



## NEBRASKA CAPITOL ENVIRONS COMMISSION

The Nebraska Capitol Environs Commission will hold a meeting on **Friday, January 29, 2021**. The meeting will convene at **8:00 a.m.** in the **City Council Chambers**, Hearing Room 112 on the 1<sup>st</sup> Floor of the County/City Building, 555 S. 10<sup>th</sup> Street (10<sup>th</sup> & "K" Streets), Lincoln, Nebraska.

For more information, please contact the Lincoln/Lancaster County Planning Department at 402-441-7491.

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### AGENDA

January 29, 2021

1. Approval of meeting record of November 20, 2020

#### **Public Hearing & Action**

2. Residential street rehab work by the City of Lincoln in the public right-of-way of Lincoln Mall from S 10<sup>th</sup> to S 14<sup>th</sup> Streets, Goodhue Boulevard from A to H Streets, and S 14<sup>th</sup> Street from A to K Streets in the Nebraska Capitol Environs District. (*Lincoln Transportation & Utilities; UDR20021*)
3. Introduction of the proposal for a new sculpture along Nebraska's Centennial Mall (No Action Required) and a Certificate of Appropriateness for an inscribed plaque along the Spirit of Nebraska Pathway. (*Lincoln Parks & Recreation; UDR21001*)

#### **Discussion**

4. Lincoln Mall design standards for monuments and memorials
5. 2020 Annual Report
6. Miscellaneous & staff report

#### **Accommodation Notice**

*The City of Lincoln complies with Title VI of the Civil Rights Act of 1964 and Section 504 of the Rehabilitation Act of 1973 guidelines. Ensuring the public's access to and participation in public meetings is a priority for the City of Lincoln. In the event you are in need of a reasonable accommodation in order to attend or participate in a public meeting conducted by the City of Lincoln, please contact the Director of Equity and Diversity, Lincoln Commission on Human Rights, at 402-441-7624 as soon as possible before the scheduled meeting date in order to make your request.*

## MEETING NOTES

*Advanced public notice of the Nebraska Capitol Environs Commission meeting was posted on the County-City bulletin board and the Planning Department's website. In addition, a public notice was emailed to the Lincoln Journal Star for publication on Wednesday, November 11, 2020.*

**NAME OF GROUP:** NEBRASKA CAPITOL ENVIRONS COMMISSION

**DATE, TIME AND PLACE OF MEETING:** Friday, November 20, 2020, 8:00 a.m., City Council Chambers, County-City Building, 555 S. 10<sup>th</sup> Street, Lincoln, Nebraska.

**MEMBERS IN ATTENDANCE:** Mary Campbell, Heidi Cuca, Delonte Johnson, Kile Johnson, Ann Post and David Quade; (Karen Nalow absent).

**OTHERS IN ATTENDANCE:** Collin Christopher and Teresa McKinstry of the Planning Department; Matt Hanson of the Capitol Commission; Doug Hanson of the State Building Division; Melissa Gengler with Historic Resources Group; Delaney Nelson with White Lotus Group; Jen Cross and Bill DeRoin of HDR; and other interested parties.

**STATED PURPOSE OF MEETING:** Nebraska Capitol Environs Commission Meeting

Chair Kile Johnson called the meeting to order and acknowledged the posting of the Open Meetings Act in the room.

K. Johnson then called for a motion approving the minutes of the regular meeting held August 28, 2020. Motion for approval made by Cuca, seconded by D. Johnson and carried 5-0: Campbell, Cuca, D. Johnson, K. Johnson and Quade voting 'yes'; Post absent at time of vote; Nalow absent.

### **SKY PARK MANOR REMODEL AND RESTORATIVE WORK TO THE EXTERIOR**

#### **PUBLIC HEARING:**

**November 20, 2020**

Members present: Campbell, Cuca, D. Johnson, K. Johnson, Post and Quade voting 'yes'; Nalow absent.

Melissa Gengler is a historic preservation consultant presenting this project on behalf of the project owners and developers. Sky Park Manor is within the Capitol Environs boundaries and also on the list of National Register of Historic Places. This is primarily a new systems upgrade.



The building was completed in 1963 and hasn't been changed since. It has some very dated systems. One of the more notable exterior changes will be new mechanical systems on the roof which require ventilation. New windows will also be installed on the 12<sup>th</sup> floor. The railing system, which is such a prominent feature of the building, will be restored while also bringing into compliance with relevant codes. The second-floor "Sun and Fun" deck, which includes a pool and a recreation area, will be renovated. And finally, the exterior will be repainted to match its original colors.

Regarding visual changes to the exterior, the roof currently has a sizable penthouse, elevator and mechanical systems. These components are original to the building, which is one of the tallest in the Capitol Environs area. Gengler presented photoshop images of the roof with the new design. The only new features to be added to the roof is a new piece of mechanical equipment and some small vents.

Regarding the interior, the floorplan will remain the same. The owner is exploring historic tax credits for the project, and preserving the floorplan makes that achievable.

K. Johnson asked what changes will be visible on the roof from the Capitol. Gengler responded that the only visible additions to the roof will be one new mechanical unit and the added vents, which will only be visible from the equivalent floors of the Capitol Building. From the street level, those additions will not be visible from a pedestrian point of view.

Gengler continued that several new windows are proposed. All original windows will remain that are undamaged and do not need replaced. Adjacent to the laundry room, they are proposing to expand the area and add new windows for a fitness area. They will match the new windows to existing as close as possible.

Additional cables will be added to the balcony railings to bring them up to code. The railings will be repainted as well. There are panels that divide the balconies, which will be repainted and retained where needed. They intend to stick to the original color palette.

Post noted that some of the porches are enclosed. She inquired if they are individually owned. Gengler stated that they are not owned, but that people just added what they wanted over time. The enclosures will be removed and reopened.

K. Johnson inquired if any additional structural work will be done to the railings. Gengler stated that for exterior tax credits, it must be as original as possible. She showed what the new railings will look like. Additional vertical elements will be added, along with additional horizontal elements to bring the railings to code. The added horizontal element will be a cable rail that will be close to invisible. A lip will also be added to the balcony floor to keep things from rolling off the decks.

Gengler stated that the 2<sup>nd</sup> floor above the parking garage has what was is called a “Sun and Fun” deck. It wraps around the building from the east to the south. The pool is original, and will be retained. There are large concrete planters, as well as a dimensional concrete wall system. The putting green that was part of the original design is gone. It was replaced with a planting area that was removed due to its excess weight. The pool has been leaking and causing damage in the garage. The whole area will be retained and restored. The pool will be rehabbed and new tile added. The green space will remain. The lights fixtures are original. Those will be retained as well. In order to meet code, one more course of CMU (concrete masonry unit) will be added to the wall.

Campbell questioned who is doing the project. Gengler replied Sampson Construction. She also noted the exterior of the building will be repainted to match the original colors, which was an off-white with bluish gray trim.

Quade asked about the location of the new mechanical unit. Gengler pointed out where it would be located. There is CMU around the unit. For historic tax credits, they did not want to see anything added to the existing unit. This will be added and painted out to match the original.

Quade believes it will be good to get rid of the existing balcony enclosures. Gengler agreed. There is not consistency in the appearance.

D. Johnson sees this all as very appropriate. Campbell and Cuca agreed. Post believes it will be great to see it restored to its former glory. K. Johnson agreed as well. It will be nice to see this restored.

Cuca asked about occupancy. Gengler responded it is about half occupied. Tenants will be relocated to one side while the other half is being done and vice versa. She noted there is still a fallout feature in the basement.

**ACTION:**

Cuca moved approval of a Certificate of Appropriateness for the work as proposed, seconded by Post and carried 6-0: Campbell, Cuca, D. Johnson, K. Johnson, Quade and Post voting ‘yes’; Nalow absent.

**PERSHING SITE DISCUSSION:**

Collin Christopher stated that the City has hoped to reuse or redevelop the site as far back as 2014 when the Pershing Center hosted its last concert. Redevelopment of the block was a major focus of the 2018 Downtown Master Plan. This spring, the City received a number of proposals

for redevelopment of the block. The one presented today is what was chosen by the Redevelopment Committee and approved by the Mayor. City staff is currently working with the developer's team to establish a schedule and put forth a redevelopment agreement. This is just a first look at this point, as the project won't be voted on until 2021.

Delaney Nelson, who is representing the developer, gave an overview of the redevelopment. They have been working closely with the City. There is so much history here. For the last 100 years, this has been a community hub. They wanted to think about how they can transform and bring these project components into a development on this site. The project mission is to honor the legacy of Pershing. They want this to be a catalyst project that builds imagination and lifestyle. They thought about what that means to Lincoln, and looked at the Mayor's plan for affordable housing and explored how to implement mixed income, mixed use components to the project, along with a public library. The one hundred proposed units will be affordable. They also want to explore if there is an opportunity to have a wellness or childcare component. Knowing that on-site parking is essential to the project, an underground garage is being proposed. Her favorite part of this project is the integration of greenspace in a downtown project and creating a park-like space. She thinks that is the piece that pulls the project together.

Jen Cross of HDR stated that in their overall thinking about the site, the great view and vista to the Capitol building is key. They went to a large group of community stakeholders and held a workshop earlier this year. They walked the existing site to review opportunities and constraints. They also completed a survey with the stakeholders, and the view of the Capitol came out of that survey as a key issue to address. They looked at other downtown buildings with the group, and the Community Foundation building across the street and the Wells Fargo Bank building ranked high in terms of visual preference. They looked at materials already in use in the Capitol Environs District. They want to create a space that will evolve with the community over time. They are going for a neutral and defined pallet. They also looked at the mural and researched how to reuse it or what to do with it. They looked at how to make art a key component of the project, in one form or another.

Bill DeRoin of HDR was also involved in the charrette. As part of the survey effort, they talked through some aspects of building design and materiality. It was more about finding the right character and features. They identified important elements. Transparency was important, along with blending interior and exterior spaces. They wanted clean lines and forms, simple and elegant, rich and expressive texture. It is important to bring timeless aesthetics to the site. They want this to be enjoyed for years to come. They understand the Capitol Environs guidelines with regard to materials, but there could be some opportunities for high-quality metals as accents to more traditional materials.

Cross showed an aerial rendering of the space. The library would flank the southwest corner. The details of that space have yet to be determined. The building to the north of that would likely

include daycare and an exercise facility. In between those two buildings will be the greenspace. She noted that the intent on Centennial Mall is to build up to the property line and maintain some existing street trees. She believes that respecting those alignments are critical. She showed some areas for possible outdoor seating or dining. She is anticipating the parking being underneath the development.

K. Johnson asked how many cars the parking garage would hold. Cross doesn't have an exact number yet. They are working with the City on what is needed. K. Johnson questioned how much of the block footprint would be parking. Cross believes about 75 percent.

Cross continued that they want to make sure they have access to the wellness center. They don't want to create any additional conflicts with traffic. There could be a possible drop-off/pickup lane for the library.

