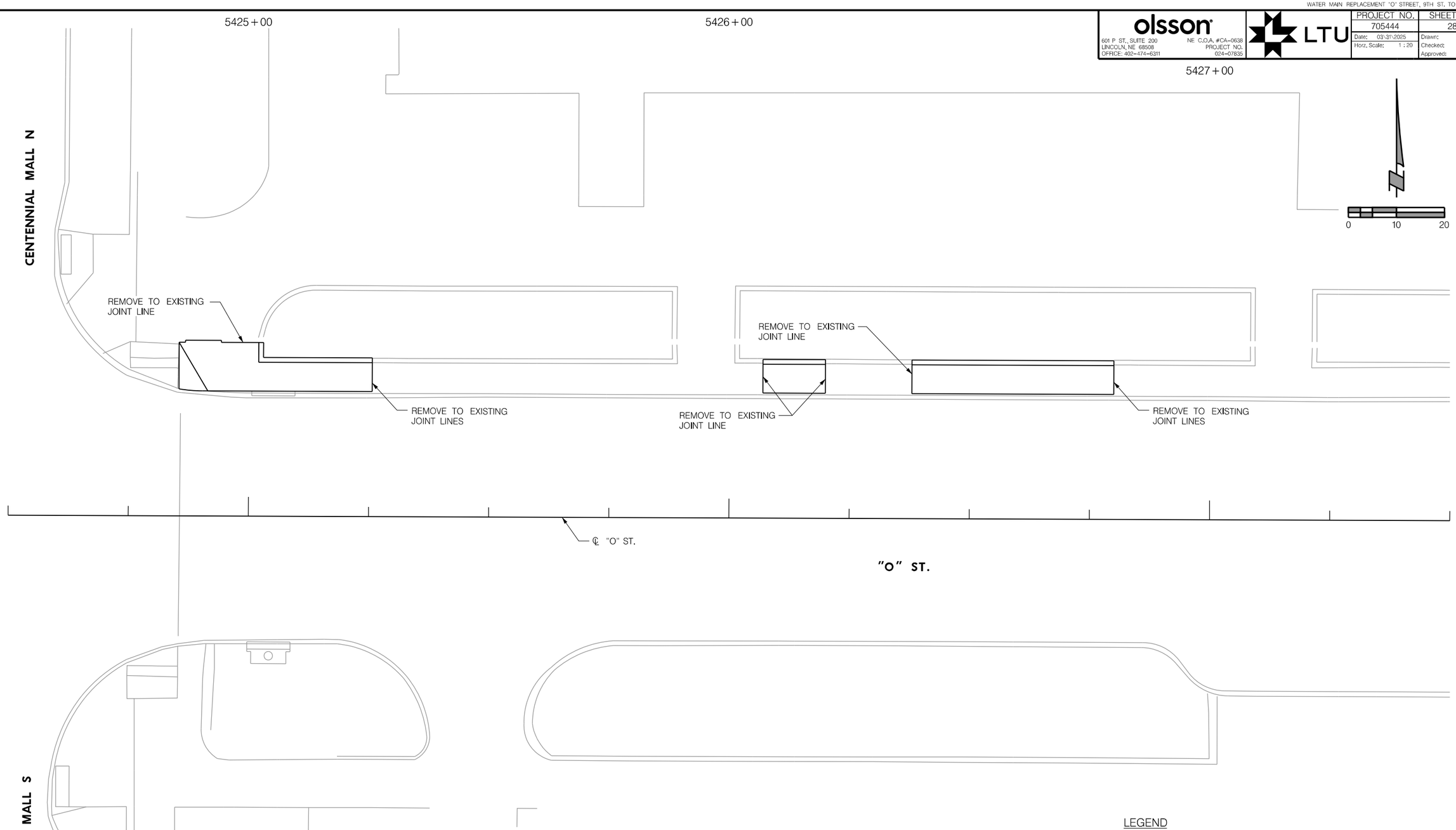
JOINTS AND GRADES
"O" STREET

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	28
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 20	Checked: RSM
	Approved: OMK

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\JG_pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444JG10.dgn



SLOPE LEGEND

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LEGEND

- - - - - = LONGITUDINAL JOINT LINE

- - - - - - - - = TRANSVERSE JOINT LINE

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PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL - SUBJECT TO CHANGE

JOINTS AND GRADES
"O" STREET

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO.
024-07835

LTU

PROJECT NO.	SHEET NO.
705444	29
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 20	Checked: RSM
	Approved: OMK

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
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USER: spickus
DATE: 03\31\2025
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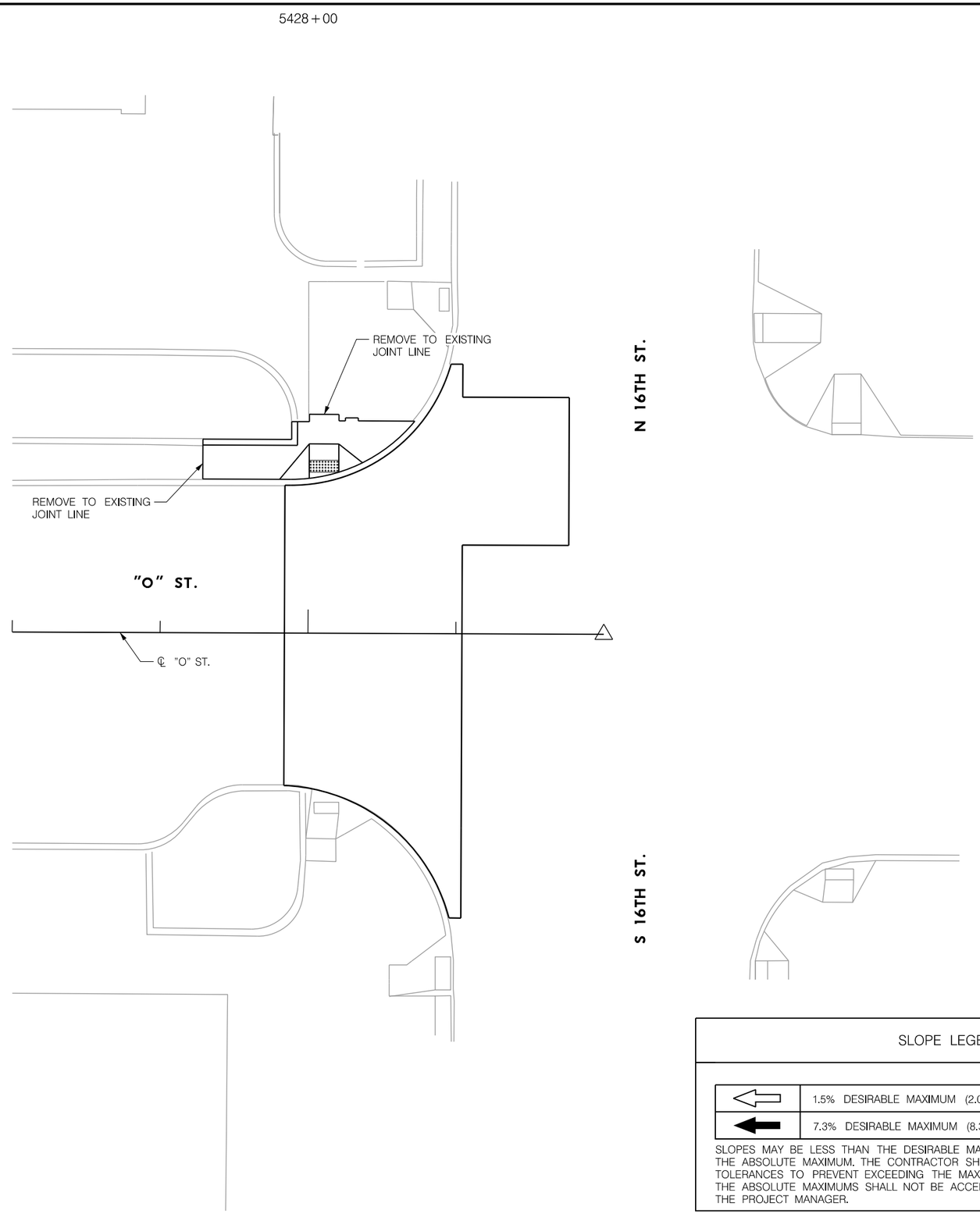
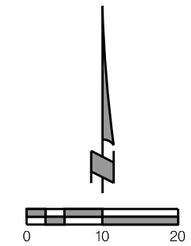




SLOPE LEGEND

⇦	1.5% DESIRABLE MAXIMUM (2.0% ABSOLUTE MAXIMUM) SLOPE
⬅	7.3% DESIRABLE MAXIMUM (8.3% ABSOLUTE MAXIMUM) SLOPE

SLOPES MAY BE LESS THAN THE DESIRABLE MAXIMUM, BUT SHALL NOT EXCEED THE ABSOLUTE MAXIMUM. THE CONTRACTOR SHOULD ACCOUNT FOR CONSTRUCTION TOLERANCES TO PREVENT EXCEEDING THE MAXIMUM SLOPES. ANY SLOPES EXCEEDING THE ABSOLUTE MAXIMUMS SHALL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL FROM THE PROJECT MANAGER.

LEGEND

- - - - - = LONGITUDINAL JOINT LINE

- - - - - - - - = TRANSVERSE JOINT LINE

0000.00 = ELEVATION AT TOP OF SLAB (ELEVATION BASED ON 1988 NVD).

* = FIELD VERIFY GRADE TO MATCH EXISTING ELEVATION

MC = TOP OF 3" MOUNTABLE CURB

TC = TOP OF 6" CURB (DROP CURB AT DRIVEWAYS, MEDIAN CROSSWALKS AND CURB RAMPS PER L.S.P.'S.)

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL - SUBJECT TO CHANGE

JOINTS AND GRADES
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\CR_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Sheets\Removals\705444RM01.dgn

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	30
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

PAVEMENT AND SIDEWALK REMOVAL (01.04001)

STATION TO STATION	SIDE	CY
5400+29.47 – 5400+36.31	LT.	4
5400+35.39 – 5400+58.83	LT.	* 4
5400+36.31 – 5400+57.55	LT.	* 3
5400+47.95 – 5400+59.14	LT.	1
5400+57.55 – 5403+00.00	LT.	55
5400+58.81 – 5403+00.00	LT.	18
5401+98.75 – 5402+06.23	LT.	1

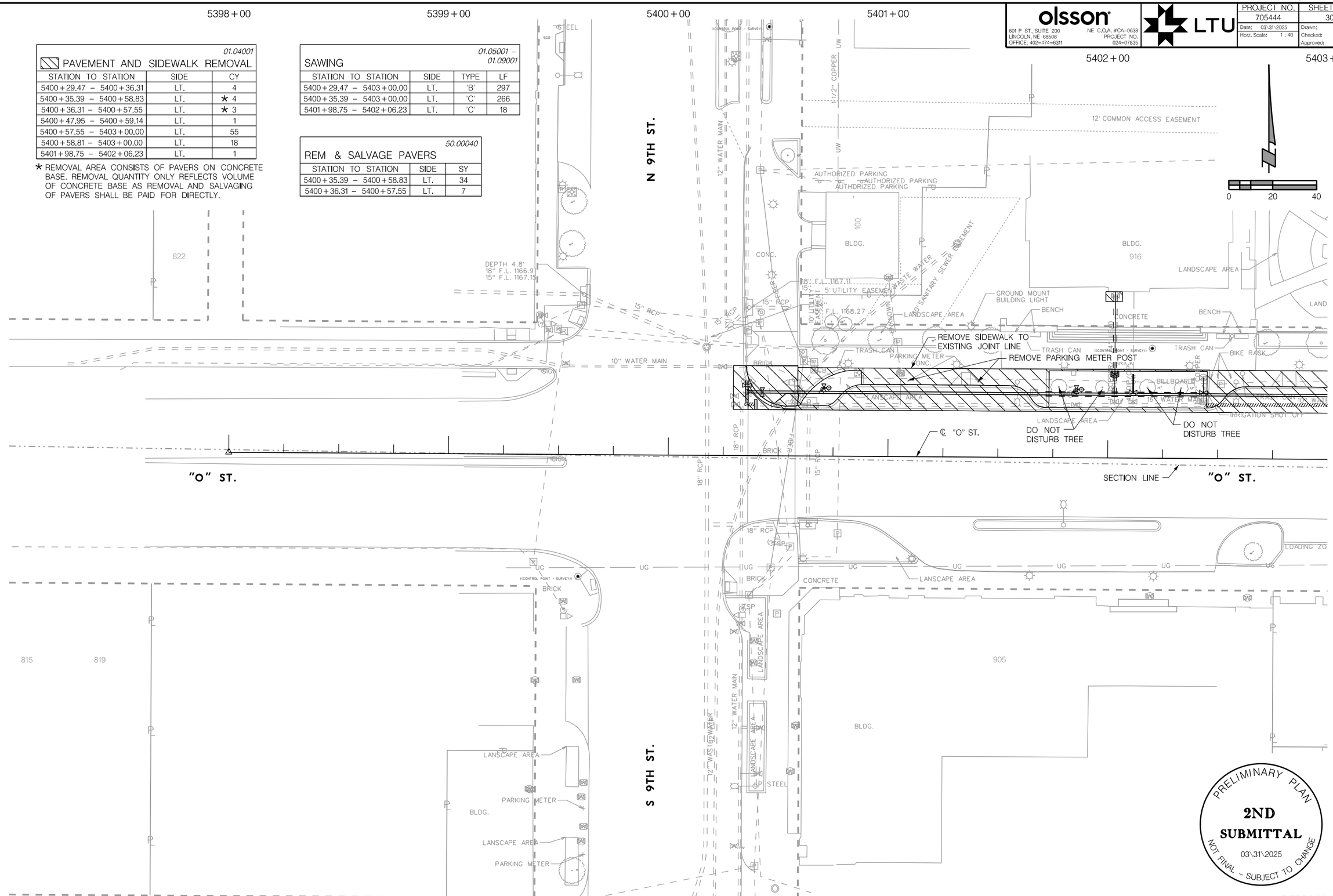
* REMOVAL AREA CONSISTS OF PAVERS ON CONCRETE BASE. REMOVAL QUANTITY ONLY REFLECTS VOLUME OF CONCRETE BASE AS REMOVAL AND SALVAGING OF PAVERS SHALL BE PAID FOR DIRECTLY.

SAWING (01.05001 – 01.09001)

STATION TO STATION	SIDE	TYPE	LF
5400+29.47 – 5403+00.00	LT.	'B'	297
5400+35.39 – 5403+00.00	LT.	'C'	266
5401+98.75 – 5402+06.23	LT.	'C'	18

REM & SALVAGE PAVERS (50.00040)

STATION TO STATION	SIDE	SY
5400+35.39 – 5400+58.83	LT.	34
5400+36.31 – 5400+57.55	LT.	7



PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

REMOVALS
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\CR_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Sheets\Removals\705444RM02.dgn

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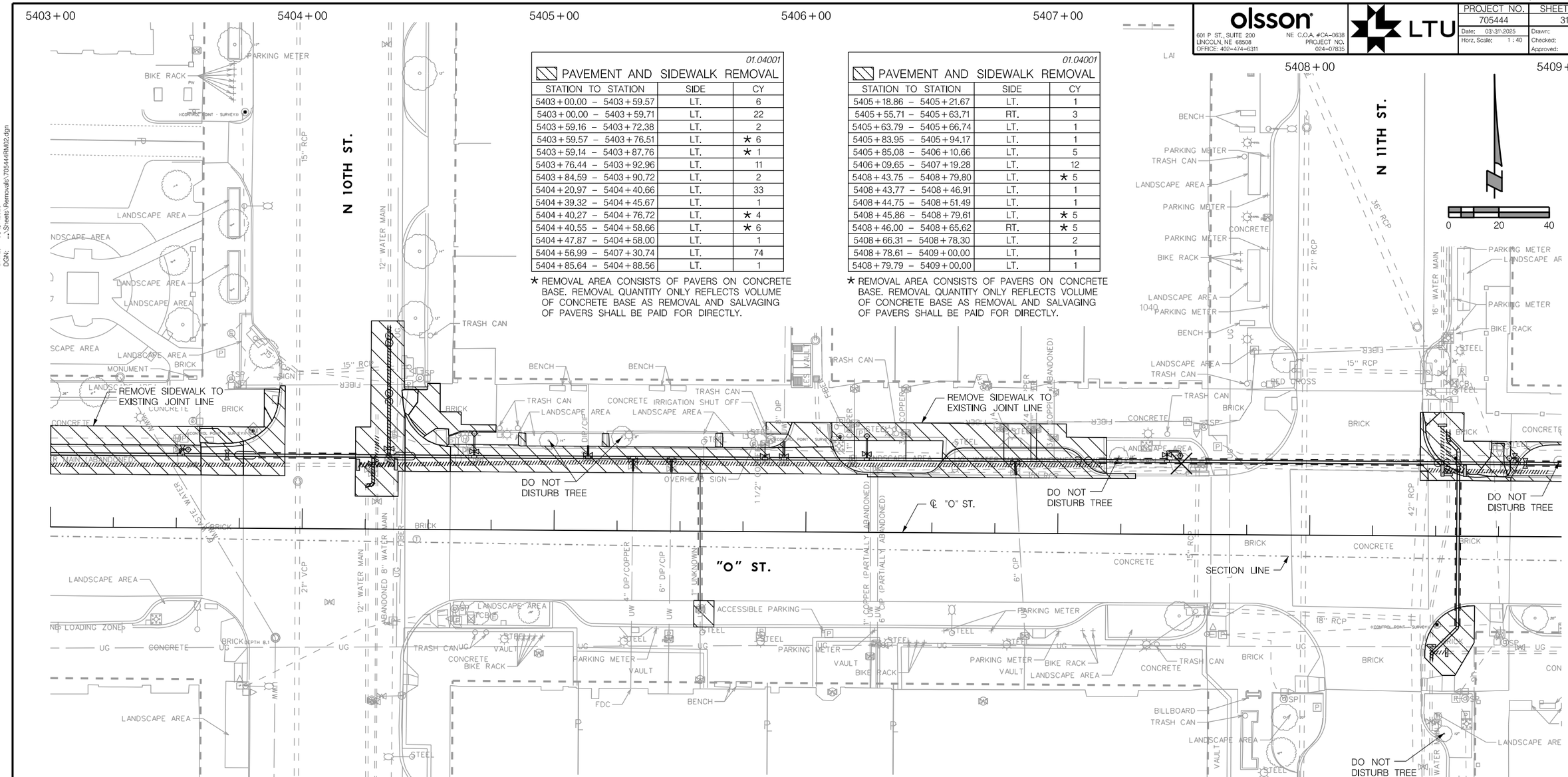
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	31
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



▨ PAVEMENT AND SIDEWALK REMOVAL		01.04001
STATION TO STATION	SIDE	CY
5403+00.00 – 5403+59.57	LT.	6
5403+00.00 – 5403+59.71	LT.	22
5403+59.16 – 5403+72.38	LT.	2
5403+59.57 – 5403+76.51	LT.	* 6
5403+59.14 – 5403+87.76	LT.	* 1
5403+76.44 – 5403+92.96	LT.	11
5403+84.59 – 5403+90.72	LT.	2
5404+20.97 – 5404+40.66	LT.	33
5404+39.32 – 5404+45.67	LT.	1
5404+40.27 – 5404+76.72	LT.	* 4
5404+40.55 – 5404+58.66	LT.	* 6
5404+47.87 – 5404+58.00	LT.	1
5404+56.99 – 5407+30.74	LT.	74
5404+85.64 – 5404+88.56	LT.	1

* REMOVAL AREA CONSISTS OF PAVERS ON CONCRETE BASE. REMOVAL QUANTITY ONLY REFLECTS VOLUME OF CONCRETE BASE AS REMOVAL AND SALVAGING OF PAVERS SHALL BE PAID FOR DIRECTLY.

▨ PAVEMENT AND SIDEWALK REMOVAL		01.04001
STATION TO STATION	SIDE	CY
5405+18.86 – 5405+21.67	LT.	1
5405+55.71 – 5405+63.71	RT.	3
5405+63.79 – 5405+66.74	LT.	1
5405+83.95 – 5405+94.17	LT.	1
5405+85.08 – 5406+10.66	LT.	5
5406+09.65 – 5407+19.28	LT.	12
5408+43.75 – 5408+79.80	LT.	* 5
5408+43.77 – 5408+46.91	LT.	1
5408+44.75 – 5408+51.49	LT.	1
5408+45.86 – 5408+79.61	LT.	* 5
5408+46.00 – 5408+65.62	RT.	* 5
5408+66.31 – 5408+78.30	LT.	2
5408+78.61 – 5409+00.00	LT.	1
5408+79.79 – 5409+00.00	LT.	1

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SAWING		01.05001 – 01.09001	
STATION TO STATION	SIDE	TYPE	LF
5403+00.00 – 5403+76.51	LT.	'B'	77
5403+00.00 – 5403+84.59	LT.	'C'	100
5403+76.51 – 5403+92.98	LT.	'A'	54
5404+20.97 – 5404+40.66	LT.	'A'	119
5404+40.66 – 5407+30.74	LT.	'B'	293
5404+49.48 – 5404+76.72	LT.	'C'	46
5404+85.67 – 5404+88.56	LT.	'C'	3
5405+18.87 – 5405+21.47	LT.	'C'	3
5405+55.71 – 5405+63.71	RT.	'B'	29
5405+64.03 – 5405+66.70	LT.	'C'	3
5405+83.95 – 5405+93.95	LT.	'C'	15
5405+93.95 – 5406+09.95	LT.	'B'	16
5406+09.95 – 5407+19.14	LT.	'C'	115
5408+43.75 – 5409+00.00	LT.	'B'	85
5408+45.75 – 5409+00.00	LT.	'C'	66
5408+46.00 – 5408+65.62	RT.	'C'	77

REM & SALVAGE PAVERS		50.00040
STATION TO STATION	SIDE	SY
5403+59.14 – 5403+87.76	LT.	11
5403+59.71 – 5403+76.51	LT.	21
5404+40.55 – 5404+58.66	LT.	27
5404+41.87 – 5404+76.69	LT.	32
5408+43.75 – 5408+79.79	LT.	17
5408+45.81 – 5408+79.61	LT.	48
5408+46.00 – 5408+65.62	RT.	44

TREE REMOVAL		02.02012 – 02.02036	
STATION TO STATION	SIDE	SIZE	EA
5407+48.93	28' LT.	12" to 23"	1

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

REMOVALS
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\CR_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Sheets\Removals\705444RM03.dgn

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PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	32
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

5409+00 5410+00 5411+00 5412+00 5413+00 5414+00 5415+00

PAVEMENT AND SIDEWALK REMOVAL *01.04001*

STATION TO STATION	SIDE	CY
5409+00.00 – 5411+30.92	LT.	8
5409+00.00 – 5411+40.15	LT.	54
5411+76.95 – 5411+79.91	LT.	1
5412+26.93 – 5412+58.40	LT.	3
5412+26.93 – 5412+79.92	LT.	* 11
5412+67.21 – 5412+79.89	LT.	2
5412+79.61 – 5414+30.54	LT.	11
5412+79.61 – 5414+67.07	LT.	33
5413+33.77 – 5413+41.77	RT.	1

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TREE REMOVAL *02.02012 – 02.02036*

STATION TO STATION	SIDE	SIZE	EA
5411+42.82	30' LT.	12" to 23"	1
5411+66.23	29' LT.	12" to 23"	1
5412+92.49	29' LT.	24" to 35"	1

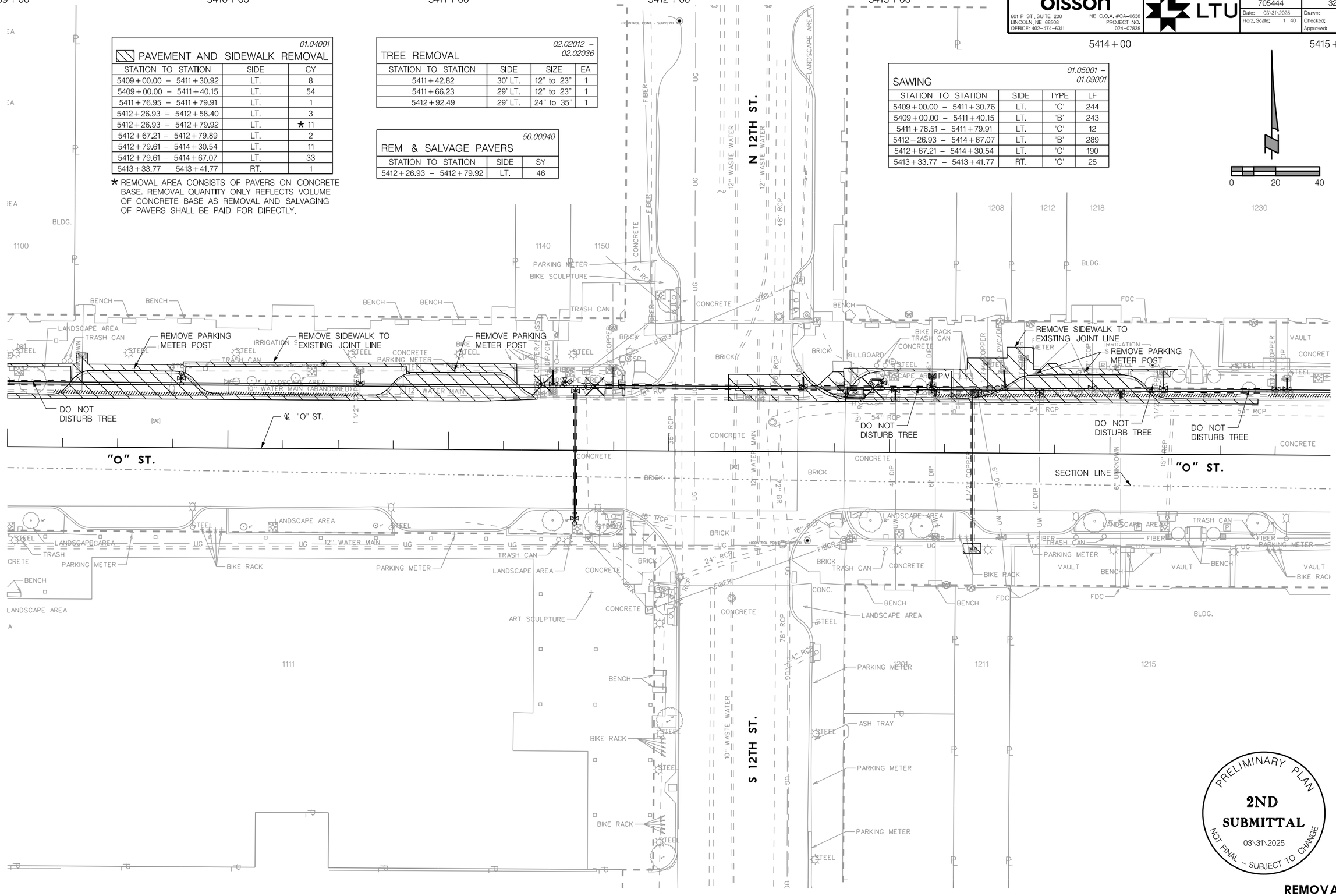
REM & SALVAGE PAVERS *50.00040*

STATION TO STATION	SIDE	SY
5412+26.93 – 5412+79.92	LT.	46

SAWING *01.05001 – 01.09001*

STATION TO STATION	SIDE	TYPE	LF
5409+00.00 – 5411+30.76	LT.	'C'	244
5409+00.00 – 5411+40.15	LT.	'B'	243
5411+78.51 – 5411+79.91	LT.	'C'	12
5412+26.93 – 5414+67.07	LT.	'B'	289
5412+67.21 – 5414+30.54	LT.	'C'	190
5413+33.77 – 5413+41.77	RT.	'C'	25

0 20 40



PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

REMOVALS
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\CR_Pentable.tbl
USER: spickus
DATE: 03\31\2025
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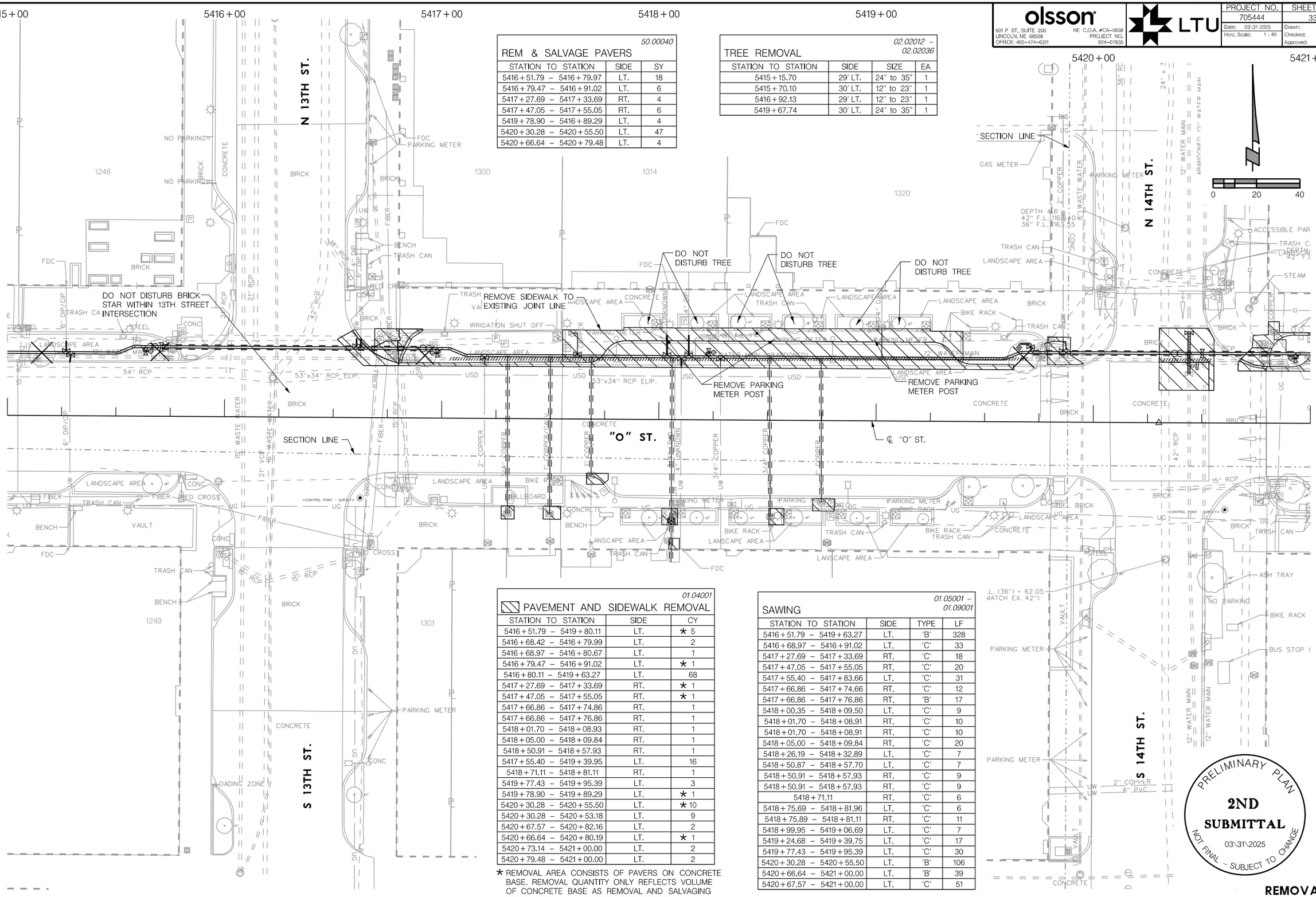
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	33
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



REM & SALVAGE PAVERS

50.00040

STATION TO STATION	SIDE	SY
5416+51.79 – 5416+79.97	LT.	18
5416+79.47 – 5416+91.02	LT.	6
5417+27.69 – 5417+33.69	RT.	4
5417+47.05 – 5417+55.05	RT.	6
5419+78.90 – 5416+89.29	LT.	4
5420+30.28 – 5420+55.50	LT.	47
5420+66.64 – 5420+79.48	LT.	4

TREE REMOVAL

02.02012 – 02.02036

STATION TO STATION	SIDE	SIZE	EA
5415+15.70	29' LT.	24" to 35"	1
5415+70.10	30' LT.	12" to 23"	1
5416+92.13	29' LT.	12" to 23"	1
5419+67.74	30' LT.	24" to 35"	1

PAVEMENT AND SIDEWALK REMOVAL

01.04001

STATION TO STATION	SIDE	CY
5416+51.79 – 5419+80.11	LT.	* 5
5416+68.42 – 5416+79.99	LT.	2
5416+68.97 – 5416+80.67	LT.	1
5416+79.47 – 5416+91.02	LT.	* 1
5416+80.11 – 5419+63.27	LT.	68
5417+27.69 – 5417+33.69	RT.	* 1
5417+47.05 – 5417+55.05	RT.	* 1
5417+66.86 – 5417+74.86	RT.	1
5417+66.86 – 5417+76.86	RT.	1
5418+01.70 – 5418+08.93	RT.	1
5418+05.00 – 5418+09.84	RT.	1
5418+50.91 – 5418+57.93	RT.	1
5417+55.40 – 5419+39.95	LT.	16
5418+71.11 – 5418+81.11	RT.	1
5419+77.43 – 5419+95.39	LT.	3
5419+78.90 – 5419+89.29	LT.	* 1
5420+30.28 – 5420+55.50	LT.	* 10
5420+30.28 – 5420+53.18	LT.	9
5420+67.57 – 5420+82.16	LT.	2
5420+66.64 – 5420+80.19	LT.	* 1
5420+73.14 – 5421+00.00	LT.	2
5420+79.48 – 5421+00.00	LT.	2

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SAWING

01.05001 – 01.09001

STATION TO STATION	SIDE	TYPE	LF
5416+51.79 – 5419+63.27	LT.	'B'	328
5416+68.97 – 5416+91.02	LT.	'C'	33
5417+27.69 – 5417+33.69	RT.	'C'	18
5417+47.05 – 5417+55.05	RT.	'C'	20
5417+55.40 – 5417+83.66	LT.	'C'	31
5417+66.86 – 5417+74.66	RT.	'C'	12
5417+66.86 – 5417+76.86	RT.	'B'	17
5418+00.35 – 5418+09.50	LT.	'C'	9
5418+01.70 – 5418+08.91	RT.	'C'	10
5418+01.70 – 5418+08.91	RT.	'C'	10
5418+05.00 – 5418+09.84	RT.	'C'	20
5418+26.19 – 5418+32.89	LT.	'C'	7
5418+50.87 – 5418+57.70	LT.	'C'	7
5418+50.91 – 5418+57.93	RT.	'C'	9
5418+50.91 – 5418+57.93	RT.	'C'	9
5418+71.11	RT.	'C'	6
5418+75.69 – 5418+81.96	LT.	'C'	6
5418+75.89 – 5418+81.11	RT.	'C'	11
5418+99.95 – 5419+06.69	LT.	'C'	7
5419+24.68 – 5419+39.75	LT.	'C'	17
5419+77.43 – 5419+95.39	LT.	'C'	30
5420+30.28 – 5420+55.50	LT.	'B'	106
5420+66.64 – 5421+00.00	LT.	'B'	39
5420+67.57 – 5421+00.00	LT.	'C'	51

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

REMOVALS
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\CR_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Sheets\Removals\705444RM05.dgn

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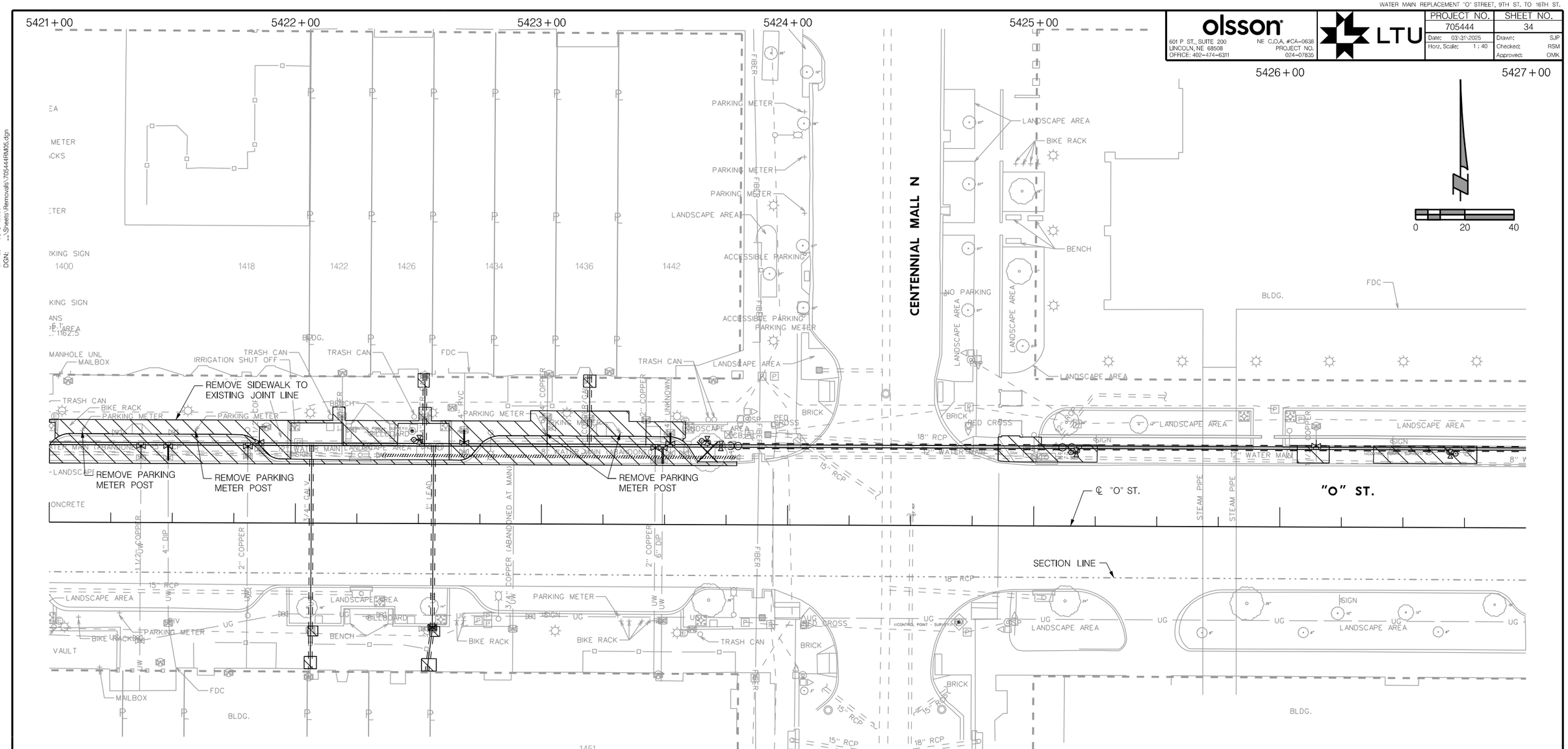
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	34
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



PAVEMENT AND SIDEWALK REMOVAL (01.04001)		
STATION TO STATION	SIDE	CY
5421+00.00 – 5423+58.45	LT.	23
5421+00.00 – 5423+79.28	LT.	69
5422+03.79 – 5422+08.79	RT.	1
5422+05.34 – 5422+09.34	RT.	1
5422+49.67 – 5422+54.25	LT.	1
5422+51.50 – 5422+57.48	RT.	1
5422+54.85 – 5422+58.85	RT.	1
5423+16.91 – 5423+21.91	LT.	1
5424+85.21 – 5425+25.67	LT.	4
5426+06.98 – 5426+19.98	LT.	1
5426+37.98 – 5426+79.98	LT.	4

TREE REMOVAL (02.02012 – 02.02036)			
STATION TO STATION	SIDE	SIZE	EA
5423+67.34	29' LT.	12" to 23"	1

SAWING (01.05001 – 01.09001)			
STATION TO STATION	SIDE	TYPE	LF
5421+00.00 – 5423+58.45	LT.	'C'	291
5421+00.00 – 5423+79.28	LT.	'B'	282
5422+03.79 – 5422+08.79	RT.	'C'	20
5422+05.34 – 5422+09.34	RT.	'C'	12
5422+49.67 – 5422+54.25	LT.	'C'	21
5422+51.50 – 5422+57.50	RT.	'C'	22
5422+54.85 – 5422+58.85	RT.	'C'	12
5423+16.91 – 5423+21.91	LT.	'C'	20
5424+85.47 – 5424+86.78	LT.	'C'	11
5424+95.34 – 5425+02.04	LT.	'C'	7
5425+25.67	LT.	'C'	7
5426+06.98	LT.	'C'	7
5426+19.98	LT.	'C'	7
5426+37.98	LT.	'C'	7
5426+79.98	LT.	'C'	7

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

REMOVALS
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\CR_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Sheets\Removals\705444RM06.dgn

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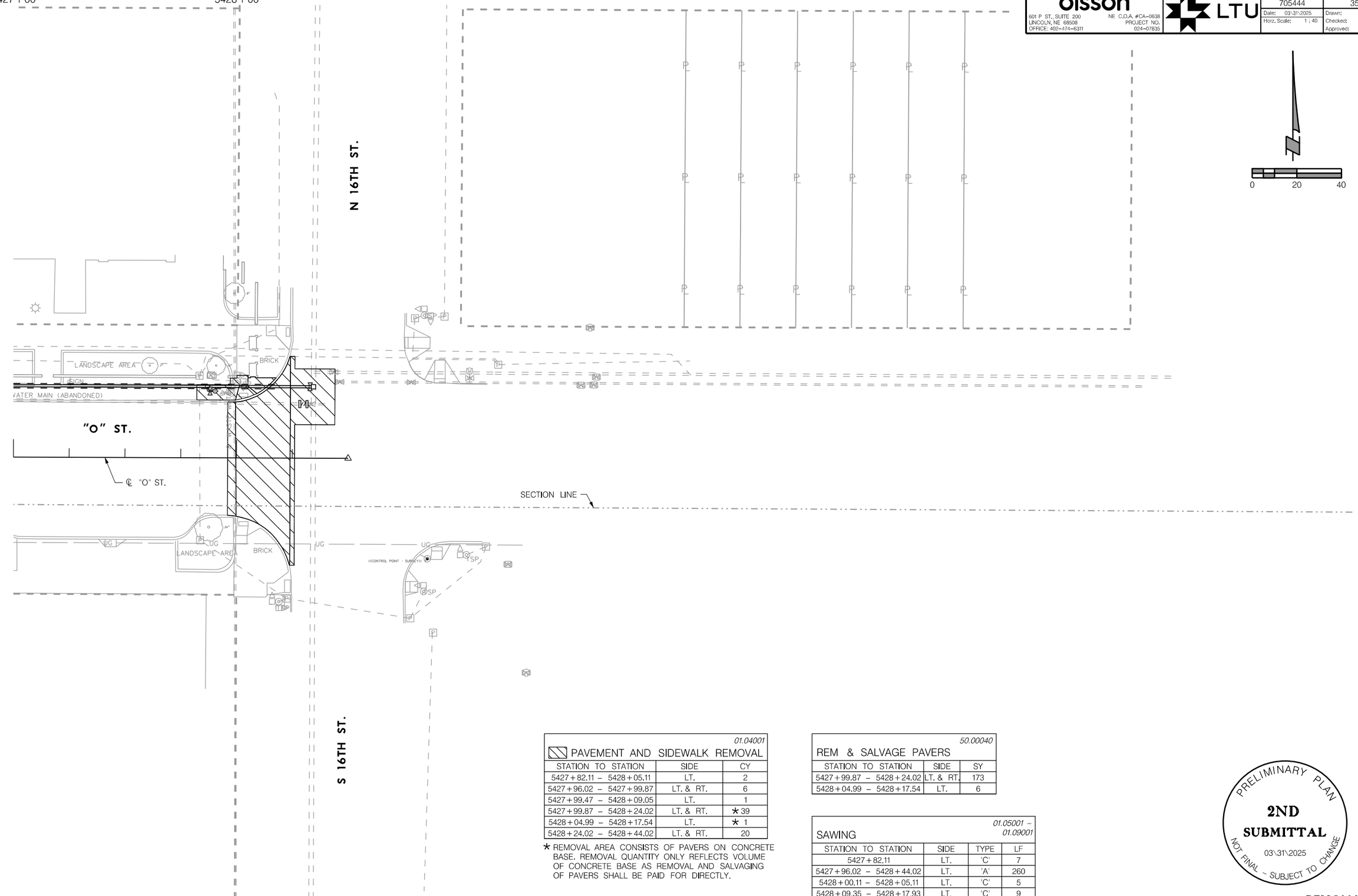
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	35
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



01.04001 PAVEMENT AND SIDEWALK REMOVAL		
STATION TO STATION	SIDE	CY
5427+82.11 – 5428+05.11	LT.	2
5427+96.02 – 5427+99.87	LT. & RT.	6
5427+99.47 – 5428+09.05	LT.	1
5427+99.87 – 5428+24.02	LT. & RT.	* 39
5428+04.99 – 5428+17.54	LT.	* 1
5428+24.02 – 5428+44.02	LT. & RT.	20

* REMOVAL AREA CONSISTS OF PAVERS ON CONCRETE BASE. REMOVAL QUANTITY ONLY REFLECTS VOLUME OF CONCRETE BASE AS REMOVAL AND SALVAGING OF PAVERS SHALL BE PAID FOR DIRECTLY.