DeRoin stated that they intend for this project to meet the height requirements of the Capitol Environs District. For the west elevation facing Centennial Mall, they felt it was important to have a strong presence. Greenspace is important to that view. This is the case on the east side as well, which would include more of the residential component. The north elevation reacts strongly to the context of N Street, where there is a bike lane. They saw the opportunity for perhaps a health and wellness center along that end with lots of windows. On the south, they felt it was important to draw people into that site with the library and housing components. Perhaps there could be dining or retail along this end as well, in order to help draw people in. One of the big ideas for the design, as they looked at the greenspace, was to look for ways to keep it activated. He believes the program types they are proposing would allow that to happen. There is the opportunity for concerts or other events. They believe the proposal includes a unique blend of uses and programming opportunities that could be used to promote healthy living and lifestyles. They felt it was important to have a 360-degree view for safety. They want the whole space to be active, and to draw people in. They are building to the height limit, but understand the Capitol view is important. The library on the south corner will give great views. The south and west facing units will have a view to the Capitol. Likewise, the history and impact of the mural is something they want to pay homage to. They will look at how that gets integrated at a later stage of design, but one idea they've considered is perhaps a digital mural or artwork. Resiliency is an important consideration that should be addressed with this design. They want to use long lasting materials, but maintaining some flexibility in the design is important. Sustainability is also key. Not just in terms of building materials and systems, but also in creating and encouraging a healthy lifestyle. Having so many different resources within one block is really important to the success of this project. He wrapped up the presentation by showing a video fly through of the area. He pointed out the different areas of the block. He thanked everyone for their time.

Campbell questioned the library space and greenspace. DeRoin reiterated that this is just initial ideas at this point, but that perhaps there could be greenspace on the roof. The actual library design still needs to go through a process.

Cuca wondered about the potential movie space shown. DeRoin noted it is all conceptual at this point, but that there could be a screen. They haven't worked through the final elements at this point. Cuca asked how many housing units are being proposed. DeRoin replied that they are anticipating about one hundred units.

K. Johnson inquired how many housing units would be affordable. Delaney believes they would all be in the 50-80% range for Area Median Income (AMI). 80% units are consistent with market rate. They will go through a formal market study.

Quade knows the obvious interest is in the library. This is a great vision and hopefully the City can make something like that happen. It looks like a lot of great things can happen here. He is curious how much of the public displays will happen and the height of the building. He is curious if there will be a mechanical element or something on the roof. He imagines something like that will have to be integrated. He would like to keep clean lines on the roof.

Delaney stated the library piece is separate effort. The public art piece will be a longer process. The housing piece could be considered a likely Phase 1 of the project.

Cuca is curious what happens to the existing mural. Cross stated they are looking at options to document the mural in some way. It is possible that it could be reintegrated digitally or reused in smaller pieces. They are looking at all options.

K. Johnson thinks that preserving the mural digitally is a unique aspect.

Post inquired about what funding/financing options are being considered for the affordable housing component. She asked if tax credits, like Low-Income Housing Tax Credits (LIHTC), are being considered. Delaney responded that there are a lot of details to be ironed out yet, but that the LIHTC is one of the options being considered.

K. Johnson would echo Quade's comments about the clean lines of the roof. It would be helpful to keep the roof clean.

Post sees a lot of great things incorporated into this. She is excited to see how it happens.

K. Johnson appreciates the opportunity to view this.

## **2020 ANNUAL REPORT**

Christopher stated that the joint meeting with the Nebraska Capitol Commission for November had been postponed. The plan is to reschedule the joint meeting for December 10, 2020 at 10:00 a.m. at the State Capitol. He doesn't believe a separate Nebraska Capitol Environs Commission meeting will be needed for December. He also stated that the draft for the 2020 NCEC Annual Report had been included in the Commissioners' packets, but since they would be reviewing that report at the joint meeting in December, there was no need to go over it at this time.

There being no further business, the meeting was adjourned at 9:15 a.m.

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To: **Nebraska Capitol Environs Commission**

From: Collin Christopher

Re: Agenda for January 29, 2021

Date: January 21, 2021

## **Item 2: Residential street rehab project near McPhee School**

*(Note: This project was originally reviewed by the Commission at the June 26, 2020. At that time, the Commission did not grant or deny a Certificate of Appropriateness to the project, but instead asked LTU to reconsider their plans to remove pavers along Lincoln Mall and come back to them at a later date. As such, much of the information that follows is copied directly from the original staff memo from June.)*

Lincoln Transportation and Utilities (LTU) is planning a residential street rehab project along Lincoln Mall, S 14<sup>th</sup> Street and Goodhue Boulevard. Typically, a rehab project of this nature includes a 2" mill and asphalt overlay within the existing curb and gutter section. These projects also commonly address ADA compliance of the adjacent sidewalks and curb ramps. Beyond those basic improvements, residential rehab projects like this sometimes take on other planned improvements in order to consolidate efforts and be able to complete everything all at once.

For this particular project, the standard mill and overlay and ADA compliance-related improvements are being undertaken in the following areas:

- Lincoln Mall from S 10<sup>th</sup> to S 14<sup>th</sup> Streets
- S 14<sup>th</sup> Street from A to K Streets
- Goodhue Boulevard from A to H Streets

These improvements are intended to enhance the condition and usability of the affected streets and sidewalks, and should have little to no impact on the visual quality or character of the Capitol Environs District. While the original project presented in June of 2020 included the removal of a number of paver fields running adjacent to ADA curb ramps being replaced along Lincoln Mall, the new proposal being considered appears to preserve these same paver fields.

Another improvement being proposed along Lincoln Mall is the addition of a 6' wide bike lane on each side of the street, providing on-street bicycle access from S 10<sup>th</sup> to S 14<sup>th</sup> Street. The proposed bike lanes will be unprotected and run directly parallel to 12' drive lanes.

The S 14<sup>th</sup> Street block from Lincoln Mall to K Street is also being proposed to undergo an on-street lane reconfiguration. In this case, this existing one-way block would be converted to accommodate two-way traffic. In addition to new lane markings, the angled parking along the west side of S 14<sup>th</sup> Street will need to be flipped to address the change of traffic direction, and the northbound stop sign on S 14<sup>th</sup> Street will be eliminated.





The photographs above show S 14<sup>th</sup> Street, looking north from the Lincoln Mall intersection. The proposed one-way to two-way conversion would include a reconfiguration of the angle parking and the removal of the northbound stop sign.

In reviewing the Capitol Environs Design Standards, *Design Standard 18* and *Guideline 18.5* stand out as relevant to this rehab project:

### **Design Standard 18: General Landscape of All Malls**

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*The landscape of the Capitol Malls should enhance the Capitol setting and vistas:*

- *by providing canopy and definition at the mall edge, but leaving the centers of the malls more open, allowing on-axis views of the Capitol,*
- *by creating a sense of organization and unity through form, color, texture, and spacing that may be lacking in the adjacent architecture,*
- *by establishing a rhythm of visual and physical movement leading ultimately to the Capitol,*
- *by providing seasonal change and interest.*

*There is a delicate balance between a landscape that enhances and one that overwhelms—color and form changes should be in large sweeps and masses to avoid creating small, distracting focal points. The landscape should be bolder and more colorful closest to the Capitol.*

*Facing Capitol Square and the Malls, front yards shall not contain mechanical equipment, above-ground utilities, docks, or unscreened ramps. Architectural or planted screenings may be offered, with maintenance requirements.*

*Active use of the Malls should be encouraged by the selection and placement of landscape elements such as seating.*

The existing decorative pavement treatments at the corners of the Lincoln Mall intersections play a role in the establishment of the rhythm and organization that Design Standard 18 references. Ideally, improvements at these nodes should not disrupt that rhythm and organization. While the original proposal submitted by LTU did appear to deviate from this standard, the revised proposal aims only to preserve or restore the decorative pavement treatments that are already in place.

**Guideline 18.5:**

*Use high quality pavement that is durable, neutral or natural color, able to be matched or replaced locally or regionally; nonslip but not too rough for high heels; textured or patterned subtly. Asphalt or asphalt pavers are not acceptable. Design paved areas to allow replacement or repair to occur in sections that maintain the established pavement pattern.*

Guideline 18.5 references key characteristics of allowed pavement material. It appears that the proposal put forth by LTU meets this guideline.

*Recommended Finding: The proposed residential rehab project generally conforms with the Capitol Environs Design Standards.*

*Recommended Action: Approval of a Certificate of Appropriateness for the residential rehab project.*

**Item 3: Inscribed plaque along the Spirit of Nebraska Pathway**

A plaque inscription along Centennial Mall’s Spirit of Nebraska Pathway is being proposed that will honor Dr. Susan La Flesche Picotte. It is expected to be located toward the middle of the L to M block of Centennial Mall, along the east side. The proposed text will read as follows:

**Dr. Susan La Flesche Picotte**

Daughter of the last formal chief of the Omaha Tribe, Susan graduated in 1889 becoming the first Native American doctor in the U.S. and raised funds to build a hospital in Walthill, NE in 1913.

In addition to the plaque inscription, there is a proposal for the addition of a portrait sculpture of Dr. La Flesche Picotte that would be located behind the walkway on the east side of the same block of Centennial Mall. Lincoln Parks and Recreation is in the process of investigating underground utilities in the area so that the proper backdrop for the sculpture can be designed. For a more complete description of Dr. La Flesche Picotte and the sculpture proposal intended to honor her, please see the attached memo provided by Lincoln Parks and Recreation Director Lynn Johnson. It is expected that this sculpture proposal will come back before the Commission in the coming months to request a Certificate of Appropriateness.

While the plaque and the sculpture are clearly related in their effort to honor Dr. La Flesche Picotte on Centennial Mall, it is staff’s opinion that they can be considered for Certificates of Appropriateness independent of one another. Approval of the plaque inscription, which is what is in front of the Commission this month, is not dependent on approval of the sculpture.

*Recommended Finding: Dr. Susan La Flesche Picotte’s place in Nebraska’s history is significant, and a plaque honoring her is wholly appropriate for the Spirit of Nebraska*

*Pathway, and specifically on the L to M Street Block, whose theme is “Our Home Nebraska.”*

*Recommended Action: Approval of a Certificate of Appropriateness for the proposed plaque inscription honoring Dr. Susan La Flesche Picotte.*

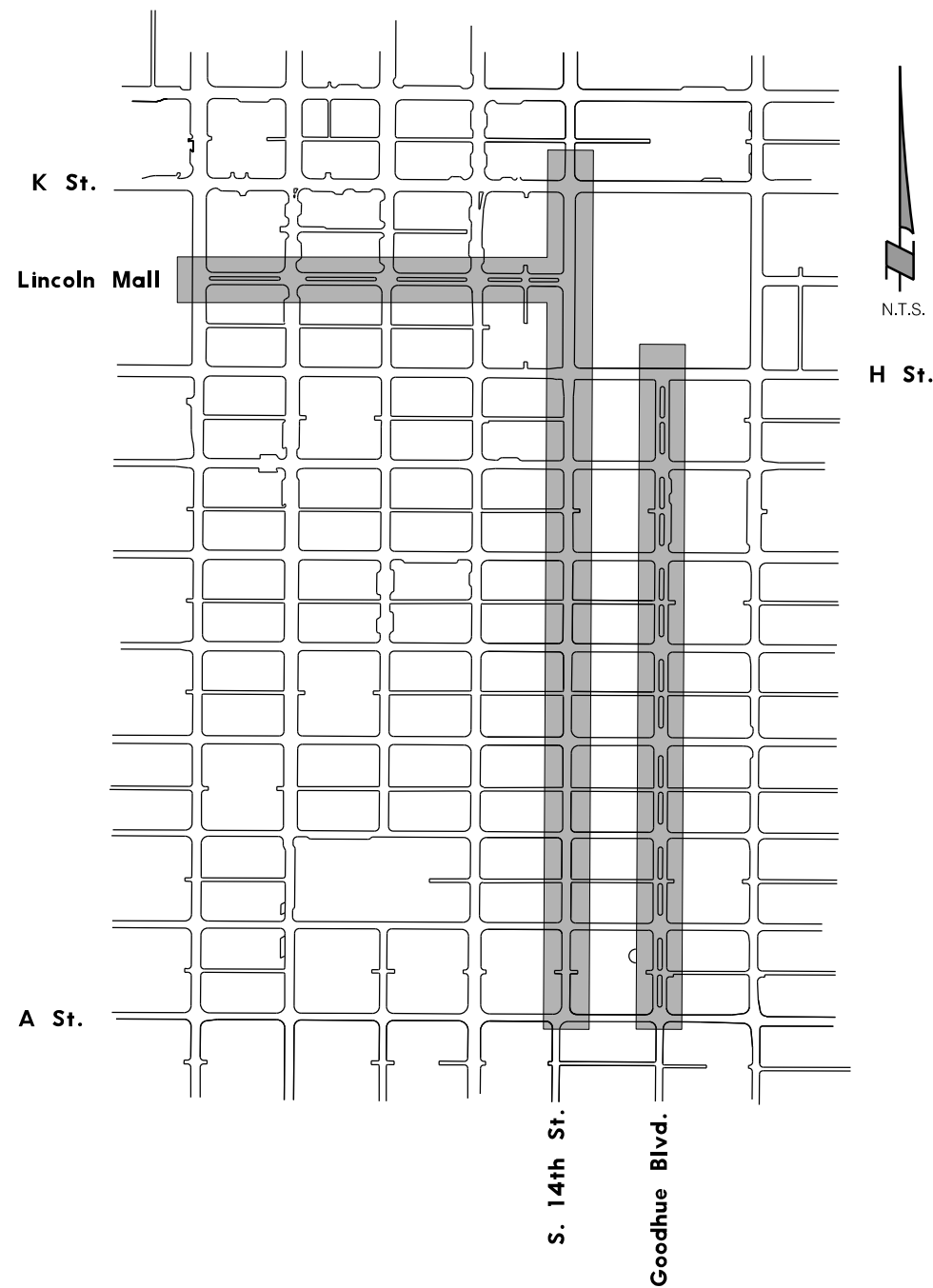
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# CITY OF LINCOLN, NE (2021) PAVING REHABILITATION OF THE McPHEE SCHOOL NEIGHBORHOOD PAVING C.I.P. #705270

	PROJECT NO. 705270	SHEET NO. 1
	Date: 2/17/2021 Horz. Scale: N.T.S.	Drawn: JWH Checked: DKV Approved: DKV

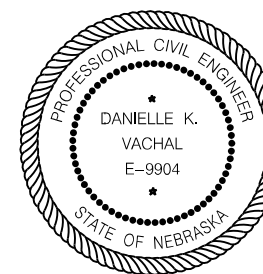
SHT NO.	SHEET INDEX
1	COVER
2	TYPICAL SECTIONS
3	GENERAL NOTES AND SUMMARY OF QUANTITIES
4	HORIZONTAL CONTROL
5-19	CONSTRUCTION AND REMOVAL
20-23	PAVEMENT MARKINGS AND SIGNING



**PRIOR TO CONSTRUCTION:**

CALL : 1-800-331-5666 OR 811 FOR LOCATION OF UNDERGROUND TELEPHONE, ELECTRIC, GAS MAINS, CABLEVISION AND CITY OF LINCOLN UTILITIES.

NOTE: EXISTING UNDERGROUND AND OVERHEAD UTILITIES AND DRAINAGE STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL CONTRACTORS TO EXACTLY LOCATE AND PROTECT EACH EXISTING UTILITY BEFORE AND DURING ACTUAL CONSTRUCTION.



**APPROVED FOR CONSTRUCTION**

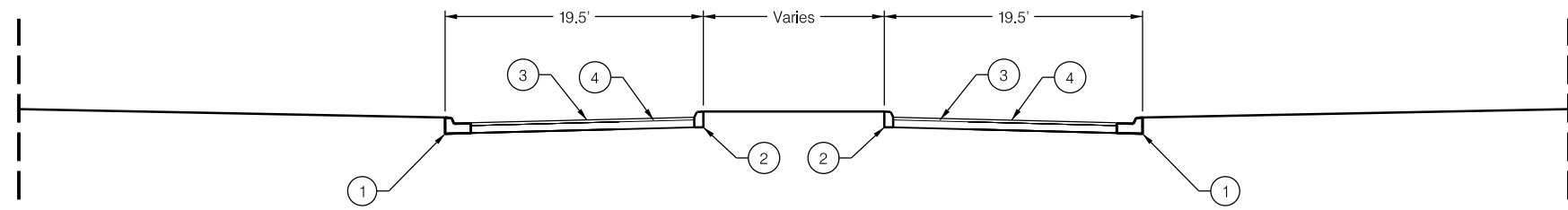
**PROJECT CONTACTS**

Lincoln Transportation & Utilities Project Delivery: Design 949 West Bond, Suite 200. Lincoln, NE 68521 ATTN: DANIELLE K. VACHAL 531-289-8211	Lincoln Transportation & Utilities Traffic Engineering 949 West Bond, Suite 200. Lincoln, NE 68521 ATTN: DANIEL CARPENTER 402-318-2080	Lincoln Transportation & Utilities Project Delivery: Construction 949 West Bond, Suite 200. Lincoln, NE 68521 ATTN: MARC ROSSO 513-207-3244
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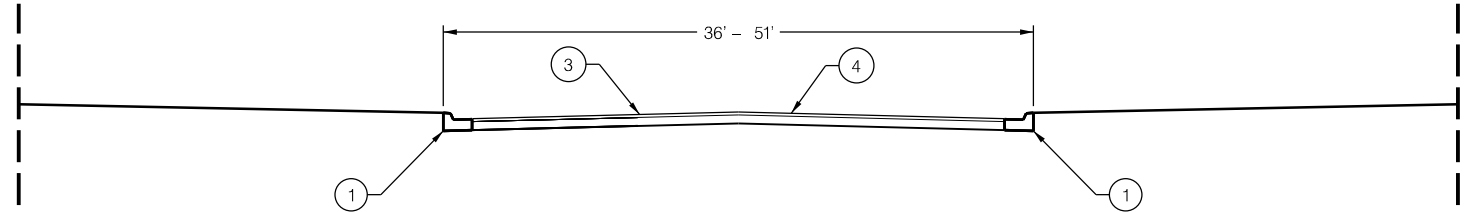
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DATE  
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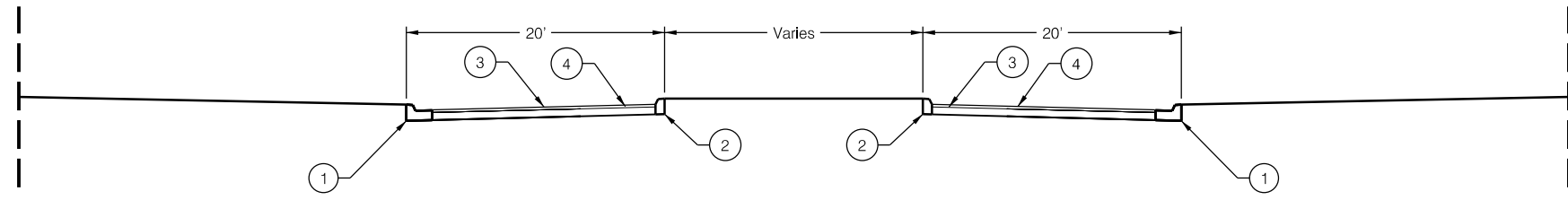
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TYPICAL SECTION OF LINCOLN MALL  
S. 10TH ST. TO S. 14TH ST.



TYPICAL SECTION OF S. 14TH ST.  
A ST. TO K ST.



TYPICAL SECTION OF GOODHUE BLVD  
A ST TO G ST.

- ① EXISTING CURB AND GUTTER TO REMAIN
- ② EXISTING BARRIER CURB TO REMAIN
- ③ MILL EXISTNG ASPHALT SURFACE 2"
- ④ PLACE RESIDENTIAL ASPHALTIC CONCRETE TYPE 2, 2.5' THICK

NOTE: CONTRACTOR SHALL CONSTRUCT WHEEL CHAIR RAMPS WITH TRUNCATED DOMES AT EACH INTERSECTION AS SHOWN ON PLANS AS DIRECTED BY THE PROJECT MANAGER. SEE LSP 600

CONTRACTOR SHALL PROTECT STONE BARRIER CURB ALONG 14th ST. FROM H ST. TO K ST.



TYPICAL SECTIONS

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**LEGEND - SURVEY (UTILITIES)**

- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRICAL RISER
- GAS BLOW OFF
- GAS METER
- GAS VALVE
- GUY POLE
- GUY ANCHOR
- LIGHT POLE
- MONITORING WELL
- ORNAMENTAL LIGHT
- PULL BOX
- SPRINKLER CONTROL BOX
- SPRINKLER HEAD
- STORM DRAINAGE FLARED END SECTION
- STORM DRAINAGE GRATE INLET
- STORM DRAINAGE CURB INLET
- STORM DRAINAGE MANHOLE
- TELEPHONE BOX
- TELEPHONE PULL BOX
- TELEVISION/CABLE RISER BOX
- TRAFFIC SIGNAL
- TRAFFIC CONTROL BOX
- UTILITY POLE
- WASTE WATER MANHOLE
- WATER HYDRANT
- WATER BLOW OFF
- WATER MANHOLE
- WATER PRIVATE WELL
- WATER STOP BOX
- WATER VALVE
- WATER YARD HYDRANT
- 30" RCP STORM DRAINAGE
- 24" WASTE WATER WASTE WATER
- 8" WATER WATER

**LEGEND - SURVEY (NON SURVEYED UTILITIES)**

- UG GAS LINE
- UE ELECTRICAL SERVICE
- OE ELECTRICAL SERVICE OVERHEAD
- UWW WASTE WATER
- 8" RCP USD STORM DRAINAGE
- 8" UW WATER
- UT TELEPHONE LINE
- OT TELEPHONE LINE OVERHEAD
- UFO FIBER OPTIC TELE. LINE
- UTV TELEVISION/CABLE TV LINE
- OTV TELEVISION/CABLE TV LINE OVERHEAD
- TRAFFIC SIGNAL

**LEGEND - SURVEY (MISC.)**

- BENCHMARK
- BORING
- 48" FENCE FENCE - R.O.W. OR WIRE
- 36" FENCE FENCE - CHAIN LINK
- 60" FENCE FENCE - PICKET, PRIVACY OR SPLIT RAIL
- FLOWLINE
- GUARDRAIL
- HEAD STONE
- MAILBOX
- RAILROAD CROSSING SIGNAL
- RAILROAD SWITCH
- RAILROAD TRACKS
- 6" BLOCK WALL RETAINING WALL
- SIGN
- WATER EDGE