50.00040 REM & SALVAGE PAVERS		
STATION TO STATION	SIDE	SY
5427+99.87 – 5428+24.02	LT. & RT.	173
5428+04.99 – 5428+17.54	LT.	6

01.05001 – 01.09001 SAWING			
STATION TO STATION	SIDE	TYPE	LF
5427+82.11	LT.	'C'	7
5427+96.02 – 5428+44.02	LT.	'A'	260
5428+00.11 – 5428+05.11	LT.	'C'	5
5428+09.35 – 5428+17.93	LT.	'C'	9

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

REMOVALS
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\CR_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Construction\705444CR01.dgn

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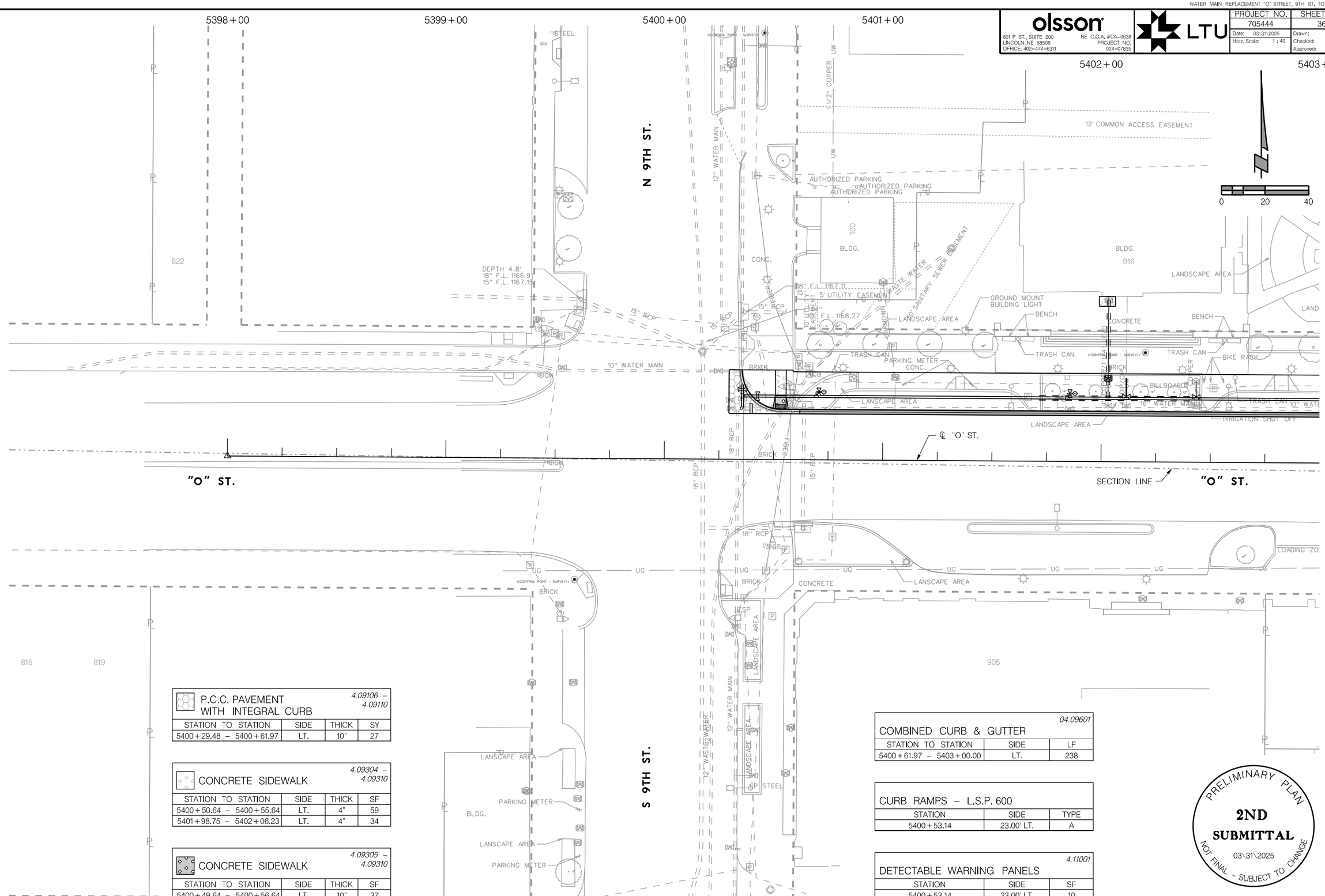
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	36
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



P.C.C. PAVEMENT WITH INTEGRAL CURB			4.09106 – 4.09110
STATION TO STATION	SIDE	THICK	SY
5400+29.48 – 5400+61.97	LT.	10"	27

CONCRETE SIDEWALK			4.09304 – 4.09310
STATION TO STATION	SIDE	THICK	SF
5400+50.64 – 5400+55.64	LT.	4"	59
5401+98.75 – 5402+06.23	LT.	4"	34

CONCRETE SIDEWALK			4.09305 – 4.09310
STATION TO STATION	SIDE	THICK	SF
5400+49.64 – 5400+56.64	LT.	10"	37

COMBINED CURB & GUTTER		04.09601
STATION TO STATION	SIDE	LF
5400+61.97 – 5403+00.00	LT.	238

CURB RAMPS – L.S.P. 600		
STATION	SIDE	TYPE
5400+53.14	23.00' LT.	A

DETECTABLE WARNING PANELS		4.11001
STATION	SIDE	SF
5400+53.14	23.00' LT.	10

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

CONSTRUCTION
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
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USER: spickus
DATE: 03\31\2025
DGN: ...\Construction\705444CR02.dgn

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601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
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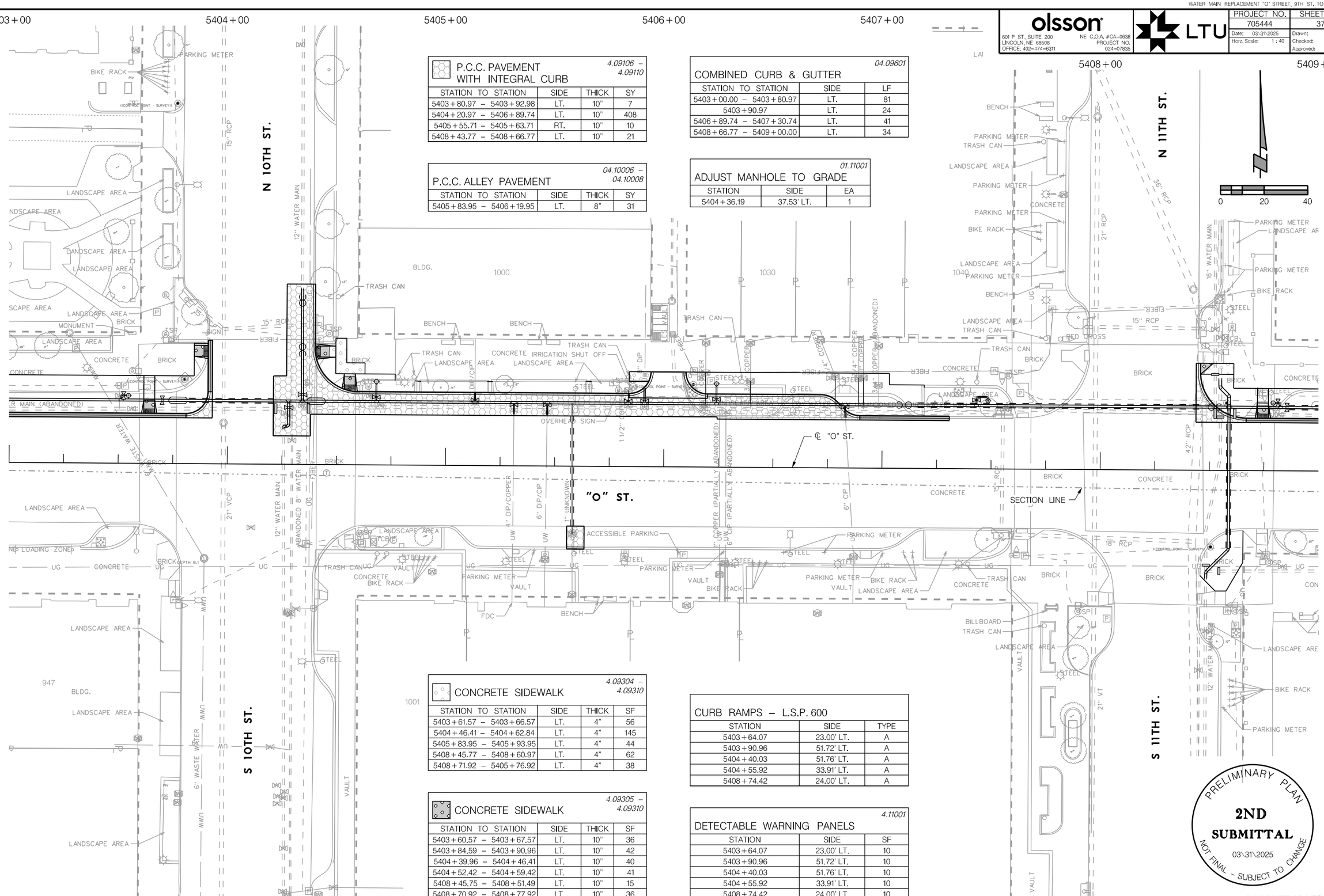
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	37
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



P.C.C. PAVEMENT WITH INTEGRAL CURB

4.09106 – 4.09110

STATION TO STATION	SIDE	THICK	SY
5403+80.97 – 5403+92.98	LT.	10"	7
5404+20.97 – 5406+89.74	LT.	10"	408
5405+55.71 – 5405+63.71	RT.	10"	10
5408+43.77 – 5408+66.77	LT.	10"	21

P.C.C. ALLEY PAVEMENT

04.10006 – 04.10008

STATION TO STATION	SIDE	THICK	SY
5405+83.95 – 5406+19.95	LT.	8"	31

COMBINED CURB & GUTTER

04.09601

STATION TO STATION	SIDE	LF
5403+00.00 – 5403+80.97	LT.	81
5403+90.97	LT.	24
5406+89.74 – 5407+30.74	LT.	41
5408+66.77 – 5409+00.00	LT.	34

ADJUST MANHOLE TO GRADE

01.11001

STATION	SIDE	EA
5404+36.19	37.53' LT.	1

CONCRETE SIDEWALK

4.09304 – 4.09310

STATION TO STATION	SIDE	THICK	SF
5403+61.57 – 5403+66.57	LT.	4"	56
5404+46.41 – 5404+62.84	LT.	4"	145
5405+83.95 – 5405+93.95	LT.	4"	44
5408+45.77 – 5408+60.97	LT.	4"	62
5408+71.92 – 5405+76.92	LT.	4"	38

CONCRETE SIDEWALK

4.09305 – 4.09310

STATION TO STATION	SIDE	THICK	SF
5403+60.57 – 5403+67.57	LT.	10"	36
5403+84.59 – 5403+90.96	LT.	10"	42
5404+39.96 – 5404+46.41	LT.	10"	40
5404+52.42 – 5404+59.42	LT.	10"	41
5408+45.75 – 5408+51.49	LT.	10"	15
5408+70.92 – 5408+77.92	LT.	10"	36

CURB RAMPS – L.S.P. 600

STATION	SIDE	TYPE
5403+64.07	23.00' LT.	A
5403+90.96	51.72' LT.	A
5404+40.03	51.76' LT.	A
5404+55.92	33.91' LT.	A
5408+74.42	24.00' LT.	A

DETECTABLE WARNING PANELS

4.11001

STATION	SIDE	SF
5403+64.07	23.00' LT.	10
5403+90.96	51.72' LT.	10
5404+40.03	51.76' LT.	10
5404+55.92	33.91' LT.	10
5408+74.42	24.00' LT.	10

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
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CONSTRUCTION
"O" STREET

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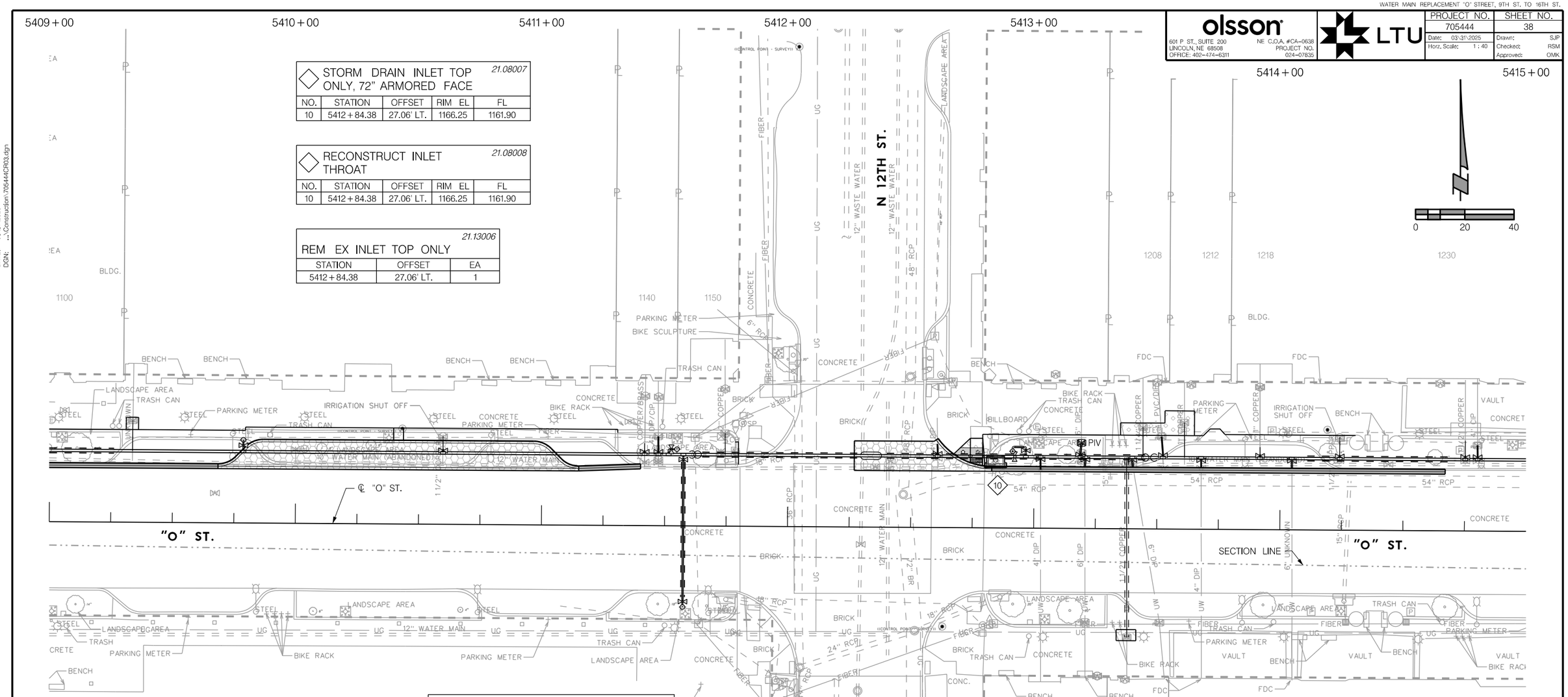
PROJECT NO.	SHEET NO.
705444	38
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



STORM DRAIN INLET TOP ONLY, 72" ARMORED FACE				21.08007
NO.	STATION	OFFSET	RIM EL	FL
10	5412+84.38	27.06' LT.	1166.25	1161.90

RECONSTRUCT INLET THROAT				21.08008
NO.	STATION	OFFSET	RIM EL	FL
10	5412+84.38	27.06' LT.	1166.25	1161.90

REM EX INLET TOP ONLY		21.13006
STATION	OFFSET	EA
5412+84.38	27.06' LT.	1

CONCRETE SIDEWALK				4.09305 – 4.09310
STATION TO STATION	SIDE	THICK	SF	
5412+67.34 – 5412+80.07	LT.	10"	65	

COMBINED CURB & GUTTER			04.09601
STATION TO STATION	SIDE	LF	
5409+00.00 – 5409+68.43	LT.	69	
5411+15.00 – 5411+40.15	LT.	26	
5412+82.84 – 5414+67.07	LT.	185	

CURB RAMPS – L.S.P. 600		
STATION	SIDE	TYPE
5412+76.57	25.74' LT.	A

DETECTABLE WARNING PANELS			4.11001
STATION	SIDE	SF	
5412+76.57	25.74' LT.	10	

P.C.C. PAVEMENT WITH INTEGRAL CURB				4.09106 – 4.09110
STATION TO STATION	SIDE	THICK	SY	
5409+68.43 – 5411+15.04	LT.	10"	175	
5412+26.93 – 5412+82.84	LT.	10"	59	

CONCRETE SIDEWALK				4.09304 – 4.09310
STATION TO STATION	SIDE	THICK	SF	
5409+31.07 – 5409+36.07	LT.	4"	25	
5410+39.72 – 5410+43.72	LT.	4"	20	
5412+70.02 – 5412+79.42	LT.	4"	28	
5413+33.77 – 5413+41.77	RT.	4"	36	
5413+35.07 – 5413+65.07	LT.	4"	210	

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
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CONSTRUCTION
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\CR_Pentable.tbl
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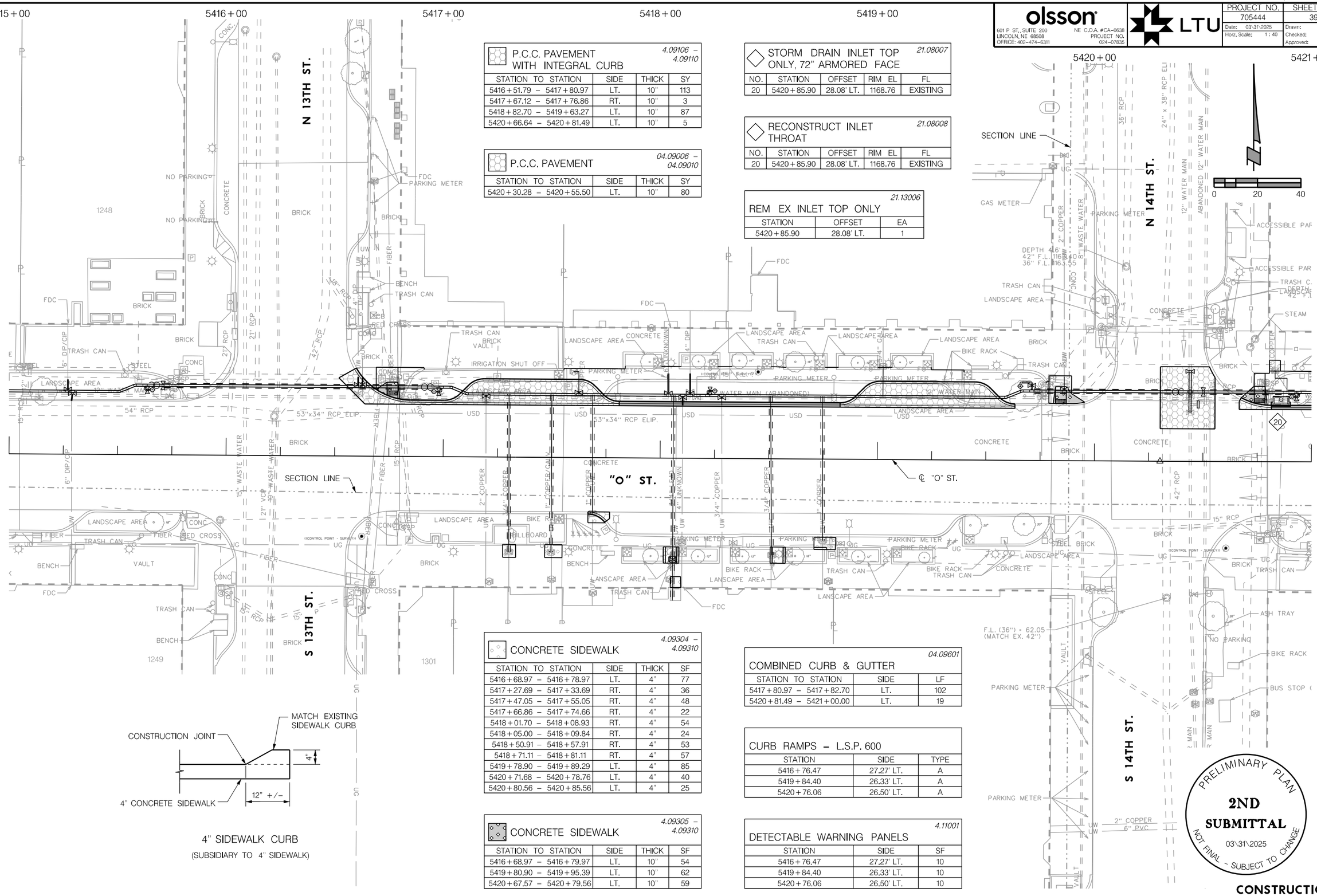
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	39
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



P.C.C. PAVEMENT WITH INTEGRAL CURB

4.09106 – 4.09110

STATION TO STATION	SIDE	THICK	SY
5416+51.79 – 5417+80.97	LT.	10"	113
5417+67.12 – 5417+76.86	RT.	10"	3
5418+82.70 – 5419+63.27	LT.	10"	87
5420+66.64 – 5420+81.49	LT.	10"	5

P.C.C. PAVEMENT

04.09006 – 04.09010

STATION TO STATION	SIDE	THICK	SY
5420+30.28 – 5420+55.50	LT.	10"	80

STORM DRAIN INLET TOP ONLY, 72" ARMORED FACE

21.08007

NO.	STATION	OFFSET	RIM EL	FL
20	5420+85.90	28.08' LT.	1168.76	EXISTING

RECONSTRUCT INLET THROAT

21.08008

NO.	STATION	OFFSET	RIM EL	FL
20	5420+85.90	28.08' LT.	1168.76	EXISTING

REM EX INLET TOP ONLY

21.13006

STATION	OFFSET	EA
5420+85.90	28.08' LT.	1

CONCRETE SIDEWALK

4.09304 – 4.09310

STATION TO STATION	SIDE	THICK	SF
5416+68.97 – 5416+78.97	LT.	4"	77
5417+27.69 – 5417+33.69	RT.	4"	36
5417+47.05 – 5417+55.05	RT.	4"	48
5417+66.86 – 5417+74.66	RT.	4"	22
5418+01.70 – 5418+08.93	RT.	4"	54
5418+05.00 – 5418+09.84	RT.	4"	24
5418+50.91 – 5418+57.91	RT.	4"	53
5418+71.11 – 5418+81.11	RT.	4"	57
5419+78.90 – 5419+89.29	LT.	4"	85
5420+71.68 – 5420+78.76	LT.	4"	40
5420+80.56 – 5420+85.56	LT.	4"	25

CONCRETE SIDEWALK

4.09305 – 4.09310

STATION TO STATION	SIDE	THICK	SF
5416+68.97 – 5416+79.97	LT.	10"	54
5419+80.90 – 5419+95.39	LT.	10"	62
5420+67.57 – 5420+79.56	LT.	10"	59

COMBINED CURB & GUTTER

04.09601

STATION TO STATION	SIDE	LF
5417+80.97 – 5417+82.70	LT.	102
5420+81.49 – 5421+00.00	LT.	19

CURB RAMPS – L.S.P. 600

STATION	SIDE	TYPE
5416+76.47	27.27' LT.	A
5419+84.40	26.33' LT.	A
5420+76.06	26.50' LT.	A

DETECTABLE WARNING PANELS

4.11001

STATION	SIDE	SF
5416+76.47	27.27' LT.	10
5419+84.40	26.33' LT.	10
5420+76.06	26.50' LT.	10

4" SIDEWALK CURB
(SUBSIDIARY TO 4" SIDEWALK)

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
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CONSTRUCTION
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\CR_Pentable.tbl
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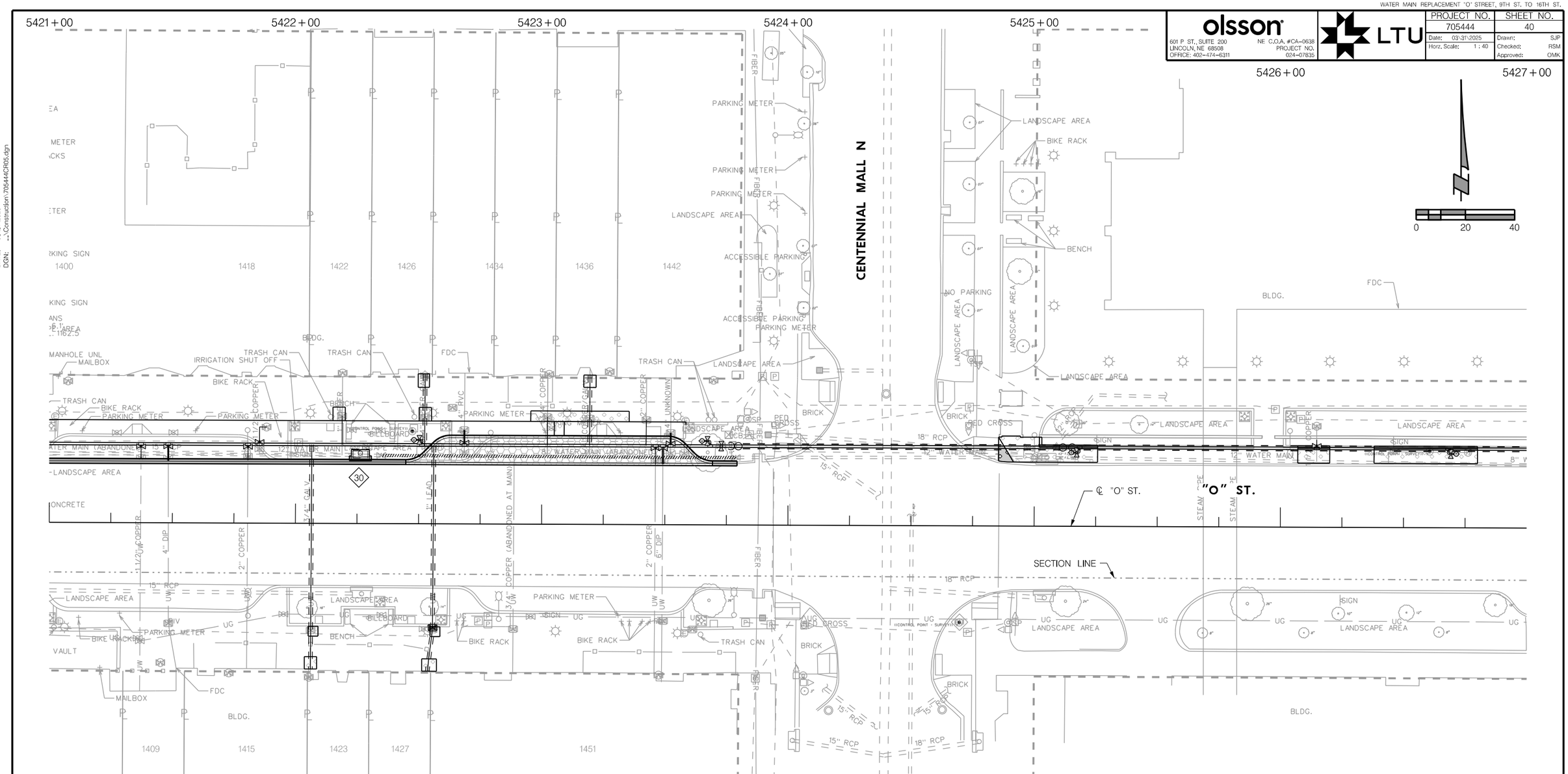
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	40
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