**LEGEND - SURVEY (LANDSCAPE)**

- 2' BUSH - CONIFEROUS
- 2' BUSH - DECIDUOUS
- BUSH - CONIFEROUS BUSH ROW
- BUSH - DECIDUOUS BUSH ROW
- 8" STUMP - < 12"
- 18" STUMP - 12" TO 23"
- 28" STUMP - 24" TO 35"
- 38" STUMP - > 36"
- TREE - CONIFEROUS MASS PERIMETER
- 8" TREE - CONIFEROUS < 12"
- 18" TREE - CONIFEROUS 12" TO 23"
- 28" TREE - CONIFEROUS 24" TO 35"
- 38" TREE - CONIFEROUS > 36"
- TREE - CONIFEROUS TREE LINE
- TREE - DECIDUOUS MASS PERIMETER
- 8" TREE - DECIDUOUS < 12"
- 18" TREE - DECIDUOUS 12" TO 23"
- 28" TREE - DECIDUOUS 24" TO 36"
- 38" TREE - DECIDUOUS > 36"
- TREE - DECIDUOUS TREE LINE
- 8" TREE REMOVAL

**LEGEND - EROSION & SEDIMENT CONTROL**

- SYNTHETIC FABRIC SILT FENCE
- SEEDING
- SEEDING
- SODDING
- EROSION CONTROL MAT - STRAW
- EROSION CONTROL MAT - SYNTHETIC
- EROSION CONTROL MAT - BLEND

**LEGEND - RIGHT-OF-WAY**

- LOT CORNER
- RIGHT-OF-WAY
- EXISTING CONTROL ACCESS
- EXISTING PERMANENT EASEMENT
- EXISTING ROW
- PROPERTY LINE

**LEGEND - PROPOSED (MISC.)**

- PAVEMENT & SIDEWALK REMOVAL
- ASPHALT SURFACE
- CONCRETE DRIVEWAY
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE SIDEWALK RAMPS
- CRUSHED ROCK SURFACING
- BRICK PAVERS, SIDEWALK

**GENERAL NOTES:**

TREES TO BE REMOVED ONLY UPON APPROVAL OF THE FIELD ENGINEER.

2020 LINCOLN STANDARD PLANS SHALL BE USED WHERE APPLICABLE. REVISIONS AVAILABLE ON REQUEST FROM ENGINEERING SERVICES OR ARE AVAILABLE ON LINE AT: [lincoln.ne.gov](http://lincoln.ne.gov) keyword: Standard

CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES THROUGH THE USE OF POTHOLING, EXCAVATION, OR OTHER MEANS, PRIOR TO CONSTRUCTION ON THIS PROJECT.

CONTACT TRAFFIC ENGINEERING FOR THE REMOVAL AND RESETTING OF ANY SIGNS

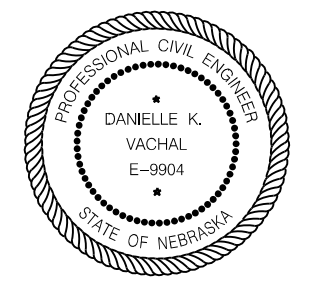
QUANTITIES			
GENERAL			
01.00001	Mobilization	LS	1
01.01001	Const Staking	LS	1
01.04001	Pavt & Sidewalk Rem *	CY	1001
01.06001	Sawing, Type "B" *	LF	8070
01.07001	Sawing, Type "C" *	LF	557
01.11001	Adjust MH to Grade	EA	18
01.13001	Adjust Water Valve Box to Grade	EA	26
PAVING			
04.09304	Conc. Sidewalk, 4" *	SF	7118
04.09306	Conc. Sidewalk, 6" *	SF	2010
04.09308	Conc. Sidewalk, 8" *	SF	3476
04.09405	Conc. Driveway, 5" *	SF	500
04.09601	Combined Curb & Gutter *	LF	1086
04.09602	Conc Barrier Curb (9"x20")*	LF	33
04.10006	PCC Alley Pav, 6"	SF	40
04.11001	Detectable Warning Panels	SF	712
05.07006	Conc. Base, LB-3500, 6" *	SY	3759
06.04000	Surface Milling	SY	37575
06.06002	Asphaltic Concrete, Type 2	TON	5636
07.08030	Modular Block Retaining Wall *	SF	200
PAVEMENT MARKINGS			
13.02001	Preformed Thermoplastic Pavement Markings, Bike Arrow	EA	8
13.02001	Preformed Thermoplastic Pavement Markings, Bike End	EA	2
13.02001	Preformed Thermoplastic Pavement Markings, Bike	EA	10
13.03004	Molten Thermoplastic Pavement Marking, 4"	LF	1999
13.03006	Molten Thermoplastic Pavement Marking, 6"	LF	4701
13.03024	Molten Thermoplastic Pavement Marking, 24"	LF	1160
TRAFFIC CONTROL			
15.09001	Traffic Control for Construction	LS	1

QUANTITIES			
STORM DRAINAGE			
21.08006	Storm Drain Inlet Top Only, 72"	EA	1
21.13006	Remove Existing Inlet Top Only	EA	1
EROSION CONTROL			
30.07002	Seeding, Type B	AC	0.1
MISCELLANEOUS			
50.00015	Contractor Quality Control Program	LS	1
50.00040	Concrete Milling	SY	246
50.00045	Brick Pavers, Sidewalk	SF	2208
50.00050	Dump Truck, 10CY	HRS	20
50.00050	Skid Loader	HRS	20
50.00050	Front End Loader, 3CY	HRS	20

\* INCLUDES ALLOWANCE FOR QUANTITIES TO BE USED AS DIRECTED BY THE CITY'S PROJECT MANAGER.


QUANTITIES AND LOCATIONS ON PLANS ARE ESTIMATES ONLY. ACTUAL REPAIR AREAS WILL BE MARKED BY CITY STAFF

Portions of N. 14th between H St. and K St. are full depth concrete and will require Concrete Surface Milling



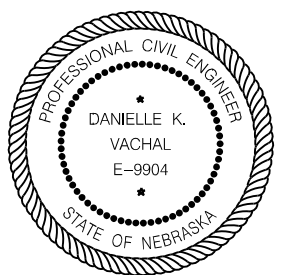
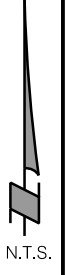
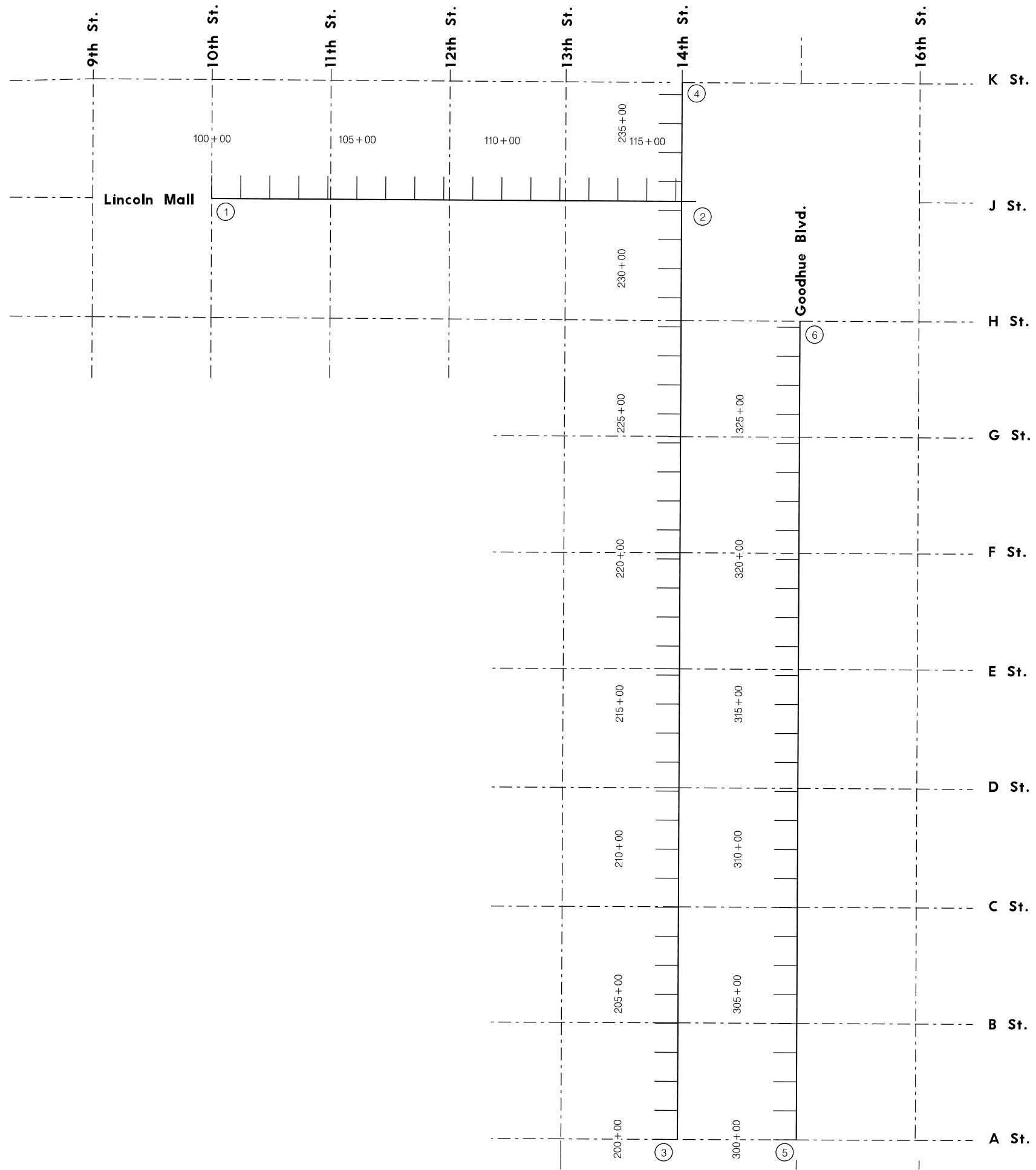
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 DGN: ..\Sheets\General\705270-H001.DGN

	PROJECT NO.	SHEET NO.
	705270	4
Date: 2/17/2021	Drawn: JWH	
Horz. Scale: N.T.S.	Checked: DKV	
	Approved: DKV	

119-C-148

- Horizontal Control Lincoln Mall
- ① P.O.B. STA. 100+00.00 @ S. 10th St. & Lincoln Mall  
N=203,334.9807, E=158,784.9647
  - ② P.O.E. STA. 116+70.00 @ Lincoln Mall  
N=203,324.1130, E=160,454.9308
- S. 14th St.
- ③ P.O.B. STA. 200+00.00 @ S. 14th St. & A St.  
N=200,092.4941, E=160,390.0681
  - ④ P.O.E. STA. 236+41.49 @ S. 14th St. & K St.  
N=203,733.9429, E=160,406.9615
- Goodhue Blvd.
- ⑤ P.O.B. STA. 300+00.00 @ Goodhue Blvd. & A St.  
N=200,090.8700, E=160,799.9630
  - ⑥ P.O.E. STA. 328+21.09 @ Goodhue Blvd. & H St.  
N=202,911.9290, E=160,812.8931



**HORIZONTAL CONTROL**

119-C-148



100+00

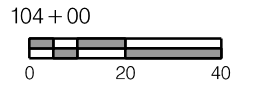
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102+00

103+00



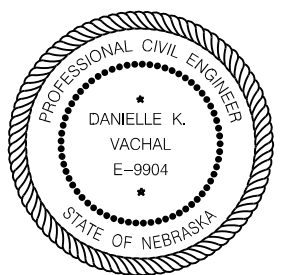
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Date: 2/17/2021	Drawn: JWH
Horz. Scale: 1/40	Checked: DKV
	Approved: DKV



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 USER: SIC,JWH  
 DATE: 1/19/2021  
 DGN: ..\705270\CR01.DGN



Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	48	CY
1.06001	Sawing, Type B	408	LF
1.07001	Sawing, Type C	45	LF
1.13001	Adjust Water Valve Box to Grade	2	EA
4.09304	Concrete Sidewalk, 4"	52	SF
4.09306	Concrete Sidewalk, 6"	242	SF
4.09308	Concrete Sidewalk, 8"	256	SF
4.09601	Combined Curb & Gutter	62	LF
4.11001	Detectable Warning Panel	40	SF
5.07005	Concrete Base, 6" LB-3500	197	SY
6.04000	Surface Milling	1972	SY
6.06002	Asph Conc, Type 2	296	TN
50.00045	Brick Pavers, Sidewalk	242	SF



CONSTRUCTION AND REMOVAL

119-C-148

119-C-148



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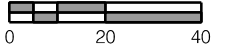
106+00

107+00

108+00

<b>ALTU</b>	PROJECT NO.	SHEET NO.
	705270	6
Date: 2/17/2021	Drawn: JWH	
Horz. Scale: 1:40	Checked: DKV	
	Approved: DKV	

109+00



Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	72	CY
1.06001	Sawing, Type B	568	LF
1.07001	Sawing, Type C	30	LF
1.13001	Adjust Water Valve Box to Grade	1	EA
4.09304	Concrete Sidewalk, 4"	103	SF
4.09306	Concrete Sidewalk, 6"	454	SF
4.09308	Concrete Sidewalk, 8"	254	SF
4.09601	Combined Curb & Gutter	83	LF
4.11001	Detectable Warning Panel	56	SF
5.07006	Concrete Base, 6" LB-3500	265	SY
6.04000	Surface Milling	2652	SY
6.06002	Asph Conc, Type 2	398	TN
50.00045	Brick Pavers, Sidewalk	652	SF



**CONSTRUCTION AND REMOVAL**

119-C-148

119-C-148



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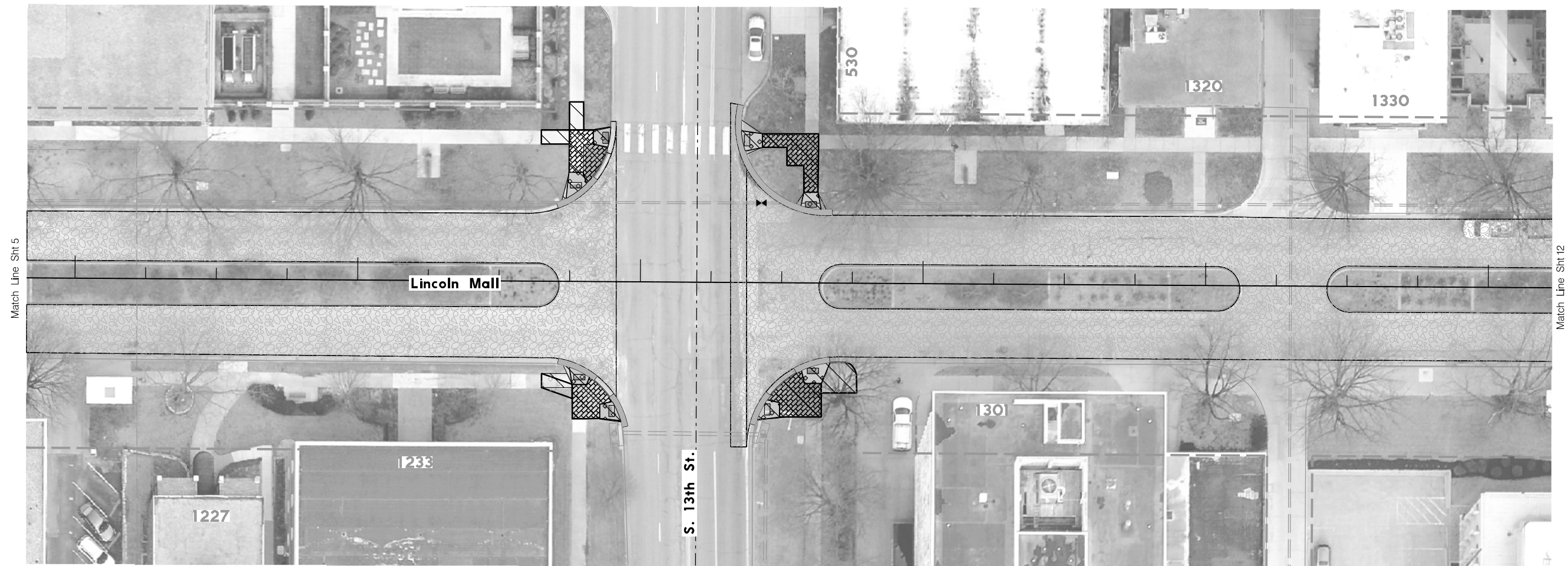
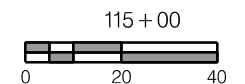
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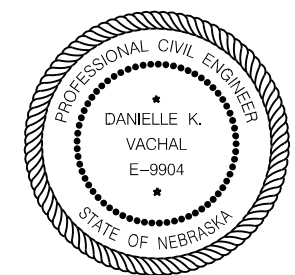
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705270	7
Date: 2/17/2021	Drawn: JWH
Horz. Scale: 1/40	Checked: DKV
	Approved: DKV



Match Line Sht 5

Match Line Sht 12

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	65	CY
1.06001	Sawing, Type B	613	LF
1.07001	Sawing, Type C	41	LF
1.13001	Adjust Water Valve Box to Grade	1	EA
4.09304	Concrete Sidewalk, 4"	273	SF
4.09306	Concrete Sidewalk, 6"	738	SF
4.09308	Concrete Sidewalk, 8"	300	SF
4.09601	Combined Curb & Gutter	134	LF
4.11001	Detectable Warning Panel	64	SF
5.07006	Concrete Base, 6" LB-3500	219	LF
6.04000	Surface Milling	2187	SY
6.06002	Asph Conc, Type 2	328	TN
50.00045	Brick Pavers, Sidewalk	738	SF



**CONSTRUCTION AND REMOVAL**

8P-C-148

119-C-148



200+00

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PROJECT NO.	SHEET NO.
705270	8
Date: 2/17/2021	Drawn: JWH
Horz. Scale: 1:40	Checked: DKV
	Approved: DKV

204+00

205+00

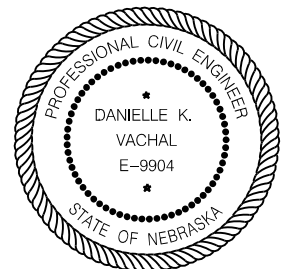


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 DATE: 1/19/2021  
 DGN: ..705270CR04.DGN



Note:  
 The Contractor shall use caution during surface milling in S 14th St. due to brick paving under the existing asphalt

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	36	CY
1.06001	Sawing Type "B"	364	LF
1.11001	Adjust MH to Grade	1	EA
1.13001	Adjust Water Valve Box to Grade	2	EA
5.07006	Concrete Base, 6" LB-3500	182	SY
6.04000	Surface Milling	1824	SY
6.06002	Asph Conc, Type 2	274	TN



CONSTRUCTION AND REMOVAL

119-C-148

119-C-148



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206+00

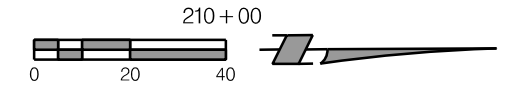
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PROJECT NO. 705270	SHEET NO. 9
Date: 2/17/2021	Drawn: JWH
Horz. Scale: 1/40	Checked: DKV
	Approved: DKV



Additional sidewalk repair:  
 1123/1125 S. 14th (240 SF)  
 As directed by the  
 Project Manager

Note:  
 The Contractor shall use caution  
 during surface milling in S 14th St.  
 due to brick paving under the  
 existing asphalt

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	40	CY
1.06001	Sawing, Type B	364	LF
1.07001	Sawing, Type C	24	LF
4.09304	Concrete Sidewalk, 4"	240	SF
5.07006	Concrete Base, 6" LB-3500	179	SY
6.04000	Surface Milling	1789	SY
6.06002	Asph Conc, Type 2	268	TN



**CONSTRUCTION AND REMOVAL**

8P-C-148

119-C-148



211+00

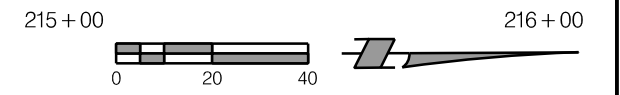
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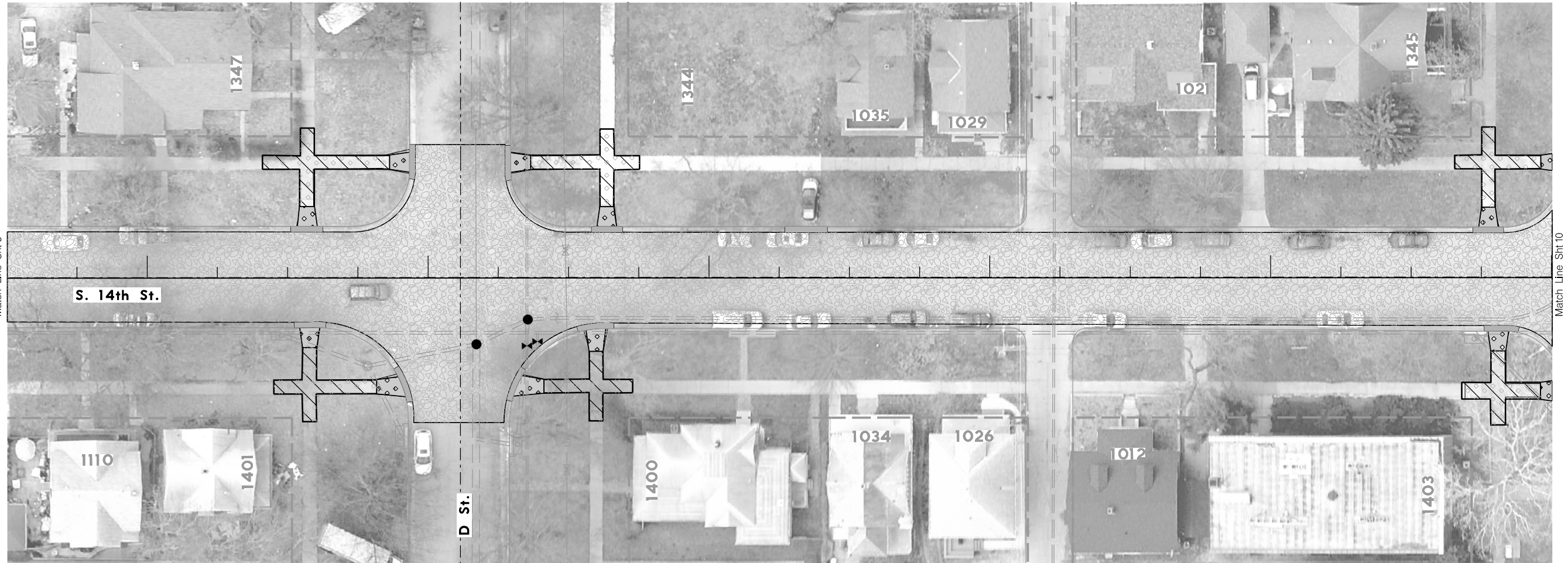
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PROJECT NO.	SHEET NO.
705270	10
Date: 2/17/2021	Drawn: JWH
Horz. Scale: 1"=40'	Checked: DKV
	Approved: DKV