P.C.C. PAVEMENT WITH INTEGRAL CURB			4.09106 – 4.09110
STATION TO STATION	SIDE	THICK	SY
5422+44.71 – 5423+69.28	LT.	10"	146

COMBINED CURB & GUTTER		04.09601
STATION TO STATION	SIDE	LF
5421+00.00 – 5422+44.71	LT.	145
5423+69.28 – 5423+79.28	LT.	10

CONCRETE SIDEWALK			4.09305 – 4.09310
STATION TO STATION	SIDE	THICK	SF
5424+85.47 – 5424+91.47	LT.	10"	26

CONCRETE SIDEWALK			4.09304 – 4.09310
STATION TO STATION	SIDE	THICK	SF
5422+03.79 – 5422+08.81	RT.	4"	25
5422+05.34 – 5422+09.34	RT.	4"	16
5422+15.09 – 5422+20.09	LT.	4"	28
5422+49.67 – 5422+54.25	LT.	4"	25
5422+50.09 – 5422+55.09	LT.	4"	28
5422+51.50 – 5422+57.50	RT.	4"	30
5422+54.85 – 5422+58.85	RT.	4"	16
5422+95.41 – 5423+35.41	LT.	4"	193
5423+16.93 – 5423+21.93	LT.	4"	25
5424+85.47 – 5425+25.67	LT.	4"	313
5426+06.98 – 5426+19.98	LT.	4"	91
5426+37.98 – 5426+79.98	LT.	4"	294

REM EX INLET TOP ONLY		21.13006
STATION	OFFSET	EA
5422+26.26	28.08' LT.	1

STORM DRAIN INLET TOP ONLY, 72" ARMORED FACE				21.08007
NO.	STATION	OFFSET	RIM EL	FL
30	5422+26.26	28.08' LT.	1169.05	1164.15

RECONSTRUCT INLET THROAT				21.08008
NO.	STATION	OFFSET	RIM EL	FL
30	5422+26.26	28.08' LT.	1169.05	1164.15

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
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CONSTRUCTION
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
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PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	41
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
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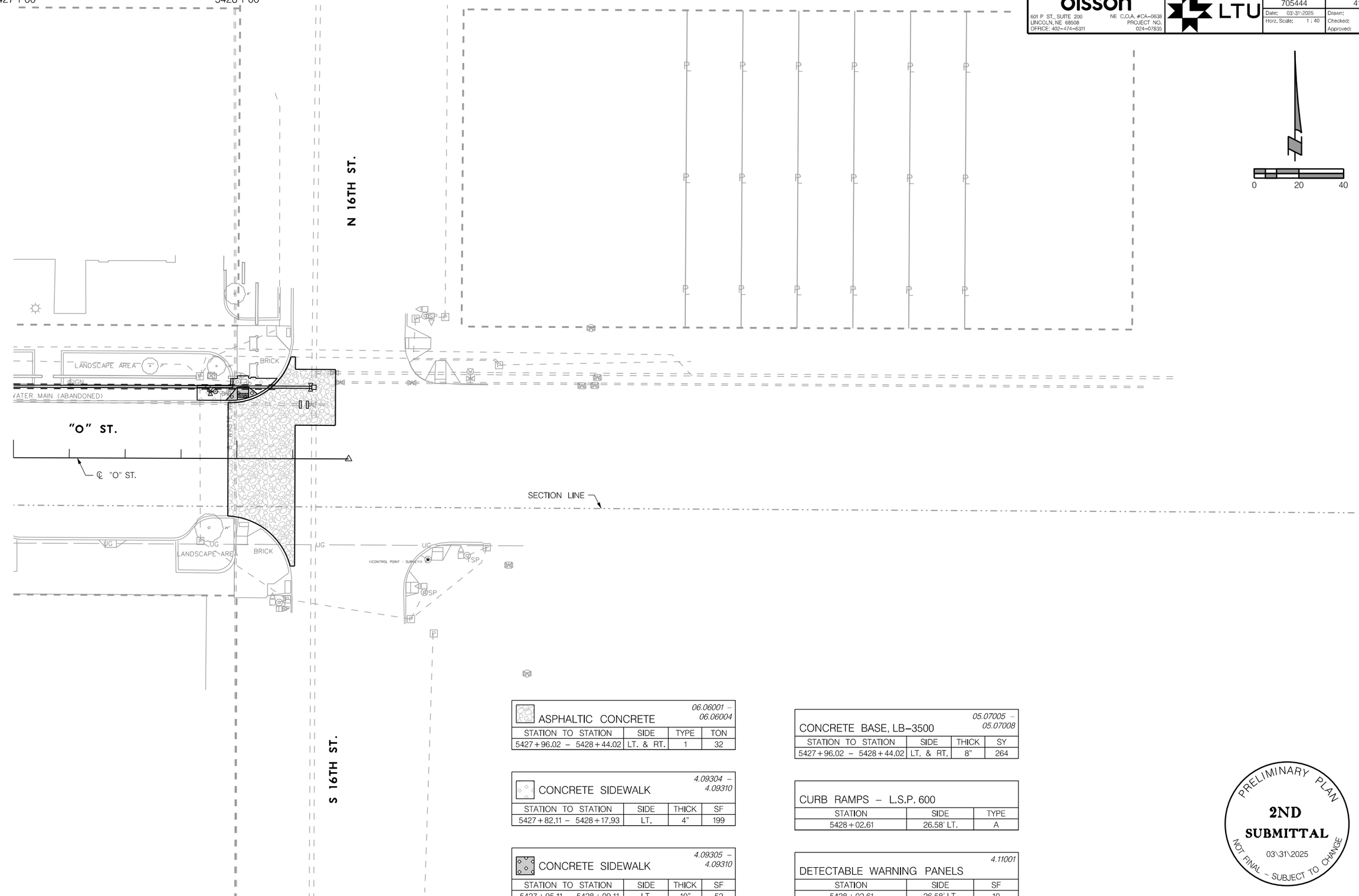

ASPHALTIC CONCRETE (06.06001 – 06.06004)			
STATION TO STATION	SIDE	TYPE	TON
5427+96.02 – 5428+44.02	LT. & RT.	1	32

CONCRETE SIDEWALK (4.09304 – 4.09310)			
STATION TO STATION	SIDE	THICK	SF
5427+82.11 – 5428+17.93	LT.	4"	199

CONCRETE SIDEWALK (4.09305 – 4.09310)			
STATION TO STATION	SIDE	THICK	SF
5427+95.11 – 5428+09.11	LT.	10"	52

CONCRETE BASE, LB-3500 (05.07005 – 05.07008)			
STATION TO STATION	SIDE	THICK	SY
5427+96.02 – 5428+44.02	LT. & RT.	8"	264

CURB RAMPS – L.S.P. 600		
STATION	SIDE	TYPE
5428+02.61	26.58' LT.	A

DETECTABLE WARNING PANELS (4.11001)		
STATION	SIDE	SF
5428+02.61	26.58' LT.	10

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
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CONSTRUCTION
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
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LTU

PROJECT NO.	SHEET NO.
705444	42
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
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5398 + 00 5399 + 00 5400 + 00 5401 + 00 5402 + 00 5403 + 00

REMOVE & SALVAGE FITTING
23.04102 – 23.04109

STATION	OFFSET	SIZE	TYPE	EA
5400 + 58.09	28.67' LT.	6"	GATE VLV & BOX	1
5401 + 80.55	28.94' LT.	6"	GATE VLV & BOX	1
5401 + 85.30	24.03' LT.	16"	GATE VLV & BOX	1

REMOVE WATER MAIN
23.04004 – 23.04036

STATION TO STATION	SIDE	SIZE	LF
5402 + 43.48 – 5403 + 00.00	LT.	10"	57

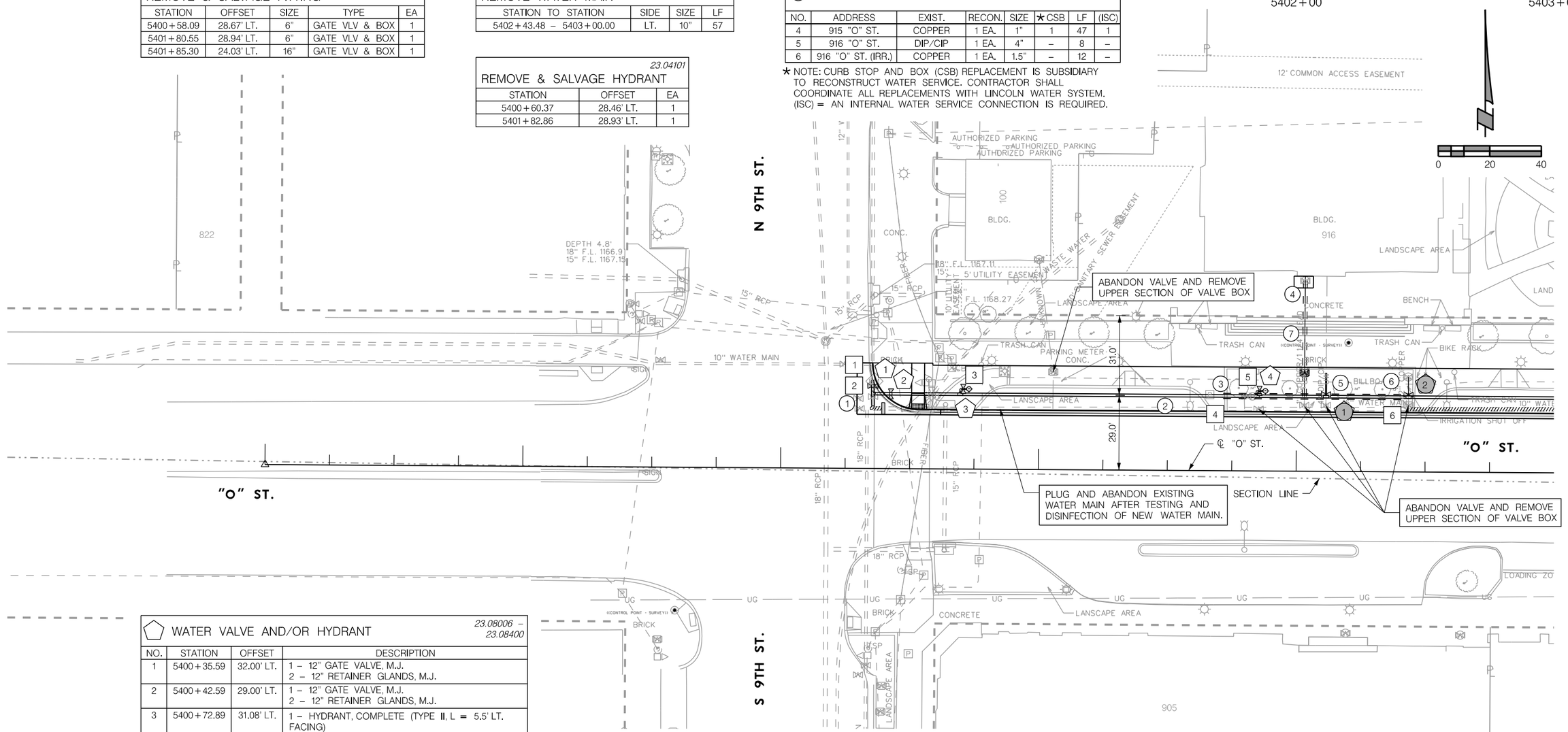
REMOVE & SALVAGE HYDRANT
23.04101

STATION	OFFSET	EA
5400 + 60.37	28.46' LT.	1
5401 + 82.86	28.93' LT.	1

RECONSTRUCT WATER SERVICE PIPE
23.11075– 23.11200

NO.	ADDRESS	EXIST.	RECON.	SIZE	* CSB	LF	(ISC)
4	915 "O" ST.	COPPER	1 EA.	1"	1	47	1
5	916 "O" ST.	DIP/CIP	1 EA.	4"	–	8	–
6	916 "O" ST. (IRR.)	COPPER	1 EA.	1.5"	–	12	–

* NOTE: CURB STOP AND BOX (CSB) REPLACEMENT IS SUBSIDIARY TO RECONSTRUCT WATER SERVICE. CONTRACTOR SHALL COORDINATE ALL REPLACEMENTS WITH LINCOLN WATER SYSTEM.
(ISC) = AN INTERNAL WATER SERVICE CONNECTION IS REQUIRED.



WATER VALVE AND/OR HYDRANT
23.08006 – 23.08400

NO.	STATION	OFFSET	DESCRIPTION
1	5400 + 35.59	32.00' LT.	1 – 12" GATE VALVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
2	5400 + 42.59	29.00' LT.	1 – 12" GATE VALVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
3	5400 + 72.89	31.08' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5' LT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.
4	5401 + 87.89	31.08' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5' LT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.

TAPPING SLEEVE & VALVE

NO.	STATION	OFFSET	DESCRIPTION
1	5402 + 11.41	29.00' LT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
2	5402 + 43.42	29.00' LT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.

NOTE: TAPPING SLEEVE AND VALVE PROVIDED BY LINCOLN WATER SYSTEM AND SHALL NOT BE A PAY ITEM.

DUCTILE IRON WATER MAIN FITTINGS, M.J.
23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
1	5400 + 35.55	33.86' LT.	1 – 12" DUAL PURPOSE SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
2	5400 + 35.63	29.00' LT.	1 – 12" x 12" TEE, M.J. 3 – 12" RETAINER GLANDS, M.J. 1 – 12" TEE BLOCK
3	5400 + 69.53	29.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
4	5401 + 71.53	29.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
5	5401 + 84.53	29.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
6	5402 + 41.53	29.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.

WATER MAIN
23.07004 – 23.07030

NO.	STATION TO STATION	SIDE	SIZE	LF
1	5400 + 35.59	LT.	12"	10
2	5400 + 35.59 – 5403 + 00.00	LT.	12"	264

DIRECTIONAL DRILLING FOR WATER MAIN
20.06106 – 20.06116

NO.	STATION TO STATION	SIDE	SIZE	LF
3	5401 + 71.53 – 5402 + 41.53	LT.	12"	70

BORING FOR WATER SERVICE PIPE
23.11475 – 23.11600

NO.	STATION TO STATION	SIDE	SIZE	LF
7	5402 + 03.03 – 5402 + 03.12	RT.	1.0"	47

PRELIMINARY PLAN
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WATER MAIN
"O" STREET

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LTU

PROJECT NO.	SHEET NO.
705444	43
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

5403+00 5404+00 5405+00 5406+00 5407+00 5408+00 5409+00

REMOVE & SALVAGE FITTING
23.04102 – 23.04109

STATION	OFFSET	SIZE	TYPE	EA
5403+50.47	30.95' LT.	6"	GATE VLV & BOX	1
5404+28.02	21.97' LT.	12"	GATE VLV & BOX	1
5404+28.05	17.45' LT.	12"	BEND	1
5404+34.28	25.64' LT.	12"	TEE	1
5404+34.28	27.02' LT.	12"	GATE VLV & BOX	1
5408+54.94	25.26' LT.	16"x12"	REDUCER	1
5408+54.94	25.93' LT.	16"x12"	CROSS	1
5408+77.61	28.82' LT.	6"	GATE VLV & BOX	1

REMOVE WATER MAIN
23.04004 – 23.04036

STATION TO STATION	SIDE	SIZE	LF
5403+00.00 – 5403+92.98	LT.	10"	93
5404+22.00 – 5404+37.10	LT.	16"	15
5404+22.00 – 5407+17.45	LT.	10"	295
5404+34.27	LT.	10"	53
5404+25.55 – 5404+28.01	LT.	12"	11
5404+29.50	LT.	10"	12
5408+46.11 – 5408+94.55	LT.	10"	49
5408+50.35 – 5408+61.35	RT.	12"	11
5408+48.61	RT.	12"	9
5408+52.56	LT.	12"	16
5408+54.94	LT.	16"	16

REMOVE & RESET FITTING
23.04112 – 23.04119

NO.	EX. STATION–OFFSET	PROP. STATION–OFFSET	SIZE	TYPE	EA
1	5404+25.55 – 17.45' LT.	5404+25.55 – 17.45' LT.	12"	90° BEND	1

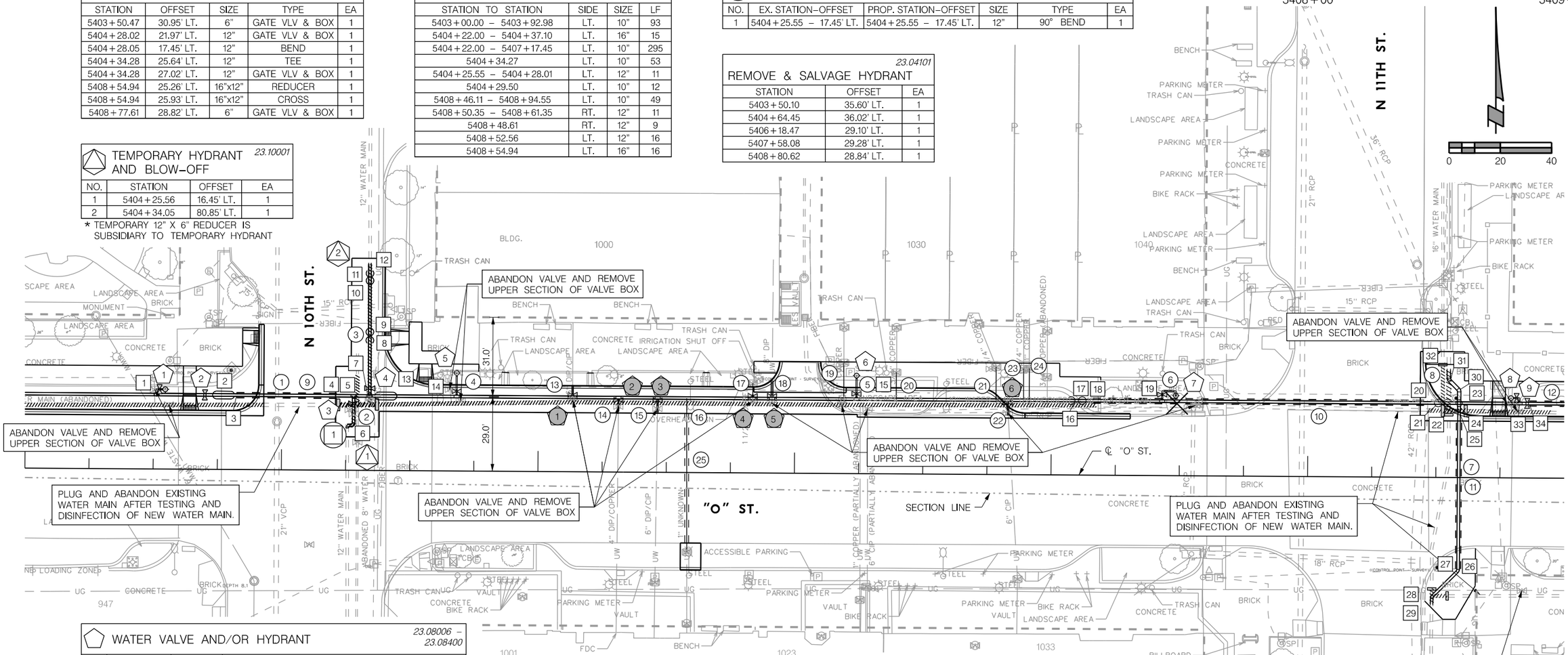
REMOVE & SALVAGE HYDRANT
23.04101

STATION	OFFSET	EA
5403+50.10	35.60' LT.	1
5404+64.45	36.02' LT.	1
5406+18.47	29.10' LT.	1
5407+58.08	29.28' LT.	1
5408+80.62	28.84' LT.	1

TEMPORARY HYDRANT AND BLOW-OFF
23.10001

NO.	STATION	OFFSET	EA
1	5404+25.56	16.45' LT.	1
2	5404+34.05	80.85' LT.	1

* TEMPORARY 12" X 6" REDUCER IS SUBSIDIARY TO TEMPORARY HYDRANT



WATER VALVE AND/OR HYDRANT
23.08006 – 23.08400

NO.	STATION	OFFSET	DESCRIPTION
1	5403+54.54	31.08' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5', LT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.
2	5403+70.00	29.00' LT.	1 – 12" GATE VALVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
3	5404+28.00	26.00' LT.	1 – 12" GATE VALVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
4	5404+34.25	32.00' LT.	1 – 12" GATE VALVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
5	5404+68.12	38.19' LT.	1 – HYDRANT, COMPLETE (TYPE VI, L = 5.5') 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J.
6	5406+23.99	38.19' LT.	1 – HYDRANT, COMPLETE (TYPE VI, L = 5.5') 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J.
7	5407+48.48	31.18' LT.	1 – HYDRANT, COMPLETE (TYPE VI, L = 5.5') 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 2 – 6" ANCHORING ELBOW, M.J.
8	5408+79.09	31.08' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5', RT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.
9	5408+85.44	29.00' LT.	1 – 12" GATE VALVE, M.J. 2 – 12" RETAINER GLANDS, M.J.

WATER MAIN
23.07004 – 23.07030

NO.	STATION TO STATION	SIDE	SIZE	LF
1	5403+00.00 – 5409+00.00	LT.	12"	600
2	5404+27.98 – 5404+25.56	LT.	12"	14
3	5404+34.25 – 5404+34.07	LT.	12"	6
4	5404+68.12	LT.	6"	6
5	5406+23.99	LT.	6"	51
6	5407+44.57 – 5407+50.57	LT.	6"	4
7	5408+48.69 – 5408+58.91	LT./RT.	12"	81
8	5408+54.83 – 5408+54.89	LT.	16"	16

DIRECTIONAL DRILLING FOR WATER MAIN
20.06106 – 20.06116

NO.	STATION TO STATION	SIDE	SIZE	LF
9	5403+82.33 – 5404+22.33	LT.	12"	40
10	5407+16.19 – 5408+46.19	LT.	12"	130
11	5408+58.91 – 5408+58.91	LT./RT.	12"	60
12	5408+86.19 – 5409+00.00	LT.	12"	14

BORING FOR WATER SERVICE PIPE
23.11475 – 23.11600

NO.	STATION TO STATION	SIDE	SIZE	LF
25	5405+57.85	LT./RT.	1"	51

RECONSTRUCT WATER SERVICE PIPE
23.11075– 23.11200

NO.	ADDRESS	EXIST.	RECON.	SIZE	* CSB	LF	(ISC)
13	1000 "O" ST.	DIP/CIP	1 EA.	6"	–	3	–
14	1005 "O" ST.	DIP/COPPER	1 EA.	4"	–	4	–
15	1005 "O" ST.	FIRE LINE	1 EA.	6"	–	4	–
16	1005 "O" ST.	?	1 EA.	1"	–	60	–
17	1020 "O" ST. (IRR.)	COPPER	1 EA.	1.5"	–	4	–
18	1000 "O" ST.	DIP	1 EA.	8"	–	6	–
19	1024 "O" ST.	COPPER	1 EA.	1"	–	13	–
20	1028 "O" ST.	COPPER	1 EA.	0.75"	–	9	–
21	1032 "O" ST.	COPPER	1 EA.	0.75"	–	11	–
22	1033 "O" ST.	FIRE LINE	1 EA.	6"	–	5	–
23	1034 "O" ST.	COPPER	1 EA.	0.75"	–	11	–
24	1036 "O" ST.	COPPER	1 EA.	1"	–	11	–

* NOTE: CURB STOP AND BOX (CSB) REPLACEMENT IS SUBSIDIARY TO RECONSTRUCT WATER SERVICE. CONTRACTOR SHALL COORDINATE ALL REPLACEMENTS WITH LINCOLN WATER SYSTEM. (ISC) = AN INTERNAL WATER SERVICE CONNECTION IS REQUIRED.