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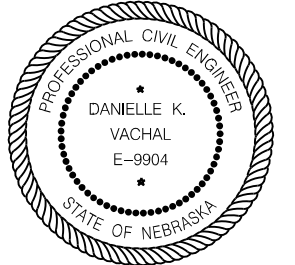


Match Line Sht 8

Match Line Sht 10

Note:  
 The Contractor shall use caution during surface milling in S 14th St due to brick paving under the existing asphalt

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	91	CY
1.06001	Sawing Type "B"	504	LF
1.07001	Sawing Type "C"	61	LF
1.11001	Adjust MH to Grade	2	EA
1.13001	Adjust Water Valve Box to Grade	2	EA
4.09304	Conc Sidewalk 4"	1723	SF
4.09308	Conc Sidewalk 8"	497	SF
4.09601	Combined Curb Gutter	134	LF
4.11001	Detectable Warning Panel	80	SF
5.07006	Concrete Base, 6" LB-3500	232	SY
6.04000	Surface Milling	2315	SY
6.06002	Asph Conc, Type 2	347	TN



**CONSTRUCTION AND REMOVAL**

8P1-C-148

119-C-148



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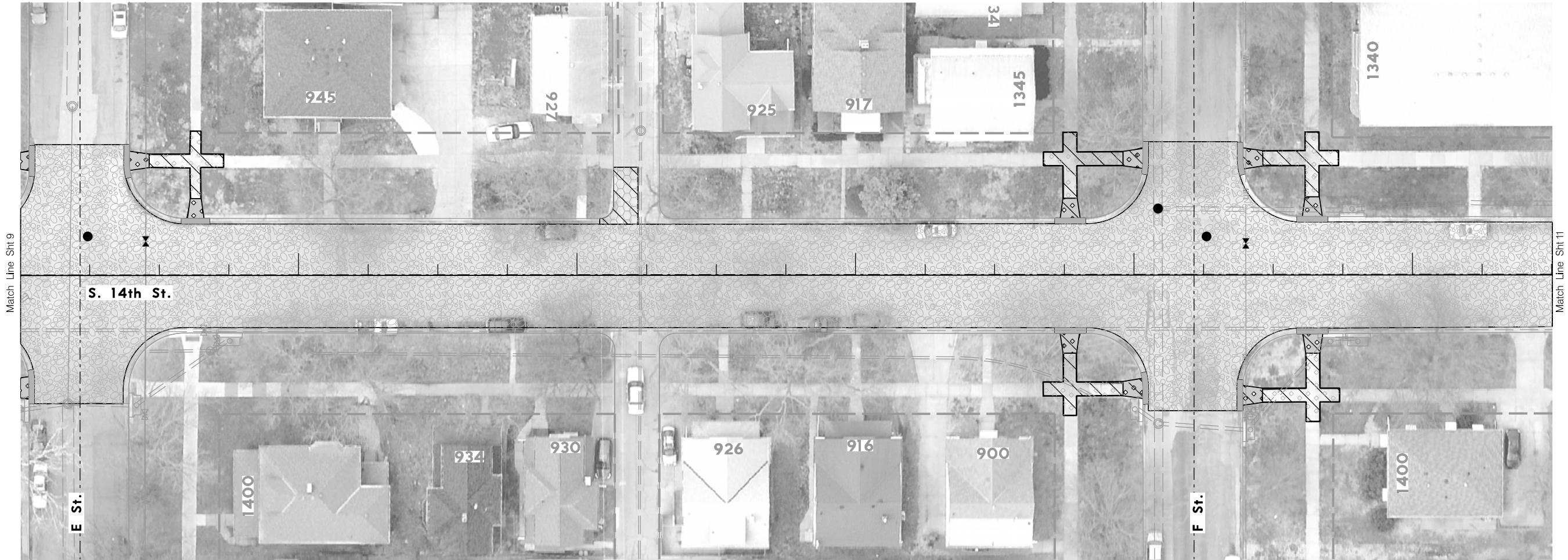
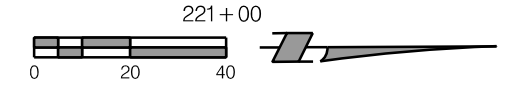
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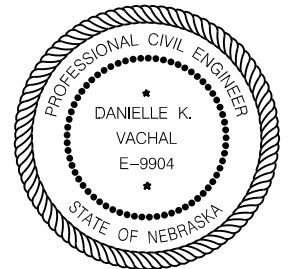


PROJECT NO.	SHEET NO.
705270	11
Date: 2/17/2021	Drawn: JWH
Horz. Scale: 1/40	Checked: DKV
	Approved: DKV



Note:  
 The Contractor shall use caution during surface milling in S 14th St due to brick paving under the existing asphalt

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	94	CY
1.06001	Sawing Type "B"	633	LF
1.07001	Sawing Type "C"	49	LF
1.11001	Adjust MH to Grade	3	EA
1.13001	Adjust Water Valve Box to Grade	2	EA
4.09304	Conc Sidewalk 4"	1141	SF
4.09308	Conc Sidewalk 8"	451	SF
4.09601	Combined Curb Gutter	135	LF
4.10006	PCC Alley Pav, 6"	22	SY
4.11001	Detectable Warning Panel	96	SF
5.07006	Concrete Base, 6" LB-3500	277	SY
6.04000	Surface Milling	2770	SY
6.06002	Asph Conc, Type 2	415	TN



**CONSTRUCTION AND REMOVAL**

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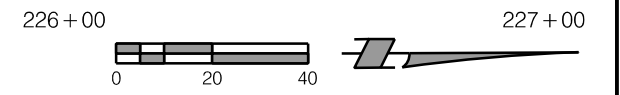
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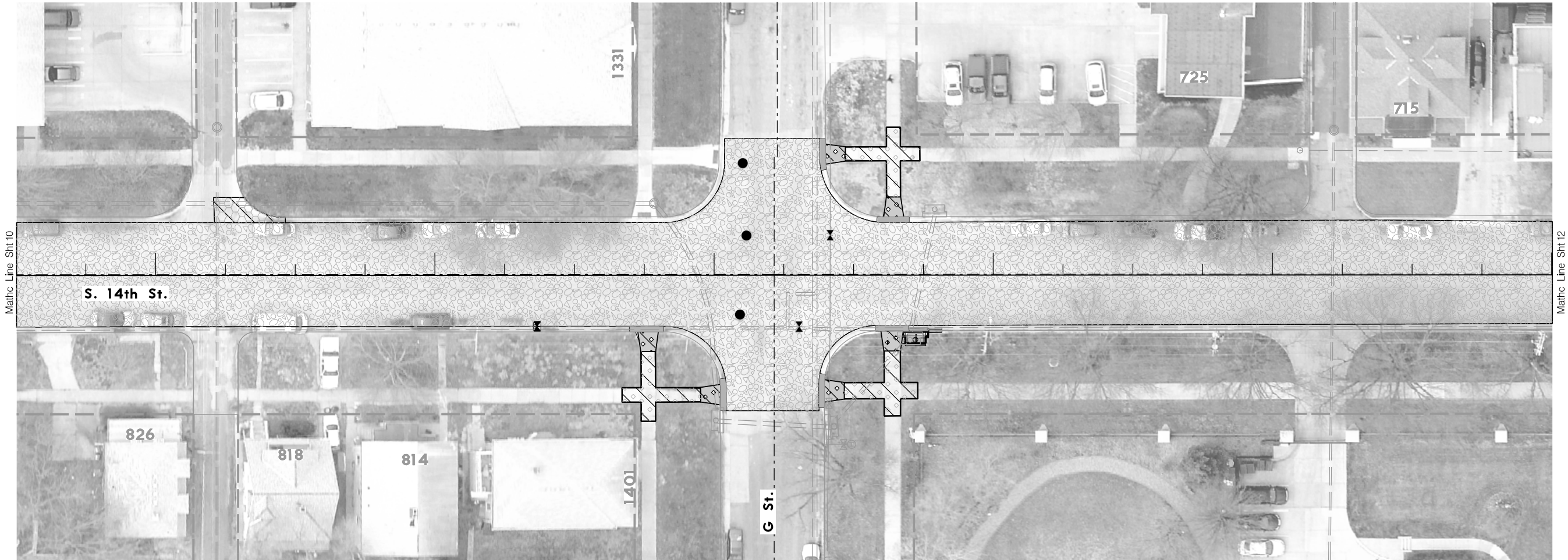


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Horz. Scale: 1"=40'	Checked: DKV
	Approved: DKV



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119-C-148



Mathc Line Sht 10

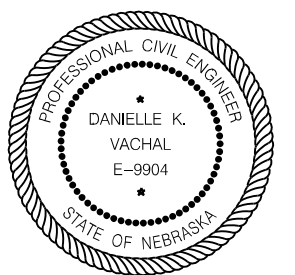
Mathc Line Sht 12

**S. 14th St.**

**G St.**

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	75	CY
1.06001	Sawing Type "B"	554	LF
1.07001	Sawing Type "C"	33	LF
1.11001	Adjust MH to Grade	3	EA
1.13001	Adjust Water Valve Box to Grade	3	EA
4.09304	Conc Sidewalk 4"	740	SF
4.09308	Conc Sidewalk 8"	266	SF
4.09601	Combined Curb Gutter	70	LF
4.10006	PCC Alley Pav, 6"	18	SF
4.11001	Detectable Warning Panel	48	SF
5.07006	Concrete Base, 6" LB-3500	254	SY
6.04000	Surface Milling	2539	SY
6.06002	Asph Conc, Type 2	381	TN
7.08030	Modular Block Retaining Wall	100	SF
21.08006	Storm Drain Inlet Top Only, 72"	1	EA
21.13006	Remove Existing Inlet Top Only	1	EA

Note:  
The Contractor shall use caution during surface milling in S 14th St due to brick paving under the existing asphalt



**CONSTRUCTION AND REMOVAL**

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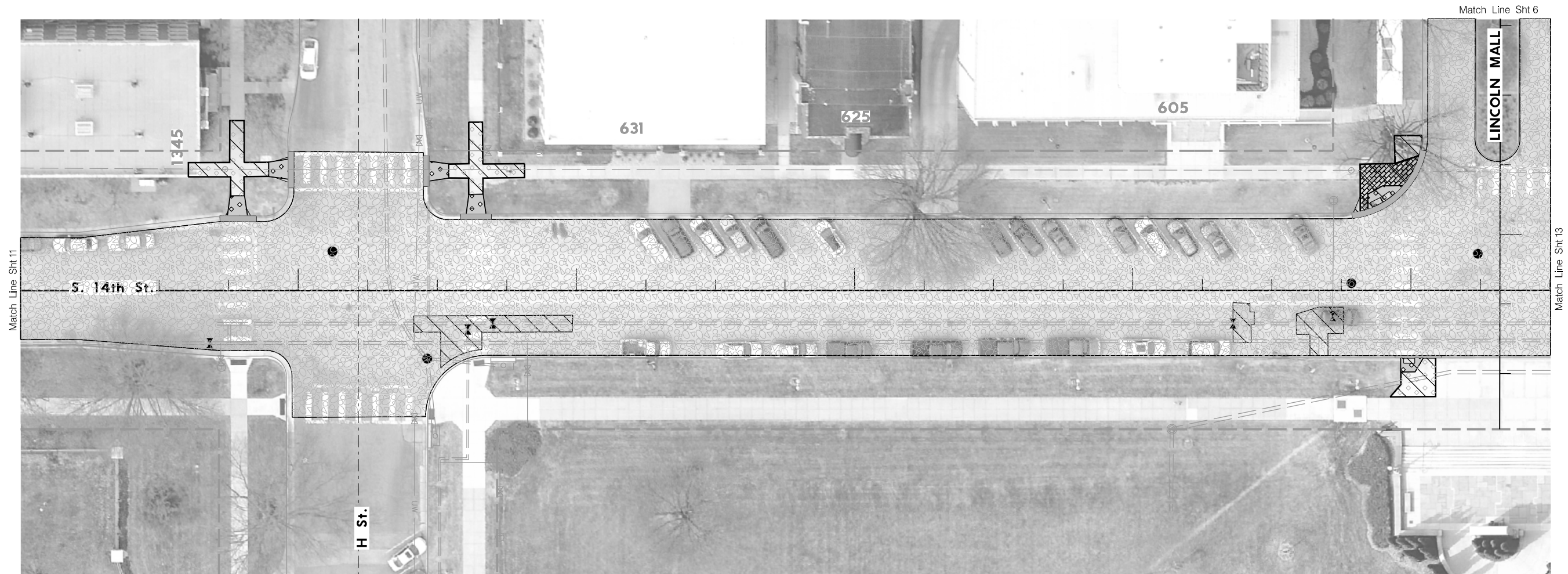
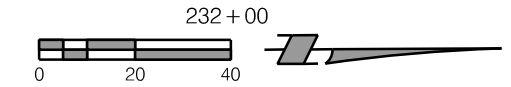
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	705270	13
Date: 2/17/2021	Drawn: JWH	Checked: DKV
Horz. Scale: 1:40	Approved: DKV	



Note:  
 The Contractor shall use caution during surface milling in S 14th St due to brick paving under the existing asphalt

Contractor shall protect STONE BARRIER curb during construction

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	81	CY
1.06001	Sawing Type "B"	712	LF
1.07001	Sawing Type "C"	68	LF
1.11001	Adjust MH to Grade	2	EA
1.13001	Adjust Water Valve Box to Grade	5	EA
4.09304	Conc Sidewalk 4"	735	SF
4.09306	Conc Sidewalk 6"	190	SF
4.09308	Conc Sidewalk 8"	256	SF
4.09601	Combined Curb Gutter	84	LF
4.09602	Conc Barrier Curb (9"x20")	17	LF
4.11001	Detectable Warning Panel	56	SF
5.07006	Concrete Base, 6" LB-3500	346	SY
6.04000	Surface Milling	3461	SY
6.06002	Asph Conc, Type 2	519	TN
50.00040	Concrete Milling	86	SY
50.00045	Brick Pavers, Sidewalk	190	SF

Portions of N. 14th between H St. and K St. are full depth concrete and will require Concrete Surface Milling



**CONSTRUCTION AND REMOVAL**

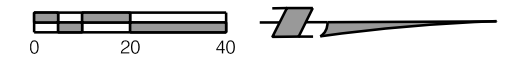


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 DATE: 1/19/2021  
 DGN: ..\705270\CR10.DGN



Note:  
The Contractor shall use caution during surface milling in S 14th St due to brick paving under the existing asphalt

Contractor shall protect STONE BARRIER curb during construction

Item	Description	Quantity	Unit
1.04001	Pav & Sidewalk Rem	46	CY
1.06001	Sawing, Type B	420	LF
1.07001	Sawing, Type C	41	LF
1.13001	Adjust Water Valve Box to Grade	10	EA
4.09304	Concrete Sidewalk, 4"	145	SF
4.09306	Concrete Sidewalk, 6"	386	SF
4.09308	Concrete Sidewalk, 8"	86	SF
4.09601	Concrete Curb & Gutter	32	LF
4.09602	Conc Barrier Curb (9"x20")	16	LF
4.11001	Detectable Warning Panel	24	SF
5.07006	Conc Base, 6" LB-3500	207	SY
6.04000	Surface Milling	2073	SY
6.06002	Asph Conc, Type 2	311	TN
50.00040	Concrete Milling	160	SY
50.00045	Brick Pavers, Sidewalk	386	TN

Portions of N. 14th between H St. and K St. are full depth concrete and will require Concrete Surface Milling



**CONSTRUCTION AND REMOVAL**

8P1-C-148

119-C-148



300+00

301+00

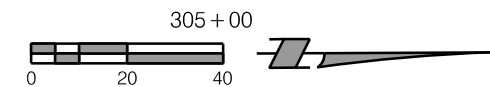
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PROJECT NO.	SHEET NO.
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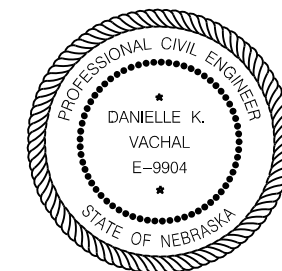


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 USER: SIC,JWH  
 DATE: 1/19/2021  
 DGN: ..705270\CR11.DGN



Match Line Sht 15

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	69	CY
1.06001	Sawing Type "B"	564	LF
1.07001	Sawing Type "C"	24	LF
1.11001	Adjust MH to Grade	1	EA
1.13001	Adjust Water Valve Box to Grade	1	EA
4.09304	Conc Sidewalk 4"	421	SF
4.09308	Conc Sidewalk 8"	215	SF
4.09601	Combined Curb Gutter	58	LF
4.11001	Detectable Warning Panel	40	SF
5.07006	Concrete Base, 6" LB-3500	272	SY
6.04000	Surface Milling	2714	SY
6.06002	Asph Conc, Type 2	407	TN



CONSTRUCTION AND REMOVAL

119-C-148

119-C-148



306+00

307+00

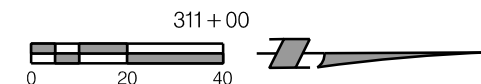
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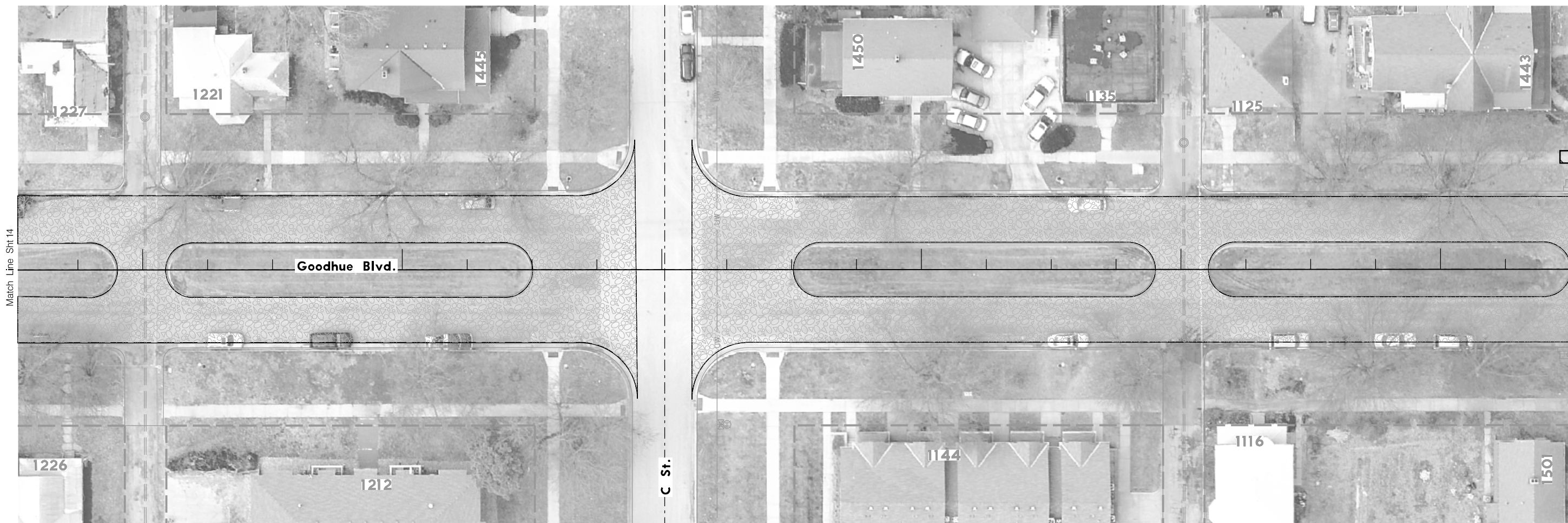


PROJECT NO. 705270	SHEET NO. 16
Date: 2/17/2021	Drawn: JWH
Horz. Scale: 1/40	Checked: DKV
	Approved: DKV



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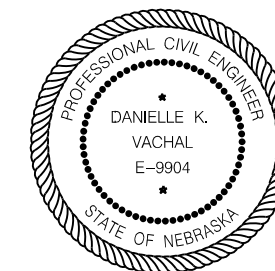
119-C-148



Match Line Sht 14

Match Line Sht 16

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	53	CY
1.06001	Sawing Type "B"	526	LF
1.07001	Sawing Type "C"	5	LF
4.09304	Concrete Sidewalk, 4"	28	SF
5.07006	Concrete Base, 6" LB-3500	263	SY
6.04000	Surface Milling	2626	SY
6.06002	Asph Conc, Type 2	394	TN



CONSTRUCTION AND REMOVAL

119-C-148

8P1-C-148



312+00

313+00

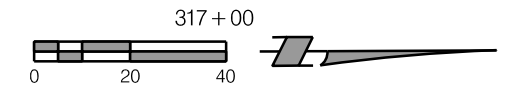
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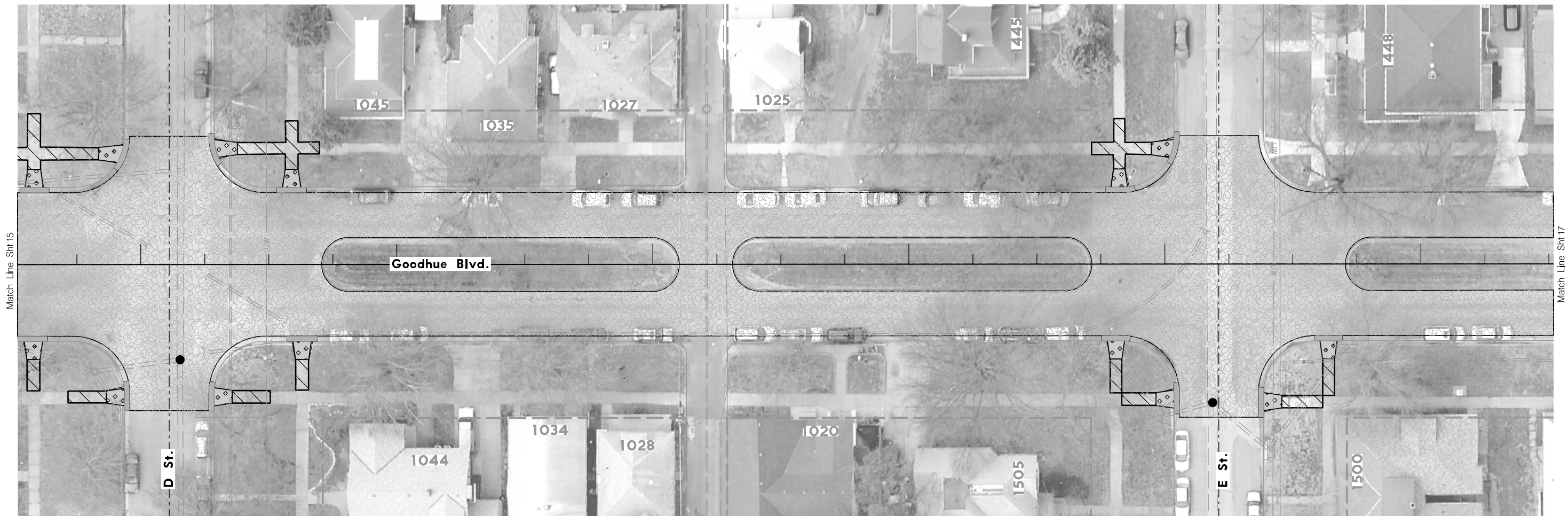