REFER TO SHEET 44 FOR ADDITIONAL WATER MAIN BUILD NOTES BETWEEN STA. 5403+00 TO STA. 5409+00.

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

WATER MAIN
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\WT_Pentable.tbl
USER: spickus
DATE: 03-31-2025
DGN: ...\Water Main\705444WT03.dgn

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	44
Date: 03-31-2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

5403+00 5404+00 5405+00 5406+00 5407+00 5408+00 5409+00

TAPPING SLEEVE & VALVE

NO.	STATION	OFFSET	DESCRIPTION
1	5405+13.32	29.00' LT.	1 – 12" x 6" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 6" RETAINER GLANDS, M.J.
2	5405+31.21	29.00' LT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
3	5405+46.49	29.00' LT.	1 – 12" x 6" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 6" RETAINER GLANDS, M.J.
4	5405+83.53	29.00' LT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
5	5405+91.07	29.00' LT.	1 – 12" x 8" TAPPING SLEEVE & VALVE, M.J. 1 – 8" TEE BLOCK 1 – 8" RETAINER GLANDS, M.J.
6	5406+82.94	29.00' LT.	1 – 12" x 6" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 6" RETAINER GLANDS, M.J.

NOTE: TAPPING SLEEVE AND VALVE PROVIDED BY LINCOLN WATER SYSTEM AND SHALL NOT BE A PAY ITEM.

DUCTILE IRON WATER MAIN FITTINGS, M.J.

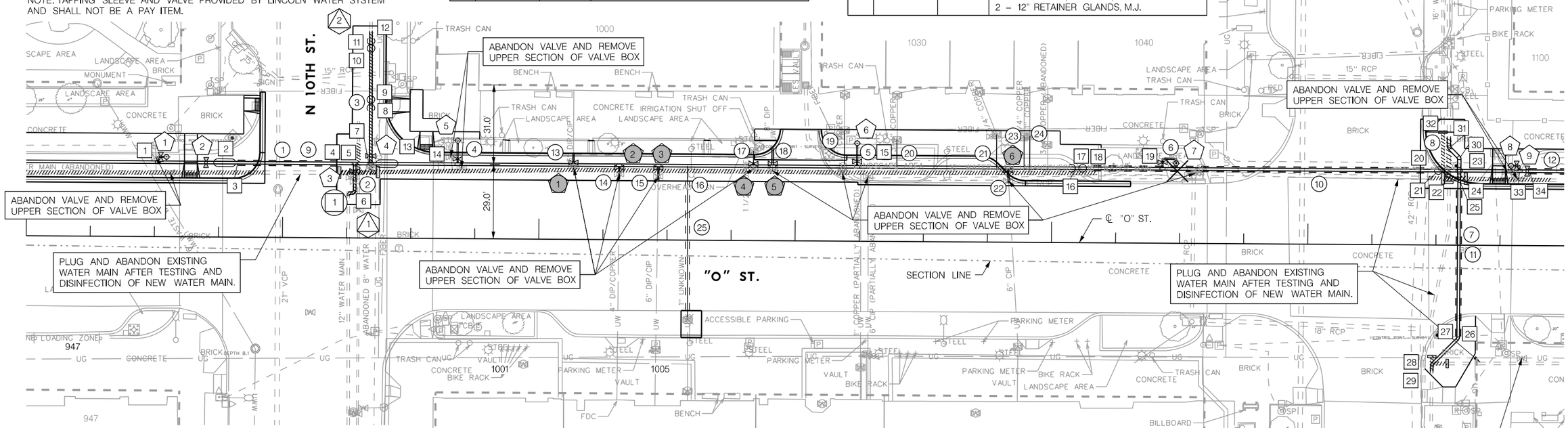
23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
1	5403+51.18	29.00' LT.	1 – 12" x 6" TEE, M.J. 1 – 6" TEE BLOCK 2 – 12" RETAINER GLANDS, M.J.
2	5403+73.00	29.00' LT.	1 – 12" OFFSET, 18" DROP, M.J. 2 – 12" RETAINER GLANDS, M.J.
3	5403+82.33	29.00' LT.	1 – 12" SOLID SLEEVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
4	5404+22.33	29.00' LT.	1 – 12" SOLID SLEEVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
5	5404+27.98	29.00' LT.	1 – 12" x 12" TEE, M.J. 1 – 12" TEE BLOCK 3 – 12" RETAINER GLANDS, M.J.
6	5404+28.05	17.47' LT.	1 – 12" x 90° BEND, M.J. 1 – THRUST BLOCK 2 – 12" RETAINER GLANDS, M.J.
7	5404+34.26	29.00' LT.	1 – 12" x 12" TEE, M.J. 1 – 12" TEE BLOCK 3 – 12" RETAINER GLANDS, M.J.

DUCTILE IRON WATER MAIN FITTINGS, M.J.

23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
8	5404+34.17	50.65' LT.	1 – 12" x 45° BEND, M.J. 1 – 12" GRAVITY BLOCK 2 – 12" RETAINER GLANDS, M.J.
9	5404+34.16	53.96' LT.	1 – 12" x 45° BEND, M.J. 1 – 12" THRUST BLOCK 2 – 12" RETAINER GLANDS, M.J.
10	5404+34.08	73.95' LT.	1 – 12" x 45° BEND, M.J. 1 – 12" THRUST BLOCK 2 – 12" RETAINER GLANDS, M.J.
11	5404+34.07	76.78' LT.	1 – 12" x 45° BEND, M.J. 1 – 12" GRAVITY BLOCK 2 – 12" RETAINER GLANDS, M.J.
12	5404+34.05	80.35' LT.	1 – 12" DUAL PURPOSE SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
13	5404+44.82	29.00' LT.	1 – 12" OFFSET, 18" DROP, M.J. 2 – 12" RETAINER GLANDS, M.J.



DUCTILE IRON WATER MAIN FITTINGS, M.J.

23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
14	5404+68.12	30.00' LT.	1 – 12" x 6" TEE, M.J. 1 – 6" TEE BLOCK 2 – 12" RETAINER GLANDS, M.J.
15	5406+23.99	30.00' LT.	1 – 12" x 6" TEE, M.J. 1 – 6" TEE BLOCK 2 – 12" RETAINER GLANDS, M.J.
16	5407+07.68	29.00' LT.	1 – 12" x 45° BEND, M.J. 1 – 12" GRAVITY BLOCK 2 – 12" RETAINER GLANDS, M.J.
17	5407+12.00	29.00' LT.	1 – 12" x 45° BEND, M.J. 1 – 12" THRUST BLOCK 2 – 12" RETAINER GLANDS, M.J.
18	5407+16.19	29.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
19	5407+43.15	29.00' LT.	1 – 12" x 6" TEE, M.J. 1 – 6" TEE BLOCK 2 – 12" RETAINER GLANDS, M.J.
20	5408+46.19	29.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
21	5408+50.77	29.00' LT.	1 – 12" x 45° BEND, M.J. 1 – 12" THRUST BLOCK 2 – 12" RETAINER GLANDS, M.J.

DUCTILE IRON WATER MAIN FITTINGS, M.J.

23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
22	5408+54.37	29.00' LT.	1 – 12" x 45° BEND, M.J. 1 – 12" GRAVITY BLOCK 2 – 12" RETAINER GLANDS, M.J.
23	5408+58.91	29.00' LT.	1 – 16" x 12" CROSS, M.J. 2 – 12" RETAINER GLANDS, M.J. 2 – 16" RETAINER GLANDS, M.J.
24	5408+58.91	27.75' LT.	1 – 16" x 12" REDUCER, M.J. 1 – 12" RETAINER GLANDS, M.J.
25	5408+58.91	24.38' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
26	5408+58.91	35.62' RT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
27	5408+58.91	36.40' RT.	1 – 12" x 45° BEND, M.J. 1 – 12" THRUST BLOCK 2 – 12" RETAINER GLANDS, M.J.
28	5408+48.70	46.61' RT.	1 – 12" x 45° BEND, M.J. 1 – 12" THRUST BLOCK 2 – 12" RETAINER GLANDS, M.J.
29	4508+48.68	49.29' RT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.

DUCTILE IRON WATER MAIN FITTINGS, M.J.

23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
30	5408+58.91	34.00' LT.	1 – 16" x 45° BEND, M.J. 2 – 16" RETAINER GLANDS, M.J. 1 – 16" THRUST BLOCK
31	5408+54.86	38.06' LT.	1 – 16" x 45° BEND, M.J. 2 – 16" RETAINER GLANDS, M.J. 1 – 16" THRUST BLOCK
32	5408+54.83	41.71' LT.	1 – 16" SOLID SLEEVE (L=15"), M.J. 2 – 16" RETAINER GLANDS, M.J.
33	5408+82.44	29.00' LT.	1 – 12" x 6" TEE, M.J. 1 – 6" TEE BLOCK 2 – 12" RETAINER GLANDS, M.J.
34	5408+86.19	29.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.

REFER TO SHEET 43 FOR ADDITIONAL WATER MAIN BUILD NOTES BETWEEN STA. 5403+00 TO STA. 5409+00.

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

WATER MAIN
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\WT_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Water Main\705444WT04.dgn

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	45
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

REMOVE WATER MAIN

23.04004 – 23.04036

STATION TO STATION	SIDE	SIZE	LF
5409+00.00 – 5410+58.59	LT.	10"	158
5413+19.06 – 5414+57.66	LT.	10"	139
5414+71.08 – 5415+00.00	LT.	10"	29

REMOVE & SALVAGE HYDRANT

23.04101

STATION	OFFSET	EA
5410+03.64	30.24' LT.	1
5411+77.60	34.13' RT.	1
5411+78.88	30.24' LT.	1
5412+80.22	30.65' LT.	1

REMOVE & RESET PIV

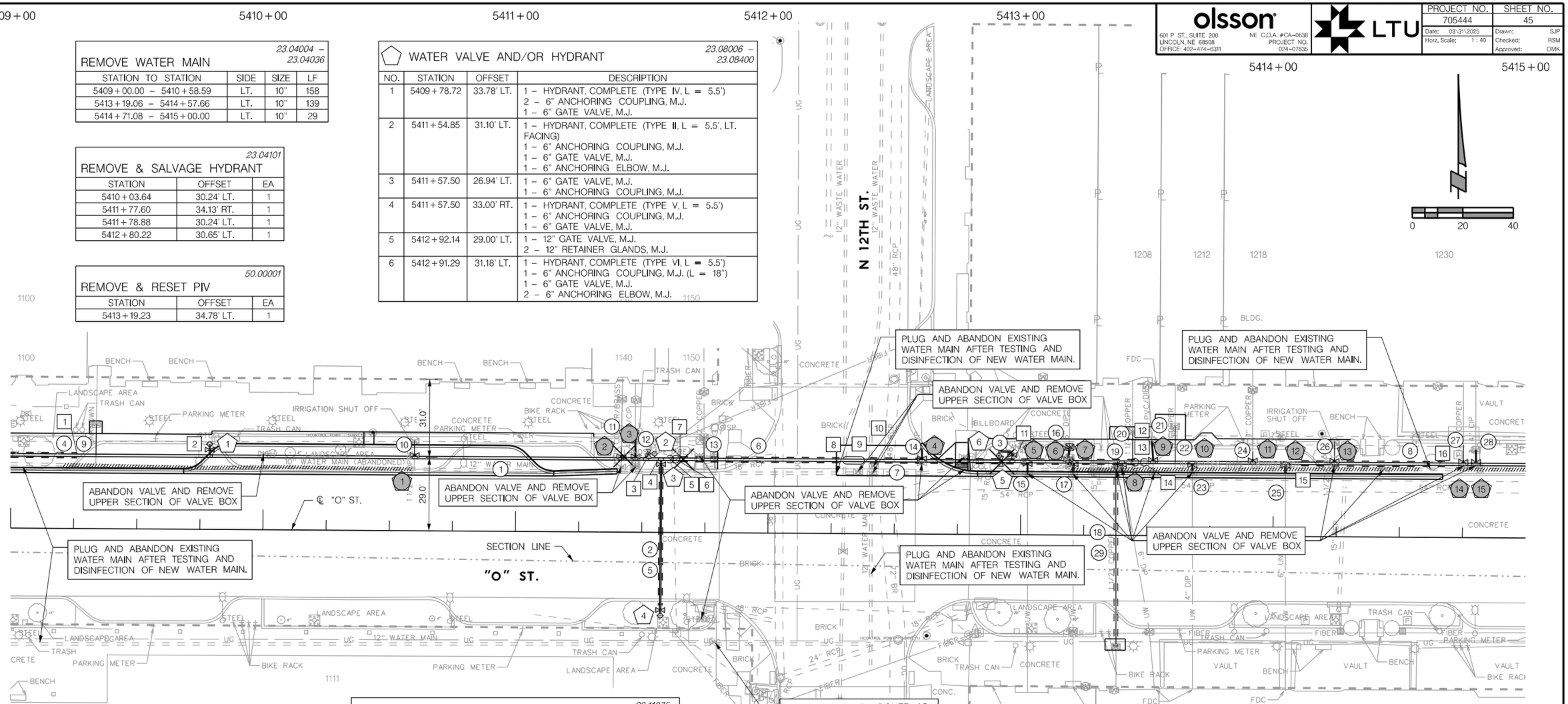
50.00001

STATION	OFFSET	EA
5413+19.23	34.78' LT.	1

WATER VALVE AND/OR HYDRANT

23.08006 – 23.08400

NO.	STATION	OFFSET	DESCRIPTION
1	5409+78.72	33.78' LT.	1 – HYDRANT, COMPLETE (TYPE IV, L = 5.5') 2 – 6" ANCHORING COUPLING, M.J. 1 – 6" GATE VALVE, M.J.
2	5411+54.85	31.10' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5', LT. FACING) 1 – 6" ANCHORING COUPLING, M.J. 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.
3	5411+57.50	26.94' LT.	1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING COUPLING, M.J.
4	5411+57.50	33.00' RT.	1 – HYDRANT, COMPLETE (TYPE V, L = 5.5') 1 – 6" ANCHORING COUPLING, M.J. 1 – 6" GATE VALVE, M.J.
5	5412+92.14	29.00' LT.	1 – 12" GATE VALVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
6	5412+91.29	31.18' LT.	1 – HYDRANT, COMPLETE (TYPE VI, L = 5.5') 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 2 – 6" ANCHORING ELBOW, M.J.



WATER MAIN

23.07004 – 23.07030

NO.	STATION TO STATION	SIDE	SIZE	LF
1	5409+00.00 – 5415+00.00	LT.	12"	600
2	5411+57.50	LT./RT.	6"	57
3	5412+91.95 – 5412+95.95	LT.	6"	4

DIRECTIONAL DRILLING FOR WATER MAIN

20.06106 – 20.06116

NO.	STATION TO STATION	SIDE	SIZE	LF
4	5409+00.00 – 5409+26.19	LT.	12"	26
5	5411+57.50	LT.	6"	55
6	5411+65.14 – 5412+30.14	LT.	12"	65
7	5412+40.14 – 5413+45.14	LT.	12"	105
8	5414+11.00 – 5414+71.00	LT.	12"	60

BORING FOR WATER SERVICE PIPE

23.11475 – 23.11600

NO.	STATION TO STATION	SIDE	SIZE	LF
29	5413+37.60	LT./RT.	1.5"	74

RECONSTRUCT WATER SERVICE PIPE

23.11075– 23.11200

NO.	ADDRESS	EXIST.	RECON.	SIZE	★CSB	LF	(ISC)
9	1128 "O" ST.	COPPER	1 EA.	1"	–	13	–
10	1130 "O" ST. (IRR.)	COPPER	1 EA.	1.5"	–	5	–
11	1140 "O" ST.	COPPER	1 EA.	1.5"	–	22	–
12	1140 "O" ST.	FIRE LINE	1 EA.	4"	–	6	–
13	1150 "O" ST.	COPPER	1 EA.	2"	–	7	–
14	100 N 12TH ST.	DIP	1 EA.	4"	–	3	–
15	1201 "O" ST.	DIP	1 EA.	4"	–	4	–
16	100 N 12TH ST.	FIRE LINE	1 EA.	6"	–	4	–
17	1201 "O" ST.	FIRE LINE	1 EA.	6"	–	2	–
18	1211 "O" ST.	COPPER	1 EA.	1.5"	–	5	–
19	1211 "O" ST.	FIRE LINE	1 EA.	6"	–	3	–
20	1208 "O" ST.	COPPER	1 EA.	1.25"	–	12	–
21	1208 "O" ST.	FIRE LINE	1 EA.	4"	–	7	–
22	1212 "O" ST.	COPPER	1 EA.	1"	–	14	–
23	1215 "O" ST.	DIP	1 EA.	4"	–	2	–
24	1218 "O" ST.	COPPER	1 EA.	1"	–	3	–
25	1215 "O" ST.	?	1 EA.	6"	–	3	–
26	1218 "O" ST. (IRR.)	COPPER	1 EA.	1.5"	–	7	–
27	1230 "O" ST.	COPPER	1 EA.	1.5"	–	6	–
28	1230 "O" ST.	CIP	1 EA.	4"	–	4	–

★ NOTE: CURB STOP AND BOX (CSB) REPLACEMENT IS SUBSIDIARY TO RECONSTRUCT WATER SERVICE. CONTRACTOR SHALL COORDINATE ALL REPLACEMENTS WITH LINCOLN WATER SYSTEM.
(ISC) = AN INTERNAL WATER SERVICE CONNECTION IS REQUIRED.

REFER TO SHEET 46 FOR ADDITIONAL WATER MAIN BUILD NOTES BETWEEN STA. 5409+00 TO STA. 5415+00.

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

WATER MAIN
"O" STREET

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	46
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\WT_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Water Main\705444WT05.dgn

5409+00 5410+00 5411+00 5412+00 5413+00 5414+00 5415+00

TAPPING SLEEVE & VALVE

NO.	STATION	OFFSET	DESCRIPTION
1	5410+59.87	29.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
2	5411+41.73	29.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
3	5411+47.33	29.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
4	5412+60.82	29.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
5	5413+02.61	29.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
6	5413+18.75	29.00' RT.	1 – 12" x 6" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 6" RETAINER GLANDS, M.J.

NOTE: TAPPING SLEEVE AND VALVE PROVIDED BY LINCOLN WATER SYSTEM AND SHALL NOT BE A PAY ITEM.

TAPPING SLEEVE & VALVE

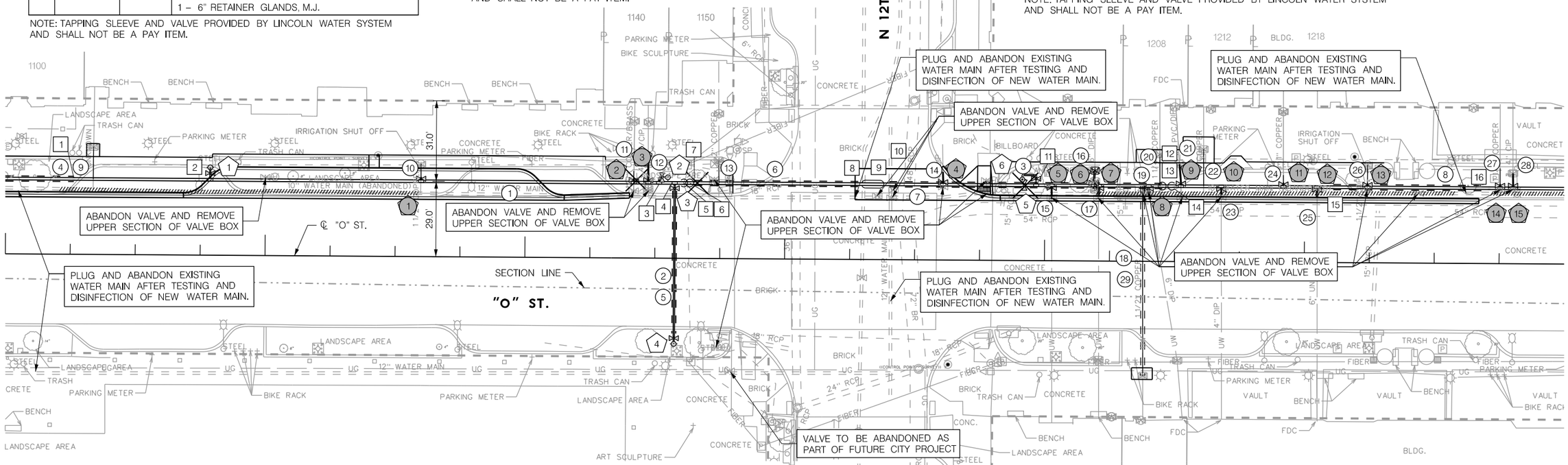
NO.	STATION	OFFSET	DESCRIPTION
7	5413+20.87	29.00' RT.	1 – 12" x 6" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 6" RETAINER GLANDS, M.J.
8	5413+39.92	29.00' RT.	1 – 12" x 6" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 6" RETAINER GLANDS, M.J.
9	5413+52.33	29.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
10	5413+67.88	29.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
11	5413+91.81	29.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.

NOTE: TAPPING SLEEVE AND VALVE PROVIDED BY LINCOLN WATER SYSTEM AND SHALL NOT BE A PAY ITEM.

TAPPING SLEEVE & VALVE

NO.	STATION	OFFSET	DESCRIPTION
12	5414+04.75	29.00' RT.	1 – 12" x 6" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 6" RETAINER GLANDS, M.J.
13	5414+24.17	29.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
14	5414+75.20	29.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
15	5414+80.20	29.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.

NOTE: TAPPING SLEEVE AND VALVE PROVIDED BY LINCOLN WATER SYSTEM AND SHALL NOT BE A PAY ITEM.



DUCTILE IRON WATER MAIN FITTINGS, M.J.

23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
1	5409+26.19	29.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
2	5409+78.72	29.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
3	5411+51.50	29.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
4	5411+57.50	29.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
5	5411+61.01	29.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" GRAVITY BLOCK
6	5411+63.28	29.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
7	5411+65.14	29.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
8	5412+30.14	29.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.

DUCTILE IRON WATER MAIN FITTINGS, M.J.

23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
9	5412+38.00	29.00' LT.	1 – 12" OFFSET, 18" DROP, M.J. 2 – 12" RETAINER GLANDS, M.J.
10	5412+40.14	29.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
11	5412+96.62	29.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
12	5413+45.14	29.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
13	5413+45.14	29.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
14	5413+48.84	29.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" GRAVITY BLOCK
15	5414+11.00	29.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
16	5414+71.00	29.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.

REFER TO SHEET 45 FOR ADDITIONAL WATER MAIN BUILD NOTES BETWEEN STA. 5409+00 TO STA. 5415+00.

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

WATER MAIN
"O" STREET

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	47
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\WT_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Water Main\705444WT06.dgn

REMOVE WATER MAIN

23.04004 – 23.04036

STATION TO STATION	SIDE	SIZE	LF
5417+02.97 – 5419+69.43	LT.	12"	266
5420+31.58 – 5420+54.08	LT.	12"	22

REMOVE & SALVAGE HYDRANT

23.04101

STATION	OFFSET	EA
5415+76.31	30.56' LT.	1
5416+80.82	30.81' LT.	1
5418+23.94	37.74' LT.	1
5419+76.60	30.91' LT.	1

TEMPORARY HYDRANT AND BLOW-OFF

23.10001

NO.	STATION	OFFSET	EA
1	5420+44.00	22.55' LT.	1
2	5420+44.00	41.47' LT.	1

* TEMPORARY 12" X 6" REDUCER IS SUBSIDIARY TO TEMPORARY HYDRANT

RECONSTRUCT WATER SERVICE PIPE

23.11075– 23.11200

NO.	ADDRESS	EXIST.	RECON.	SIZE	★CSB	LF	(ISC)
7	1248 "O" ST.	FIRE LINE	1 EA.	6"	–	4	–
8	1245 "O" ST.	DIP/CIP	1 EA.	6"	–	3	–
9	1300 "O" ST.	DIP	1 EA.	4"	–	3	–
10	1300 "O" ST.	FIRE LINE	1 EA.	6"	–	3	–
11	1301 "O" ST.	COPPER	1 EA.	2"	–	3	–
12	1301 "O" ST.	COPPER	1 EA.	0.75"	–	73	–
13	1309 "O" ST.	COPPER/GALV.	1 EA.	1"	–	73	–
14	1310 "O" ST. (IRR.)	COPPER	1 EA.	1.5"	–	11	–
15	1309 "O" ST.	COPPER	1 EA.	1"	–	55	–
16	1314 "O" ST.	?	1 EA.	6"	–	9	–
17	1321 "O" ST.	LEAD	1 EA.	0.75"	1	95	1
18	1319 "O" ST.	?	1 EA.	4"	–	3	–
19	1314 "O" ST.	DIP	1 EA.	4"	–	9	–
20	1323 "O" ST.	COPPER	1 EA.	0.75"	–	3	–
21	1325 "O" ST.	COPPER	1 EA.	0.75"	–	73	–
22	1329 "O" ST.	COPPER	1 EA.	1"	–	67	–
23	101 N 14TH ST.	GALV.	1 EA.	0.75"	–	14	–
24	101 N 14TH ST.	COPPER	1 EA.	2"	–	5	–
25	1400 "O" ST.	COPPER	1 EA.	2"	–	15	–

★ NOTE: CURB STOP AND BOX (CSB) REPLACEMENT IS SUBSIDIARY TO RECONSTRUCT WATER SERVICE. CONTRACTOR SHALL COORDINATE ALL REPLACEMENTS WITH LINCOLN WATER SYSTEM. (ISC) = AN INTERNAL WATER SERVICE CONNECTION IS REQUIRED.

WATER MAIN

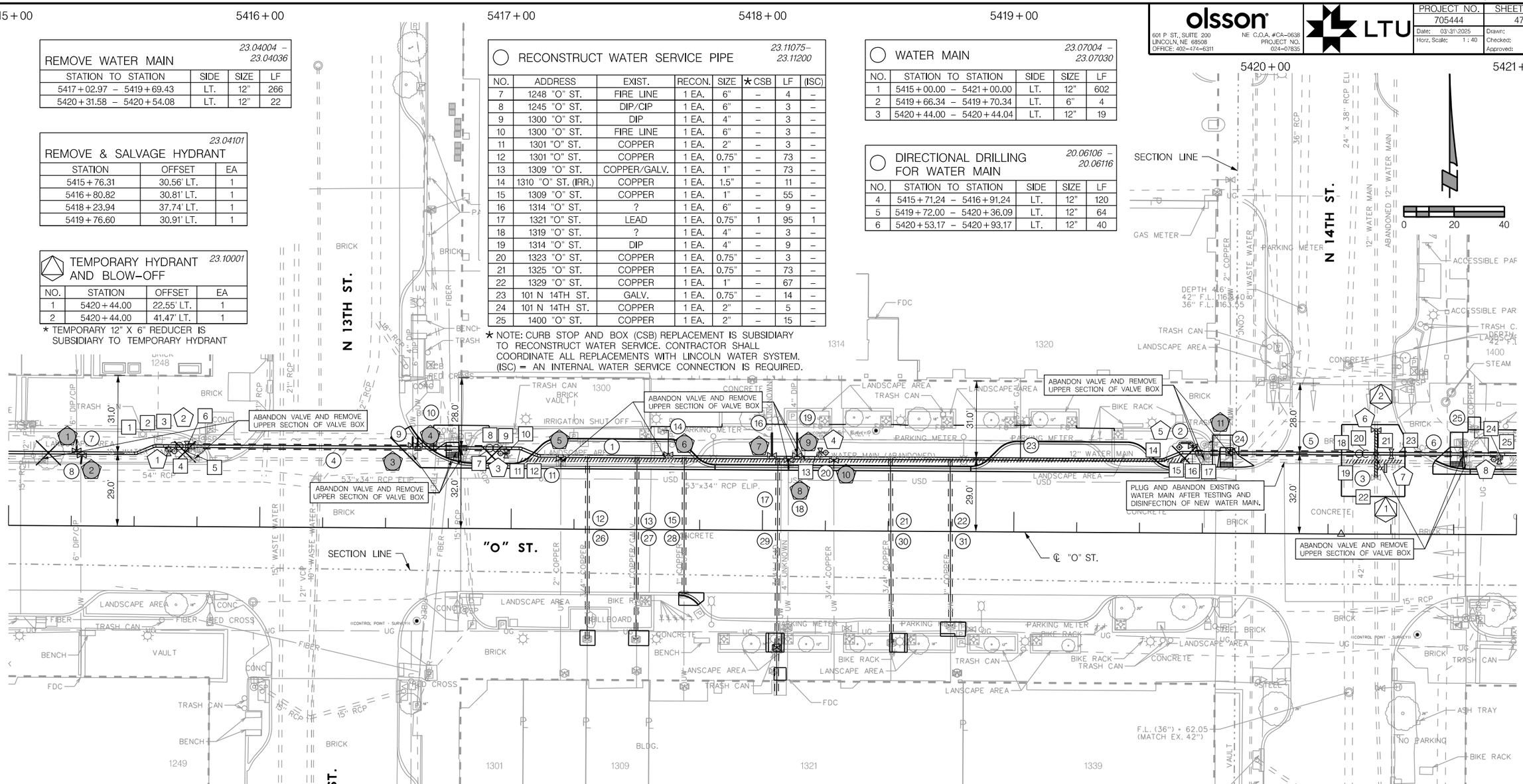
23.07004 – 23.07030

NO.	STATION TO STATION	SIDE	SIZE	LF
1	5415+00.00 – 5421+00.00	LT.	12"	602
2	5419+66.34 – 5419+70.34	LT.	6"	4
3	5420+44.00 – 5420+44.04	LT.	12"	19

DIRECTIONAL DRILLING FOR WATER MAIN

20.06106 – 20.06116

NO.	STATION TO STATION	SIDE	SIZE	LF
4	5415+71.24 – 5416+91.24	LT.	12"	120
5	5419+72.00 – 5420+36.09	LT.	12"	64
6	5420+53.17 – 5420+93.17	LT.	12"	40



BORING FOR WATER SERVICE PIPE

23.11475 – 23.11600

NO.	STATION TO STATION	SIDE	SIZE	LF
26	5417+30.24	LT./RT.	0.75"	73
27	5417+49.95	LT./RT.	1"	73
28	5417+68.72	LT./RT.	1"	55
29	5418+05.94 – 5418+06.03	LT./RT.	0.75"	95
30	5418+50.74	LT./RT.	0.75"	73
31	5418+74.53	LT./RT.	1"	67

WATER VALVE AND/OR HYDRANT

23.08006 – 23.08400

NO.	STATION	OFFSET	DESCRIPTION
1	5415+65.84	29.92' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5', LT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.
2	5415+70.76	32.00' LT.	1 – 12" GATE VALVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
3	5416+95.59	29.92' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5', RT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.
4	5418+25.00	31.08' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5', LT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.

WATER VALVE AND/OR HYDRANT

23.08006 – 23.08400

NO.	STATION	OFFSET	DESCRIPTION
5	5419+65.67	34.18' LT.	1 – HYDRANT, COMPLETE (TYPE VI, L = 5.5') 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 2 – 6" ANCHORING ELBOW, M.J.
6	5420+44.00	41.47' LT.	1 – 12" GATE VALVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
7	5420+50.09	32.00' LT.	1 – 12" GATE VALVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
8	5420+90.81	29.92' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5', RT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.

REFER TO SHEET 48 FOR ADDITIONAL WATER MAIN BUILD NOTES BETWEEN STA. 5415+00 TO STA. 5421+00.

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

WATER MAIN
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\WT_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Water Main\705444WT07.dgn

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	48
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

5415+00 5416+00 5417+00 5418+00 5419+00 5420+00 5421+00

TAPPING SLEEVE & VALVE

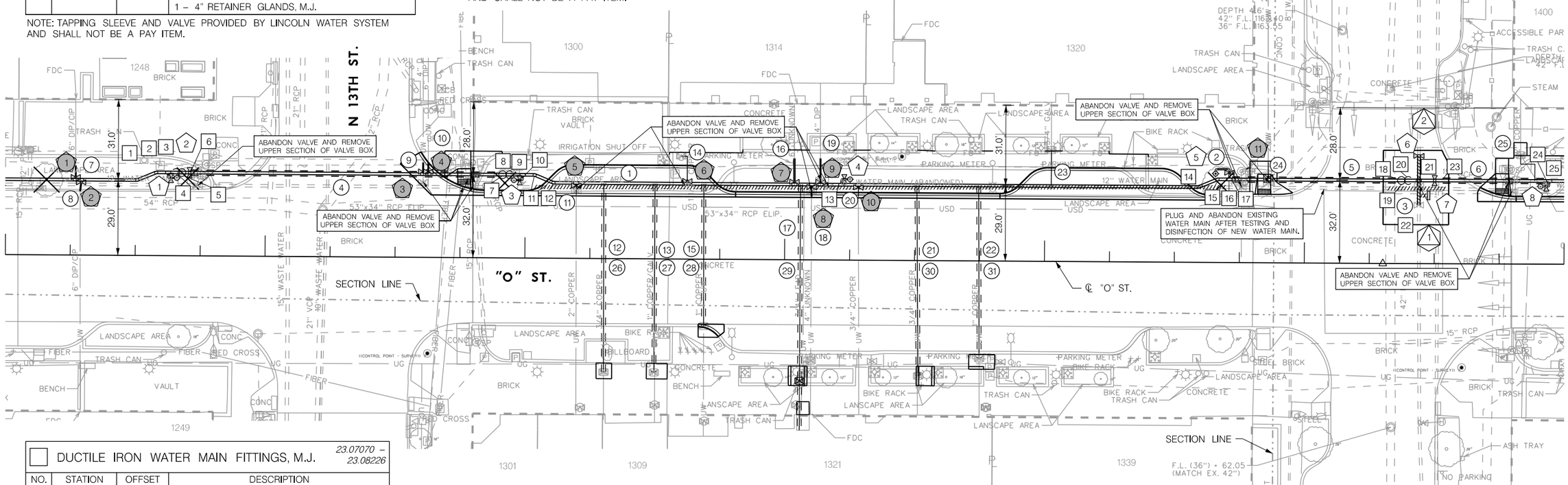
NO.	STATION	OFFSET	DESCRIPTION
1	5415+26.93	29.00' LT.	1 – 12" x 6" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 6" RETAINER GLANDS, M.J.
2	5415+29.02	29.00' LT.	1 – 12" x 6" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 6" RETAINER GLANDS, M.J.
3	5416+60.63	32.00' LT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
4	5416+62.63	32.00' LT.	1 – 12" x 6" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 6" RETAINER GLANDS, M.J.
5	5417+19.63	29.00' LT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
6	5417+62.33	29.00' LT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.

NOTE: TAPPING SLEEVE AND VALVE PROVIDED BY LINCOLN WATER SYSTEM AND SHALL NOT BE A PAY ITEM.

TAPPING SLEEVE & VALVE

NO.	STATION	OFFSET	DESCRIPTION
7	5418+03.59	29.00' LT.	1 – 12" x 6" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 6" RETAINER GLANDS, M.J.
8	5418+10.20	29.00' LT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
9	5418+13.60	29.00' LT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
10	5418+28.21	29.00' LT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
11	5419+85.96	32.00' LT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.

NOTE: TAPPING SLEEVE AND VALVE PROVIDED BY LINCOLN WATER SYSTEM AND SHALL NOT BE A PAY ITEM.



DUCTILE IRON WATER MAIN FITTINGS, M.J.

23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
1	5415+50.61	29.00' LT.	1 – 12" x 22.5° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
2	5415+57.86	32.00' LT.	1 – 12" x 22.5° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
3	5415+62.48	32.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
4	5415+65.46	32.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" GRAVITY BLOCK
5	5415+67.76	32.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
6	5415+71.24	32.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
7	5416+91.24	32.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
8	5416+91.24	32.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
9	5416+93.95	32.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" GRAVITY BLOCK

DUCTILE IRON WATER MAIN FITTINGS, M.J.

23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
10	5416+98.95	32.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
11	5417+03.58	32.00' LT.	1 – 12" x 22.5° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
12	5417+10.82	29.00' LT.	1 – 12" x 22.5° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
13	5418+21.64	29.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
14	5419+59.13	29.00' LT.	1 – 12" x 22.5° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
15	5419+66.38	32.00' LT.	1 – 12" x 22.5° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
16	5419+71.00	32.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK

DUCTILE IRON WATER MAIN FITTINGS, M.J.

23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
17	5419+72.00	32.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
18	5420+36.09	32.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
19	5420+37.30	32.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" GRAVITY BLOCK
20	5420+39.96	32.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
21	5420+44.00	32.00' LT.	1 – 12" x 12" CROSS, M.J. 4 – 12" RETAINER GLANDS, M.J.
22	5420+44.00	22.55' LT.	1 – 12" RETAINER GLAND, M.J.
23	5420+53.17	32.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
24	5420+93.17	32.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.
25	5420+94.17	32.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK

REFER TO SHEET 47 FOR ADDITIONAL WATER MAIN BUILD NOTES BETWEEN STA. 5415+00 TO STA. 5421+00.

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

WATER MAIN
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\WT_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Water Main\705444WT08.dgn

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	49
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

REMOVE WATER MAIN

23.04004 – 23.04036

STATION TO STATION	SIDE	SIZE	LF
5422+34.75 – 5423+78.73	LT.	8"	144

REMOVE & SALVAGE HYDRANT

23.04101

STATION	OFFSET	EA
5422+58.57	31.31' LT.	1
5423+77.55	32.45' LT.	1
5425+00.90	31.40' LT.	1
5426+76.13	30.54' LT.	1

RECONSTRUCT WATER SERVICE PIPE

23.11075– 23.11200

NO.	ADDRESS	EXIST.	RECON.	SIZE	★CSB	LF	(ISC)
4	1409 "O" ST.	COPPER	1 EA.	1.5"	–	4	–
5	1409 "O" ST.	DIP	1 EA.	4"	–	5	–
6	1415 "O" ST.	COPPER	1 EA.	2"	–	5	–
7	1430 "O" ST. (IRR.)	COPPER	1 EA.	1.5"	–	8	–
8	1423 "O" ST.	GALV.	1 EA.	0.75"	1	91	1
9	1422 "O" ST.	COPPER	1 EA.	1"	–	12	–
10	1426 "O" ST.	COPPER/GALV.	1 EA.	0.75"	1	29	1
11	1427 "O" ST.	LEAD	1 EA.	1"	1	92	1
12	1434 "O" ST.	FIRE LINE	1 EA.	4"	–	5	–
13	1434 "O" ST.	COPPER	1 EA.	0.75"	–	11	–
14	1436 "O" ST.	COPPER/GALV.	1 EA.	0.75"	1	28	1
15	1451 "O" ST.	COPPER	1 EA.	2"	–	6	–
16	1451 "O" ST.	FIRE LINE	1 EA.	6"	–	6	–
17	1442 "O" ST.	COPPER	1 EA.	2"	–	10	–
18	1442 "O" ST.	?	1 EA.	4"	–	4	–
19	1530 "O" ST. (IRR.)	COPPER	1 EA.	1.5"	–	2	–

★ NOTE: CURB STOP AND BOX (CSB) REPLACEMENT IS SUBSIDIARY TO RECONSTRUCT WATER SERVICE. CONTRACTOR SHALL COORDINATE ALL REPLACEMENTS WITH LINCOLN WATER SYSTEM. (ISC) = AN INTERNAL WATER SERVICE CONNECTION IS REQUIRED.

WATER MAIN

23.07004 – 23.07030

NO.	STATION TO STATION	SIDE	SIZE	LF
1	5421+00.00 – 5427+00.00	LT.	12"	600

DIRECTIONAL DRILLING FOR WATER MAIN

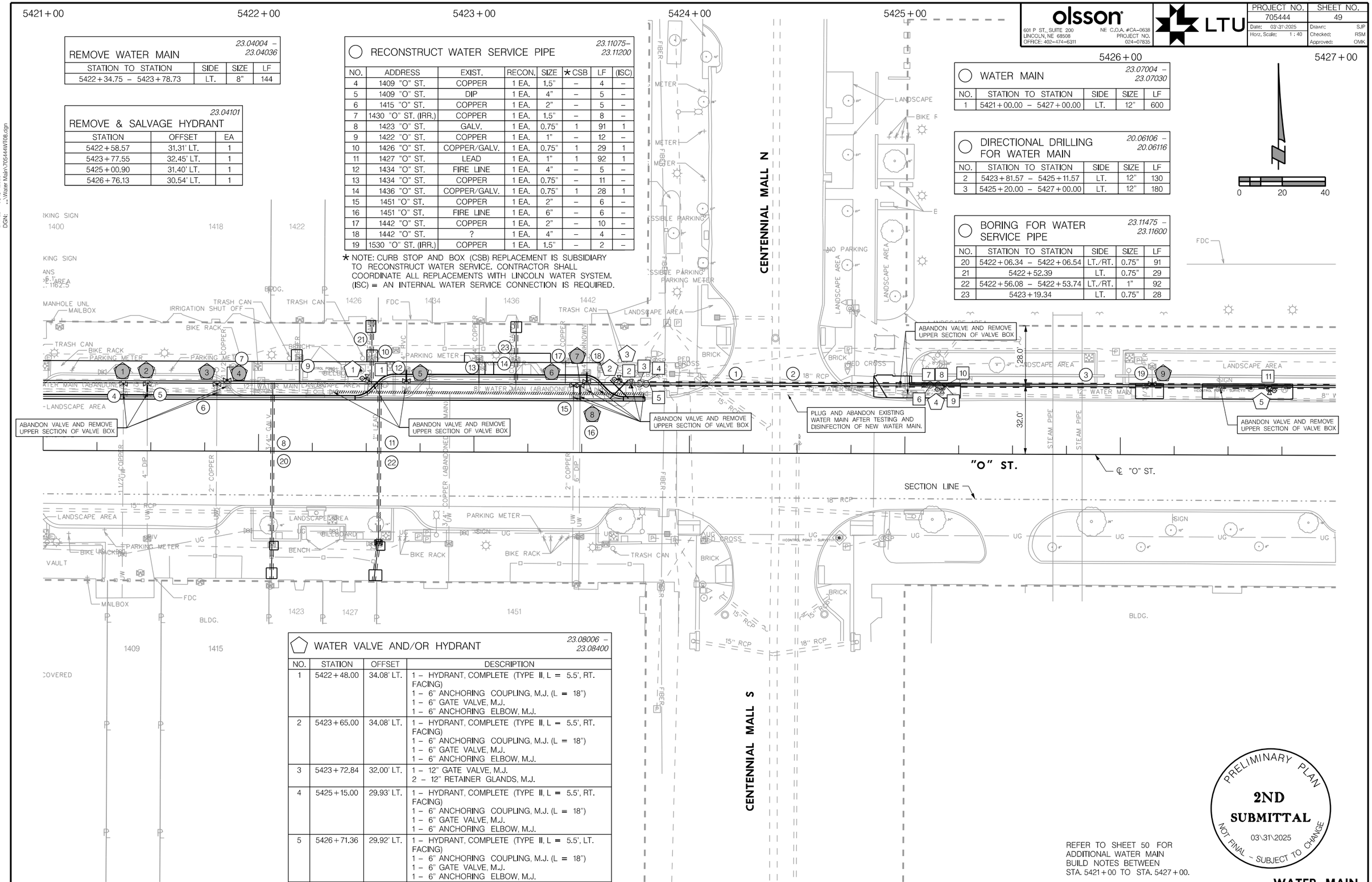
20.06106 – 20.06116

NO.	STATION TO STATION	SIDE	SIZE	LF
2	5423+81.57 – 5425+11.57	LT.	12"	130
3	5425+20.00 – 5427+00.00	LT.	12"	180

BORING FOR WATER SERVICE PIPE

23.11475 – 23.11600

NO.	STATION TO STATION	SIDE	SIZE	LF
20	5422+06.34 – 5422+06.54	LT./RT.	0.75"	91
21	5422+52.39	LT.	0.75"	29
22	5422+56.08 – 5422+53.74	LT./RT.	1"	92
23	5423+19.34	LT.	0.75"	28



WATER VALVE AND/OR HYDRANT

23.08006 – 23.08400

NO.	STATION	OFFSET	DESCRIPTION
1	5422+48.00	34.08' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5', RT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.
2	5423+65.00	34.08' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5', RT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.
3	5423+72.84	32.00' LT.	1 – 12" GATE VALVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
4	5425+15.00	29.93' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5', RT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.
5	5426+71.36	29.92' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5', LT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.

REFER TO SHEET 50 FOR ADDITIONAL WATER MAIN BUILD NOTES BETWEEN STA. 5421+00 TO STA. 5427+00.

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

WATER MAIN
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\WT_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Water Main\705444WT09.dgn

olsson
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	50
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

5421+00 5422+00 5423+00 5424+00 5425+00 5426+00 5427+00

TAPPING SLEEVE & VALVE

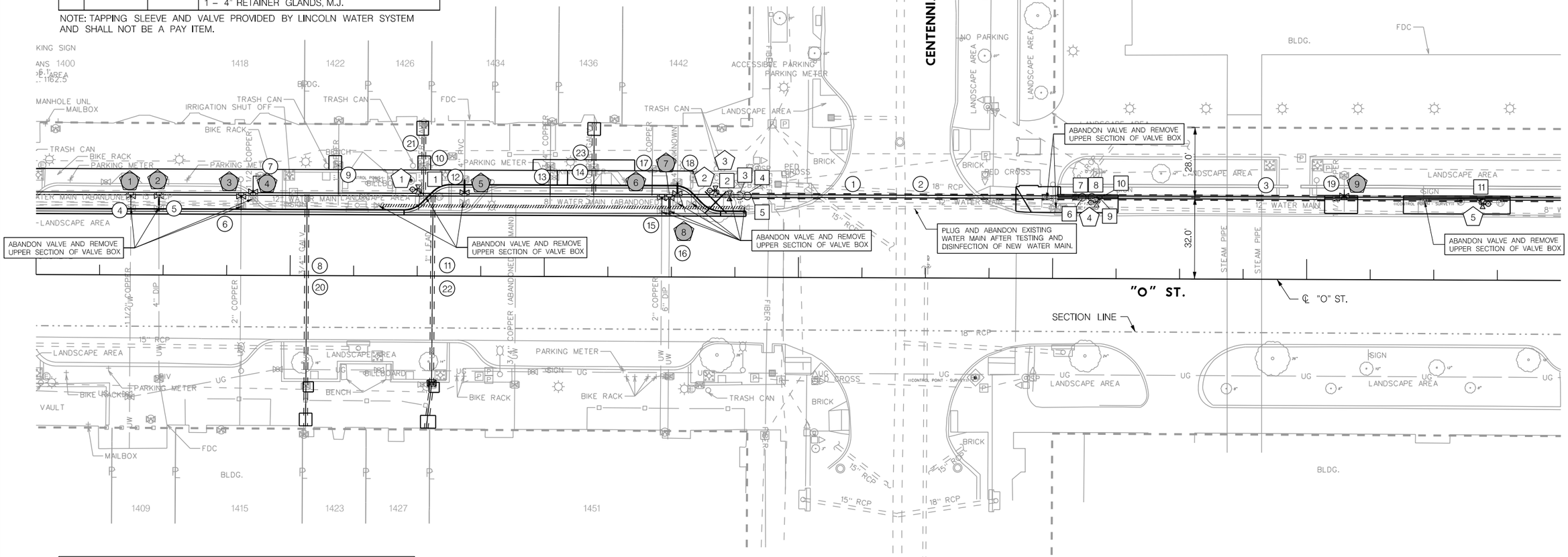
NO.	STATION	OFFSET	DESCRIPTION
1	5421+37.20	32.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
2	5421+48.25	32.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
3	5421+80.63	32.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
4	5421+85.30	32.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
5	5422+68.49	32.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.

NOTE: TAPPING SLEEVE AND VALVE PROVIDED BY LINCOLN WATER SYSTEM AND SHALL NOT BE A PAY ITEM.

TAPPING SLEEVE & VALVE

NO.	STATION	OFFSET	DESCRIPTION
6	5423+46.17	32.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
7	5423+49.14	32.00' RT.	1 – 12" x 6" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 6" RETAINER GLANDS, M.J.
8	5423+52.25	32.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.
9	5426+14.68	32.00' RT.	1 – 12" x 4" TAPPING SLEEVE & VALVE, M.J. 1 – 6" TEE BLOCK 1 – 4" RETAINER GLANDS, M.J.

NOTE: TAPPING SLEEVE AND VALVE PROVIDED BY LINCOLN WATER SYSTEM AND SHALL NOT BE A PAY ITEM.



DUCTILE IRON WATER MAIN FITTINGS, M.J.

23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
1	5422+51.36	32.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
2	5423+68.36	32.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
3	5423+76.79	32.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" GRAVITY BLOCK
4	5423+79.77	32.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
5	5423+81.57	32.00' LT.	1 – 12" SOLID SLEEVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
6	5425+11.57	32.00' LT.	1 – 12" SOLID SLEEVE, M.J. 2 – 12" RETAINER GLANDS, M.J.

DUCTILE IRON WATER MAIN FITTINGS, M.J.

23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
7	5425+11.57	32.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" THRUST BLOCK
8	5425+15.36	32.00' LT.	1 – 12" x 45° BEND, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 12" GRAVITY BLOCK
9	5425+18.36	32.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
10	5425+20.00	32.00' LT.	1 – 12" SOLID SLEEVE, M.J. 2 – 12" RETAINER GLANDS, M.J.
11	5426+68.00	32.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK

REFER TO SHEET 49 FOR ADDITIONAL WATER MAIN BUILD NOTES BETWEEN STA. 5421+00 TO STA. 5427+00.

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

WATER MAIN
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\WT_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Water Main\705444WT10.dgn

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601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	51
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

REMOVE WATER MAIN

23.04004 – 23.04036

STATION TO STATION	SIDE	SIZE	LF
5428+28.28 – 5428+31.49	LT.	12"	3

REMOVE & SALVAGE HYDRANT

23.04101

STATION	OFFSET	EA
5427+97.65	29.05' LT.	1

WATER MAIN

23.07004 – 23.07030

NO.	STATION TO STATION	SIDE	SIZE	LF
1	5427+00.00 – 5428+34.36	LT.	12"	133

DIRECTIONAL DRILLING FOR WATER MAIN

20.06106 – 20.06116

NO.	STATION TO STATION	SIDE	SIZE	LF
2	5427+00.00 – 5428+20.00	LT.	12"	120

WATER VALVE AND/OR HYDRANT

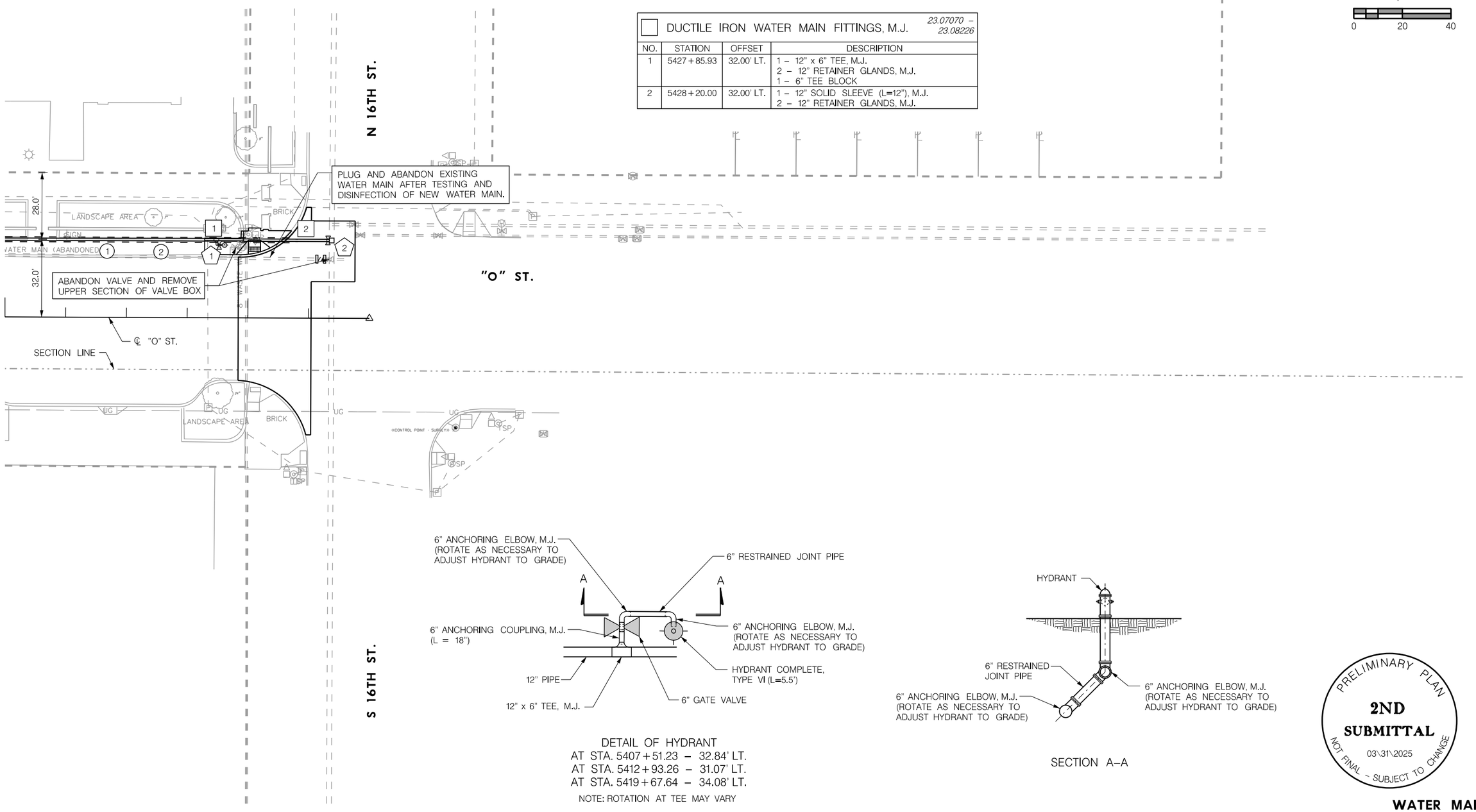
23.08006 – 23.08400

NO.	STATION	OFFSET	DESCRIPTION
1	5427+90.29	29.92' LT.	1 – HYDRANT, COMPLETE (TYPE II, L = 5.5', LT. FACING) 1 – 6" ANCHORING COUPLING, M.J. (L = 18") 1 – 6" GATE VALVE, M.J. 1 – 6" ANCHORING ELBOW, M.J.
2	5428+34.36	32.00' LT.	1 – 24" x 12" TAPPING SLEEVE & VALVE, M.J. 1 – 12" TEE BLOCK 1 – 12" RETAINER GLANDS, M.J.

DUCTILE IRON WATER MAIN FITTINGS, M.J.

23.07070 – 23.08226

NO.	STATION	OFFSET	DESCRIPTION
1	5427+85.93	32.00' LT.	1 – 12" x 6" TEE, M.J. 2 – 12" RETAINER GLANDS, M.J. 1 – 6" TEE BLOCK
2	5428+20.00	32.00' LT.	1 – 12" SOLID SLEEVE (L=12"), M.J. 2 – 12" RETAINER GLANDS, M.J.



DETAIL OF HYDRANT
AT STA. 5407+51.23 – 32.84' LT.
AT STA. 5412+93.26 – 31.07' LT.
AT STA. 5419+67.64 – 34.08' LT.

NOTE: ROTATION AT TEE MAY VARY

SECTION A–A

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

WATER MAIN
"O" STREET

PROJ: _RDB_024-07835_Lincoln_NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\WT_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Water Main 705444WT11.dgn

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601 P ST., SUITE 200
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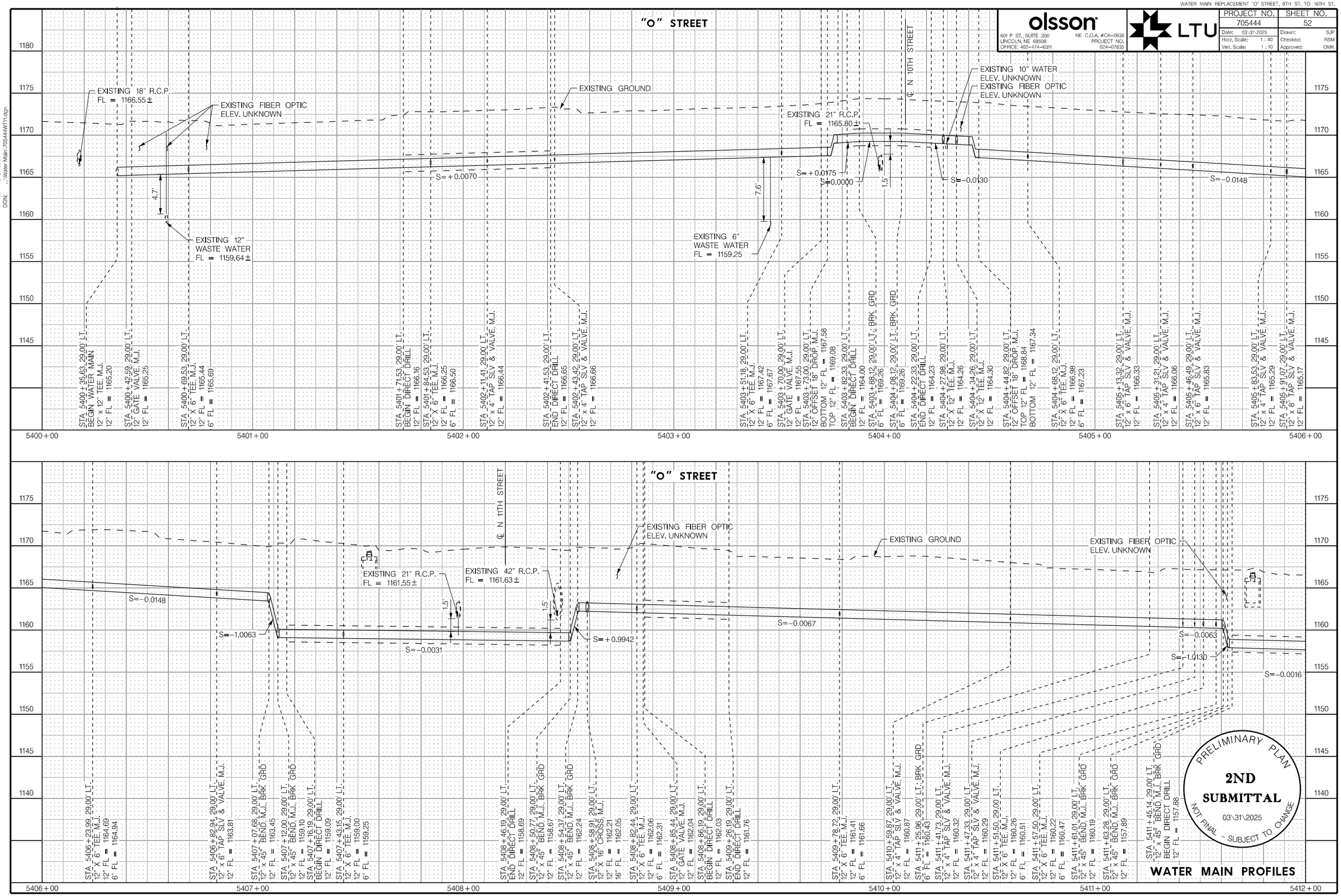
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835
LTU

PROJECT NO.	SHEET NO.
705444	52
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
Vert. Scale: 1 : 10	Approved: OMK



WATER MAIN PROFILES

PROJ: _RDB_024-07835_Lincoln_NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\WT_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Water Main 705444\WT11.dgn

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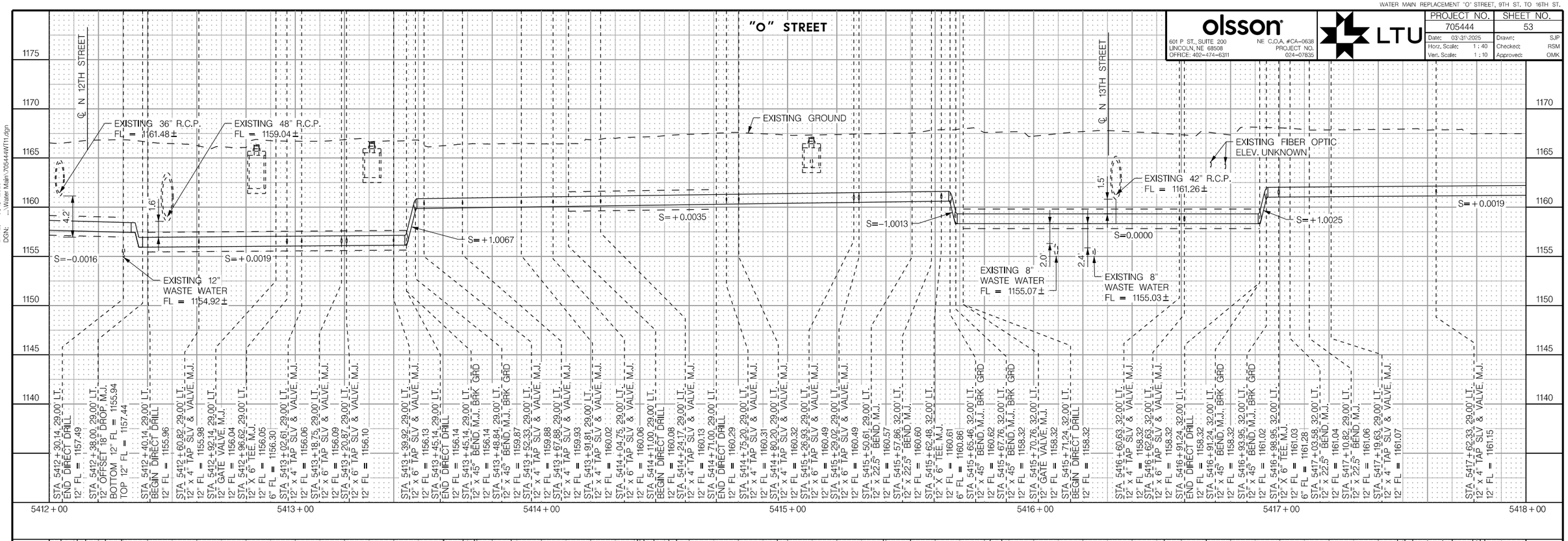
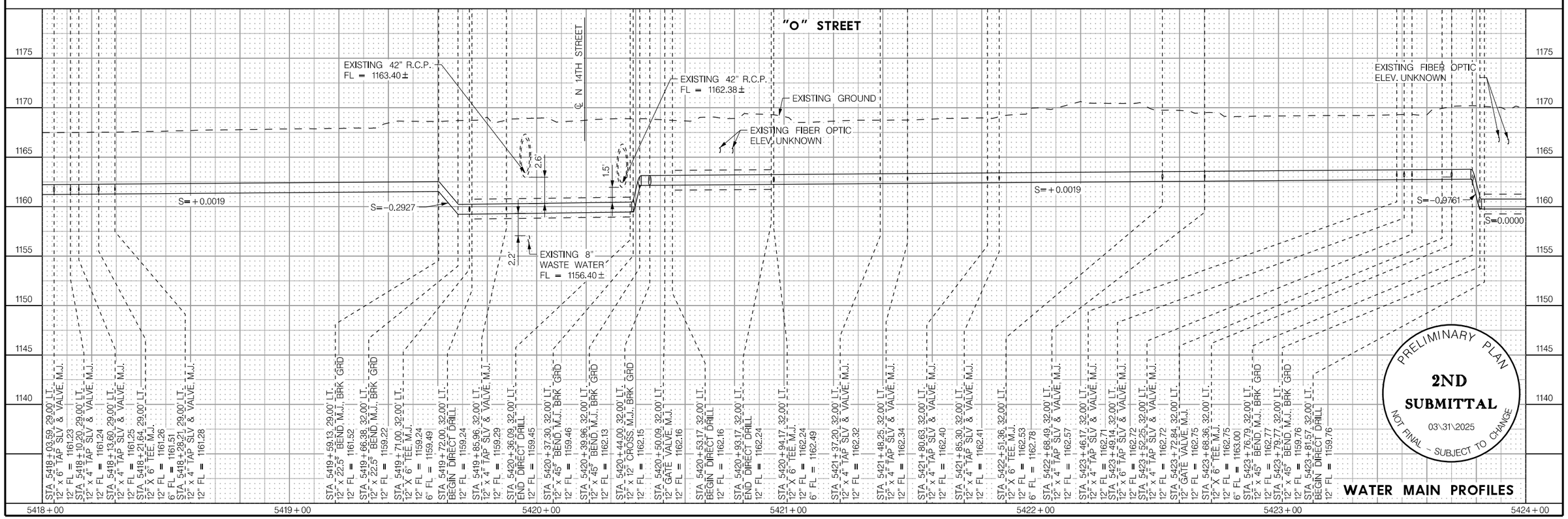
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835
LTU

PROJECT NO.	SHEET NO.
705444	53
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
Vert. Scale: 1 : 10	Approved: OMK





PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL - SUBJECT TO CHANGE

WATER MAIN PROFILES

PROJ: _RDB_024-07835_Lincoln_NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\WT_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\Water Main 705444\WT11.dgn

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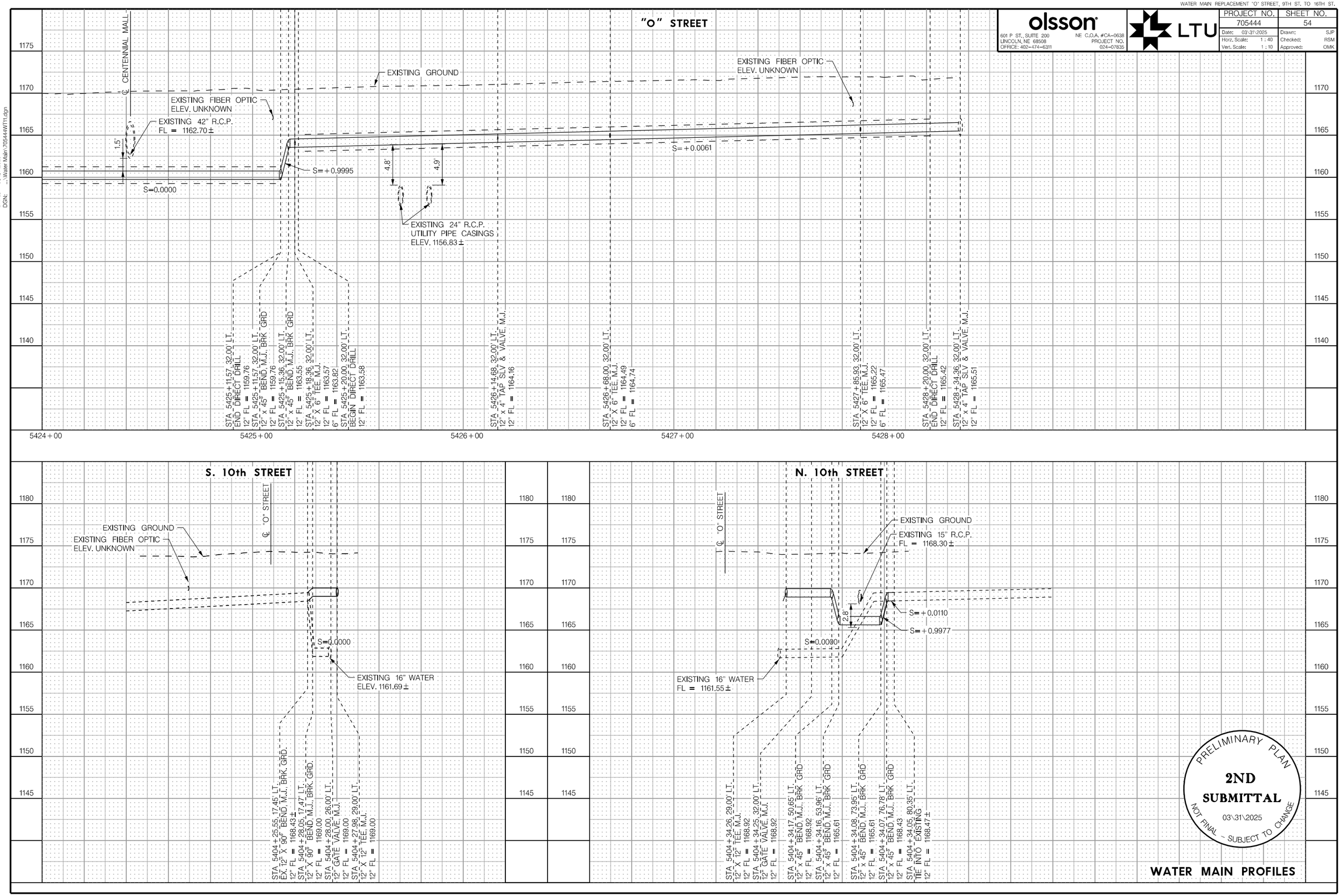
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	54
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
Vert. Scale: 1 : 10	Approved: OMK



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USER: spickus
DATE: 03\31\2025
DGN: ...\Water Main 705444\WT11.dgn

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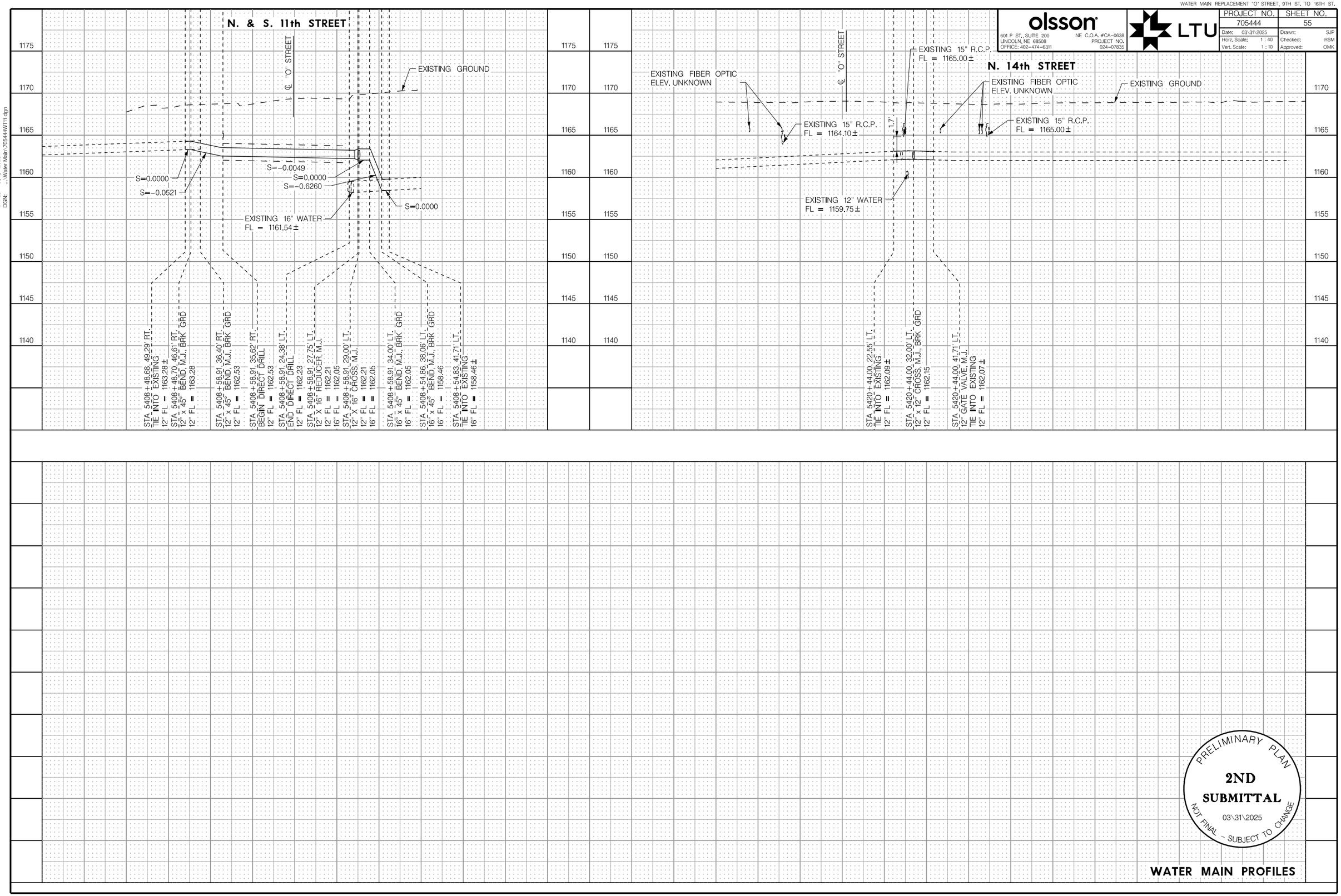
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	55
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
Vert. Scale: 1 : 10	Approved: OMK



PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL - SUBJECT TO CHANGE

WATER MAIN PROFILES

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\PM_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444PM01.dgn

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LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	56
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

13.05004

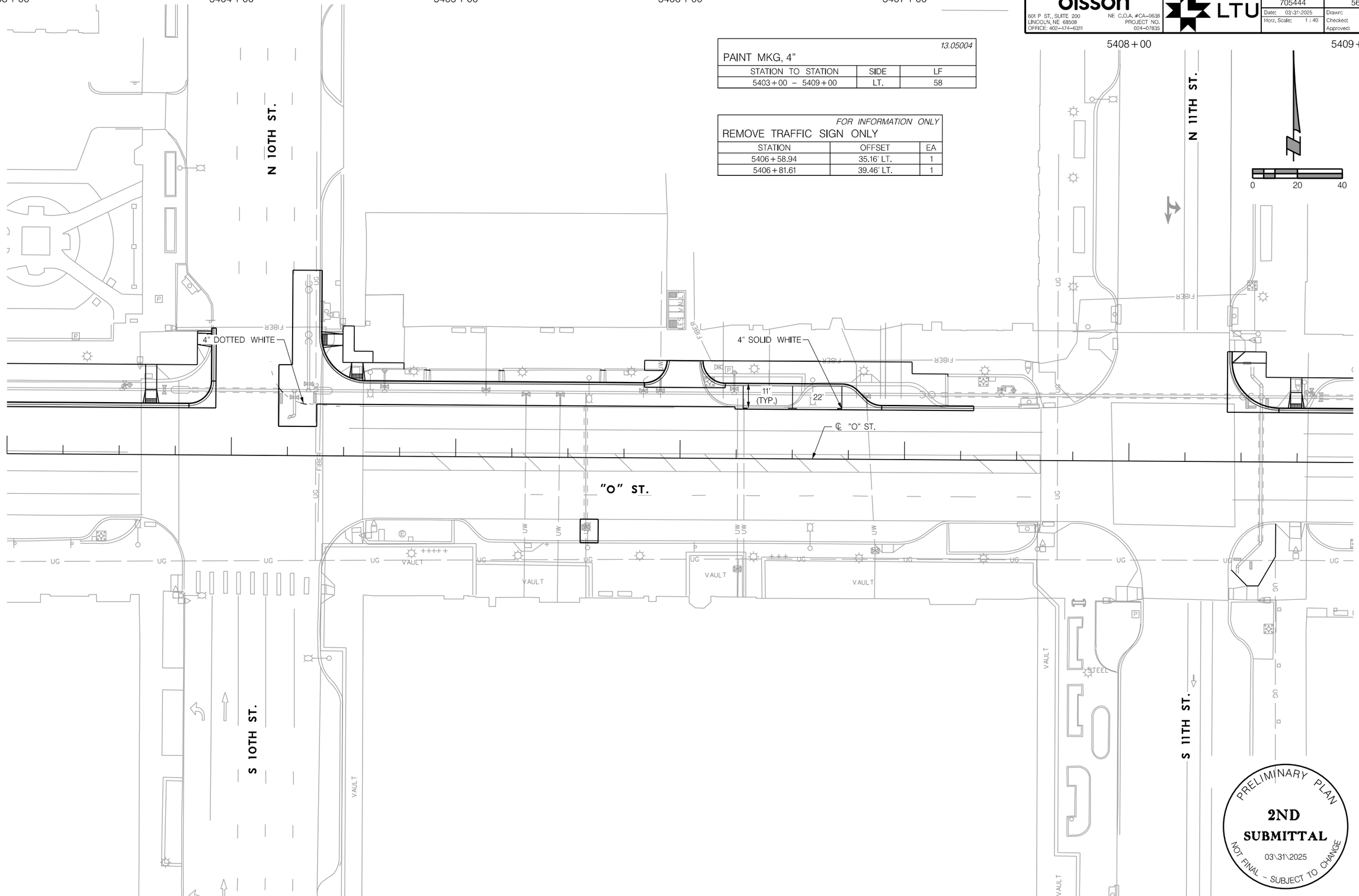
PAINT MKG, 4"

STATION TO STATION	SIDE	LF
5403+00 – 5409+00	LT.	58

FOR INFORMATION ONLY

REMOVE TRAFFIC SIGN ONLY

STATION	OFFSET	EA
5406+58.94	35.16' LT.	1
5406+81.61	39.46' LT.	1



PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

PAVEMENT MARKING & SIGNING
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\PM_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444PM02.dgn

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601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	57
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

5409+00 5410+00 5411+00 5412+00 5413+00 5414+00 5415+00

13.05004

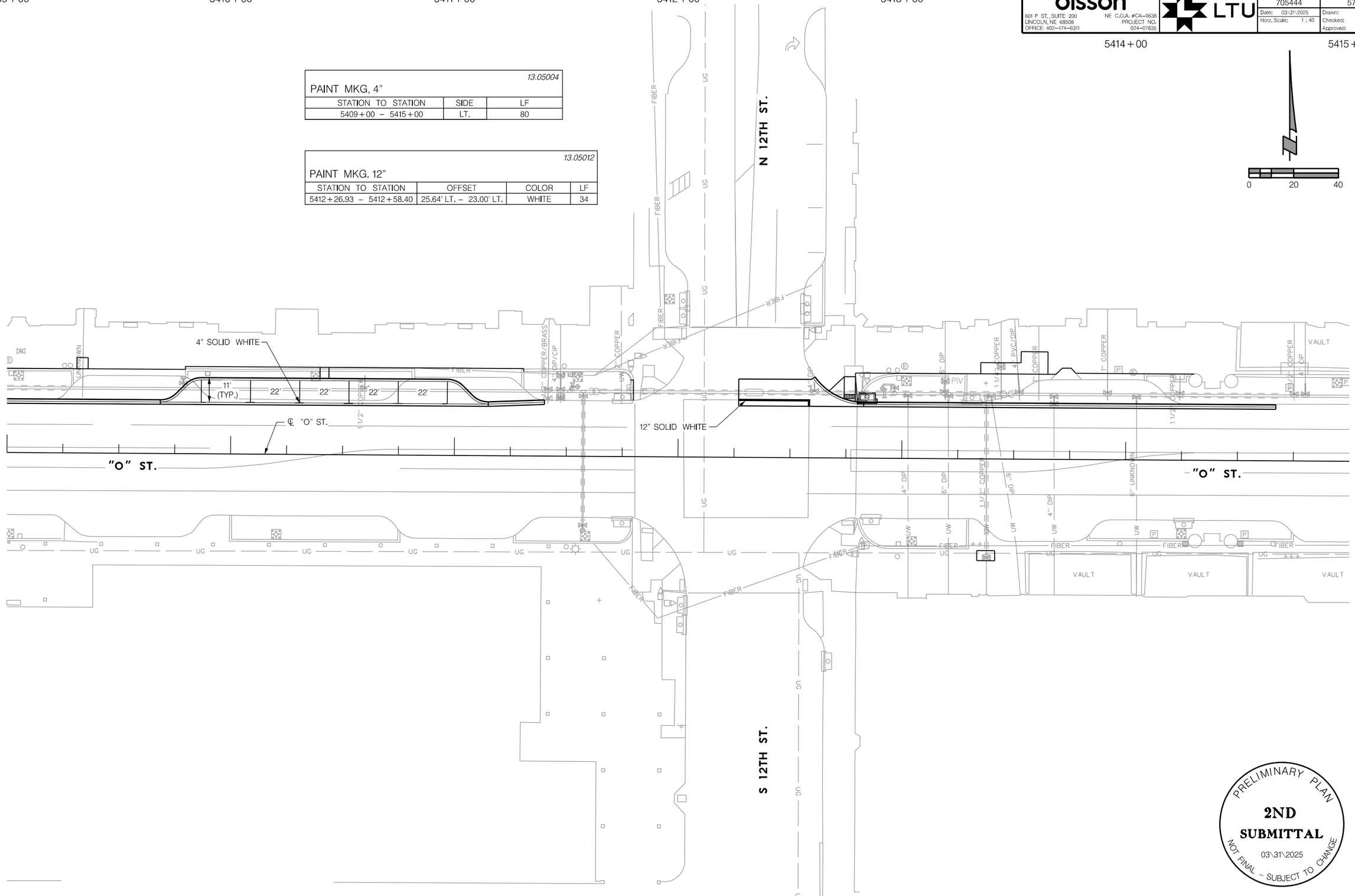
PAINT MKG, 4"

STATION TO STATION	SIDE	LF
5409+00 – 5415+00	LT.	80

13.05012

PAINT MKG, 12"

STATION TO STATION	OFFSET	COLOR	LF
5412+26.93 – 5412+58.40	25.64' LT. – 23.00' LT.	WHITE	34



PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

PAVEMENT MARKING & SIGNING
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\PM_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444PM03.dgn

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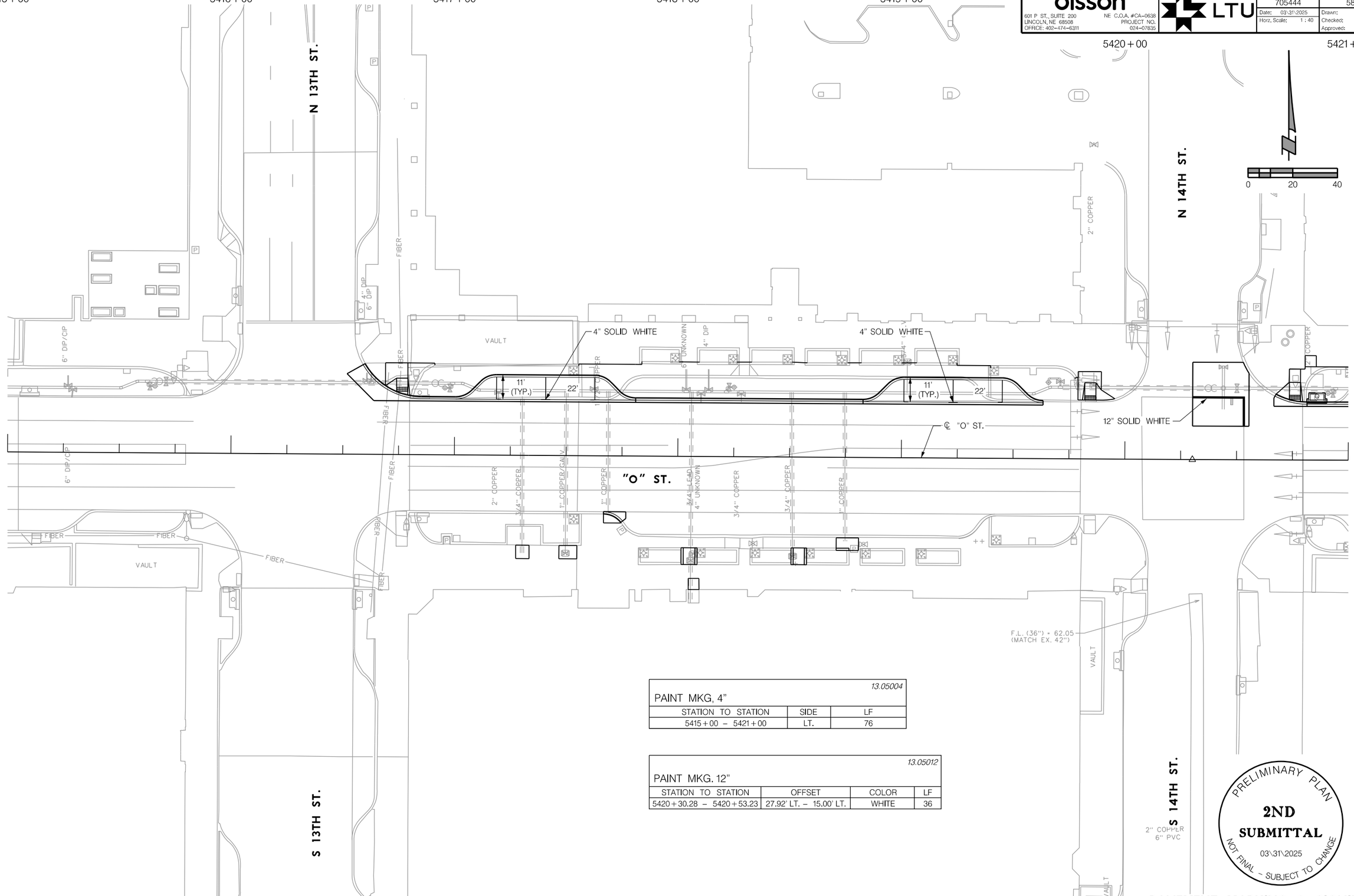
601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	58
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



PAINT MKG, 4"			13.05004
STATION TO STATION	SIDE	LF	
5415+00 – 5421+00	LT.	76	

PAINT MKG. 12"				13.05012
STATION TO STATION	OFFSET	COLOR	LF	
5420+30.28 – 5420+53.23	27.92' LT. – 15.00' LT.	WHITE	36	

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

PAVEMENT MARKING & SIGNING
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\PM_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444PM04.dgn

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601 P ST., SUITE 200
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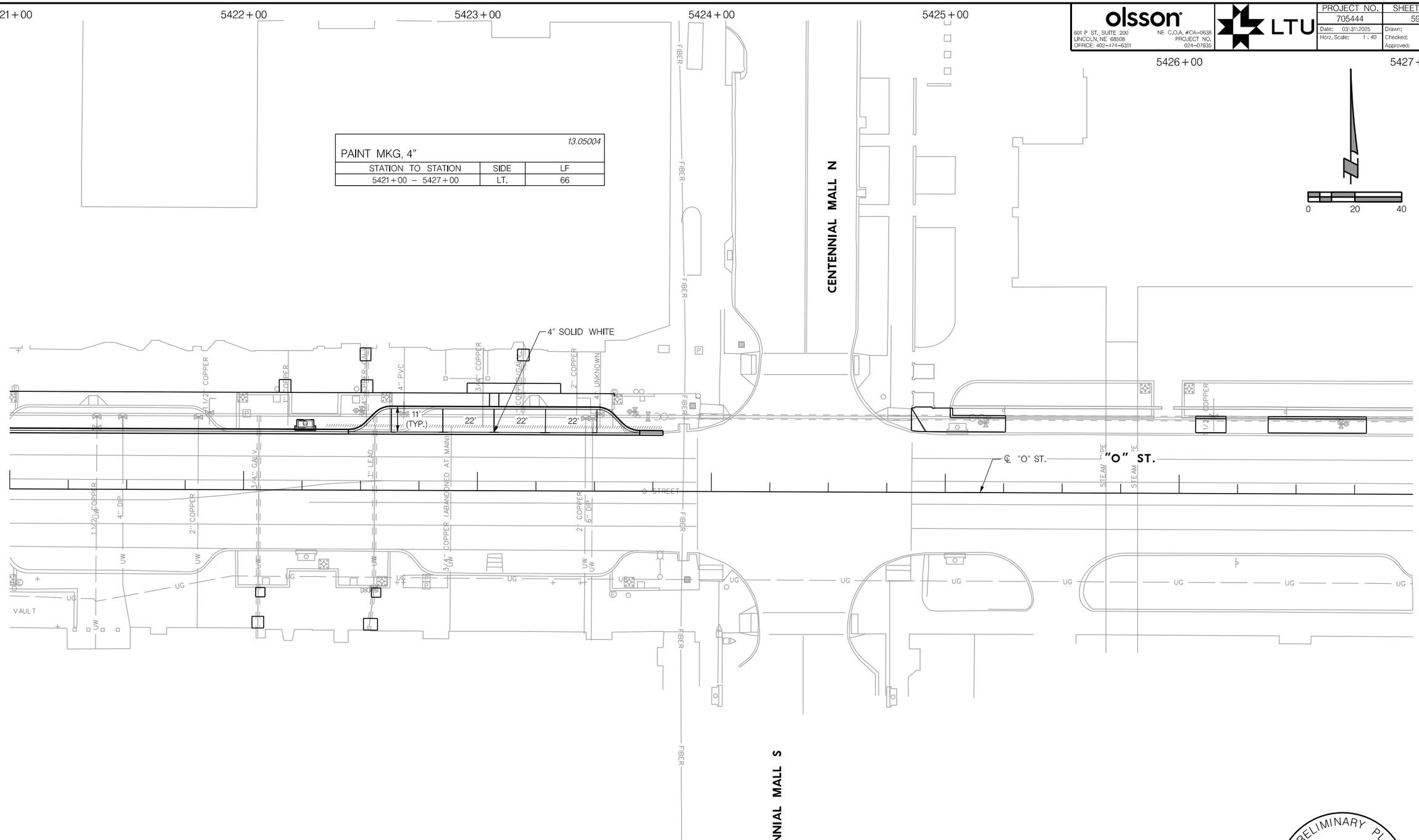
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO. 024-07835

LTU

PROJECT NO.	SHEET NO.
705444	59
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK



PAINT MKG, 4"		13.05004
STATION TO STATION	SIDE	LF
5421+00 – 5427+00	LT.	66

PRELIMINARY PLAN
2ND SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

PAVEMENT MARKING & SIGNING
"O" STREET

PROJ: _RDB_024-07835_Lincoln NE LWS O St Water Main Replace.cfg
PEN: ...\tables\pen\PM_Pentable.tbl
USER: spickus
DATE: 03\31\2025
DGN: ...\705444PM05.dgn

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601 P ST., SUITE 200
LINCOLN, NE 68508
OFFICE: 402-474-6311
NE C.O.A. #CA-0638
PROJECT NO.
024-07835

LTU

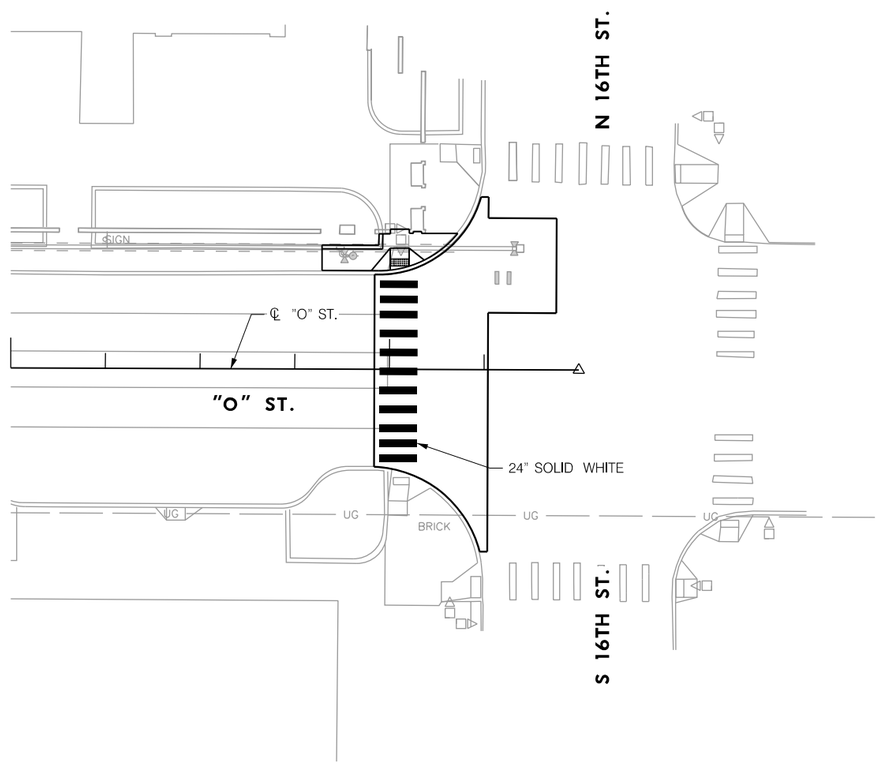
PROJECT NO.	SHEET NO.
705444	60
Date: 03\31\2025	Drawn: SJP
Horz. Scale: 1 : 40	Checked: RSM
	Approved: OMK

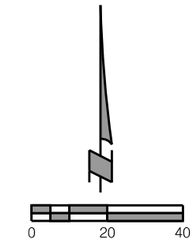
5427+00 5428+00

13.03004

MOLTEN THERMOPLASTIC MKG, 24"

STATION TO STATION	SIDE	LF
5427+00 – 5428+50	LT.	110





PRELIMINARY PLAN
2ND
SUBMITTAL
03\31\2025
NOT FINAL – SUBJECT TO CHANGE

PAVEMENT MARKING & SIGNING
"O" STREET

April 1, 2025

Nebraska Capitol Environs Commission
Planning Department
555 S 10th St, Ste 213
Lincoln, NE 68508

Re: 705444 O Street, 9th to 16th Street Water Main Replacement

Dear Environs Commission:

Attached are the plans and Design Review Application Form for the project. The work includes replacement of existing water main located north of the curb line in O Street. A large part of the water main will be directionally bored with sections of open cut excavation where necessary. Water service lines will be reconnected to the new main. This project is being constructed ahead of the Downtown Corridors Improvements and is currently planned to be constructed starting in June 2025 and be finished in late fall 2025.

Please feel free to call me at 531.207.3244 or email me at mrosso@lincoln.ne.gov if you have any questions or concerns regarding this project.

Sincerely,

Marc E. Rosso, PE
City of Lincoln, Nebraska
Lincoln Transportation & Utilities – Project Delivery

Cc: Owen Killham & Reese Meyer, Olsson

CITY OF LINCOLN

Design Review Application Form

Planning Department / 555 S 10th St, Ste 213 / Lincoln, NE 68508
Phone 402-441-7491 / Fax 401-441-6377
plan@lincoln.ne.gov

Project Information

Project Address:	705444 O Street water main replacement, 9th Street to 16th Street
PID:	
Design Committee	Nebraska Capitol Environs Commission (NCEC)

Contact Information

Property Owner Name:	City of Lincoln
Address	555 South 10th Street, Lincoln, NE 68508
Email	
Phone	
Primary Contact Name:	Marc E. Rosso, PE
Address	949 West Bond Street, Ste. 200
Email	mrosso@lincoln.ne.gov
Phone	531.207.3244
Project Architect (required for any UDC or TIF related projects):	
Address	
Email	
Phone	

Submission Materials

1. **LETTER** stating purpose of application. This statement should include information concerning the reason for the request, scope of the project, and anticipated start and end to the work. The letter should include any deviations requested from the design standards and how the request meets the intent of the standards.

2. **PHOTOGRAPHS** of the existing conditions or location of work to be completed. Include an image taken from adjacent streets to show the impact from the public.

3. **SITE PLAN, FLOOR PLANS, ELEVATIONS, AND/OR RENDERINGS.** Enough detail needs to be included to show how the project will be carried out. For example, a porch replacement would need a detailed drawing or sketch to show the height of railings, how the railings will be assembled, design of columns (tapered, square, rounded, with or without cap and base), type of flooring material, location on the building, etc.

4. **SUPPORTING INFORMATION** such as cut sheets or product samples for proposed materials that describe the product make up and its design. This is not necessary for review of signs.

Some projects may require additional information to what is listed above for the commission to fully review and make a determination on the project request. Applicants should consult with the Planning Department on specific projects.

ONE WAY

O Street
ONE WAY
34 10th
O st

ONE WAY
NO
TURN
ON RED
N 11th St

NO
TURN
ON RED
12th St
S 12th St

1299 O St
Lincoln, Nebraska
Google Street View
Jul 2013
See more dates
13TH ST
ONE WAY
TURNING TRAFFIC MUST YIELD
US-34

FOR A GOOD TIME
CALL BUFFALO BILL:
402-200-3963
Gourmet Grill
OPEN
ONE WAY
14th St
ONE WAY
50

Centennial Mall
1500 E
US-34

incoln, Nebraska
Google Street View
l 2023
See more dates
O St