PROJECT NO.	SHEET NO.
705270	17
Date: 2/17/2021	Drawn: JWH
Horz. Scale: 1/40	Checked: DKV
	Approved: DKV

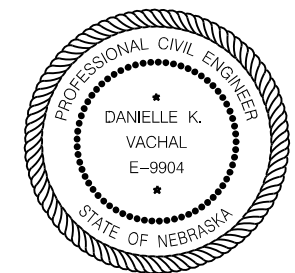


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 DATE: 1/19/2021  
 DGN: ..705270CR13.DGN

119-C-148



Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	108	CY
1.06001	Sawing Type "B"	730	LF
1.07001	Sawing Type "C"	63	LF
1.11001	Adjust MH to Grade	2	EA
4.09304	Conc Sidewalk 4"	1172	SF
4.09308	Conc Sidewalk 8"	591	SF
4.09601	Combined Curb Gutter	161	LF
4.11001	Detectable Warning Panel	112	SF
5.07006	Concrete Base, 6" LB-3500	337	SY
6.04000	Surface Milling	3372	SY
6.06002	Asph Conc, Type 2	506	TN



**CONSTRUCTION AND REMOVAL**

119-C-148

119-C-148



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318+00

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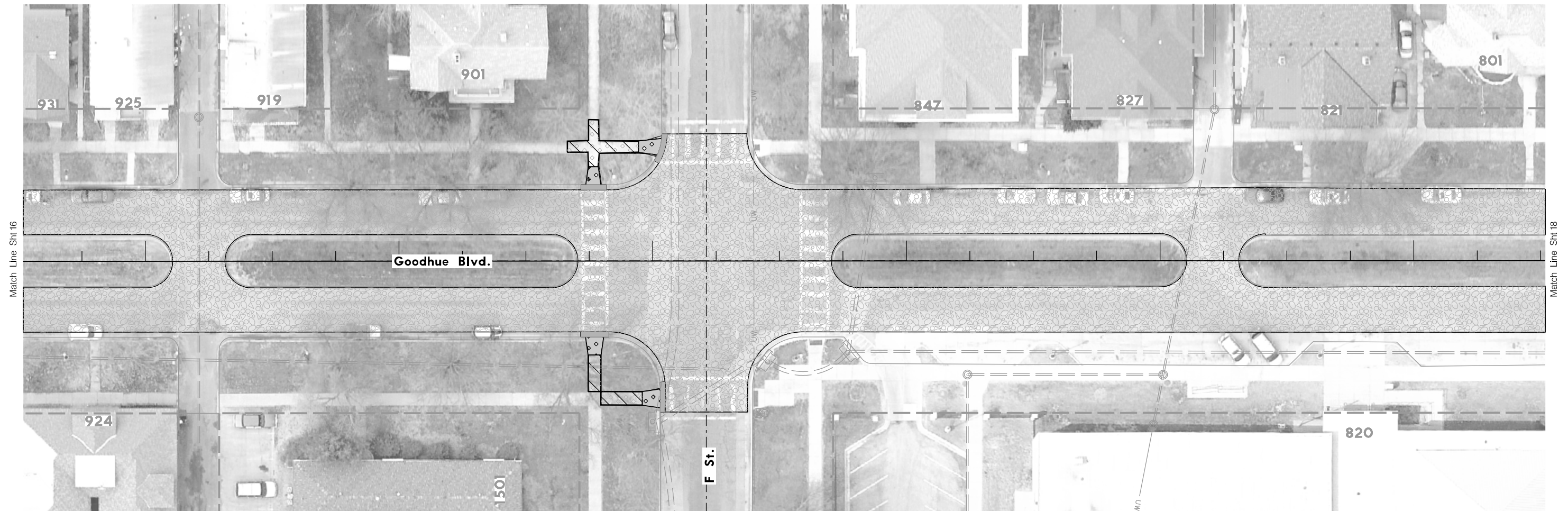
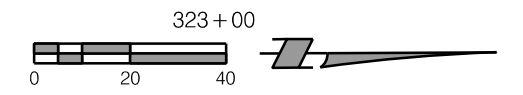
320+00

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PROJECT NO.	705270	SHEET NO.	18
Date:	2/17/2021	Drawn:	JWH
Horz. Scale:	1:40	Checked:	DKV
		Approved:	DKV



Match Line Sht 16

Match Line Sht 18

Item	Description	Quantity	Unit
1.04001	Pavt & Sidewalk Rem	70	CY
1.06001	Sawing Type "B"	608	LF
1.07001	Sawing Type "C"	19	LF
4.09304	Conc Sidewalk 4"	345	SF
4.09308	Conc Sidewalk 8"	165	SF
4.09601	Combined Curb Gutter	44	LF
4.11001	Detectable Warning Panel	32	SF
5.07006	Concrete Base, 6" LB-3500	296	LF
6.04000	Surface Milling	2955	SY
6.06002	Asph Conc, Type 2	443	TN



**CONSTRUCTION AND REMOVAL**

119-C-148

119-C-148



324+00

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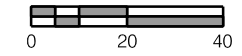
326+00

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PROJECT NO.	SHEET NO.
705270	19
Date: 2/17/2021	Drawn: JWH
Horz. Scale: 1/40	Checked: DKV
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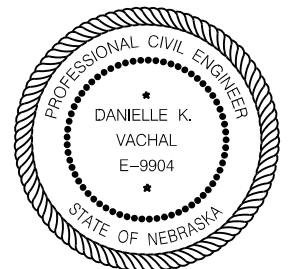


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 USER: SIC,JWH  
 DATE: 1/19/2021  
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Additional sidewalk repair:  
 1441 G St. (50 SF)  
 As directed by the  
 Project Manager

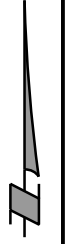
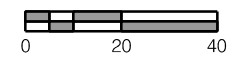
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1.04001	Pavt & Sidewalk Rem	75	CY
1.06001	Sawing Type "B"	502	LF
1.07001	Sawing Type "C"	54	LF
1.11001	Adjust MH to Grade	1	EA
4.09304	Conc Sidewalk 4"	872	SF
4.09308	Conc Sidewalk 8"	391	SF
4.09601	Combined Curb Gutter	89	LF
4.11001	Detectable Warning Panel	64	SF
5.07006	Concrete Base, 6" LB-3500	233	SY
6.04000	Surface Milling	2327	SY
6.06002	Asph Conc, Type 2	349	TN



CONSTRUCTION AND REMOVAL

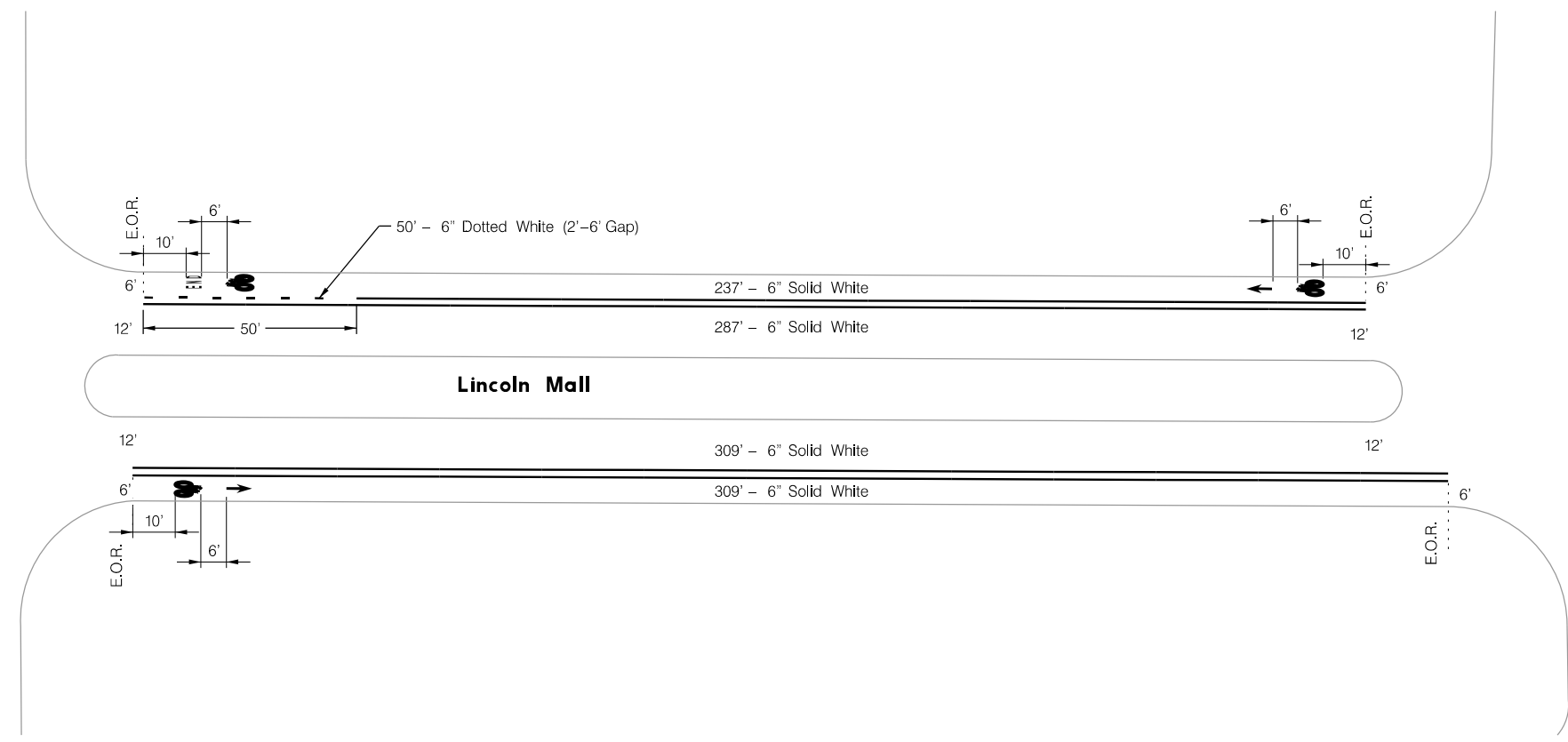
119-C-148

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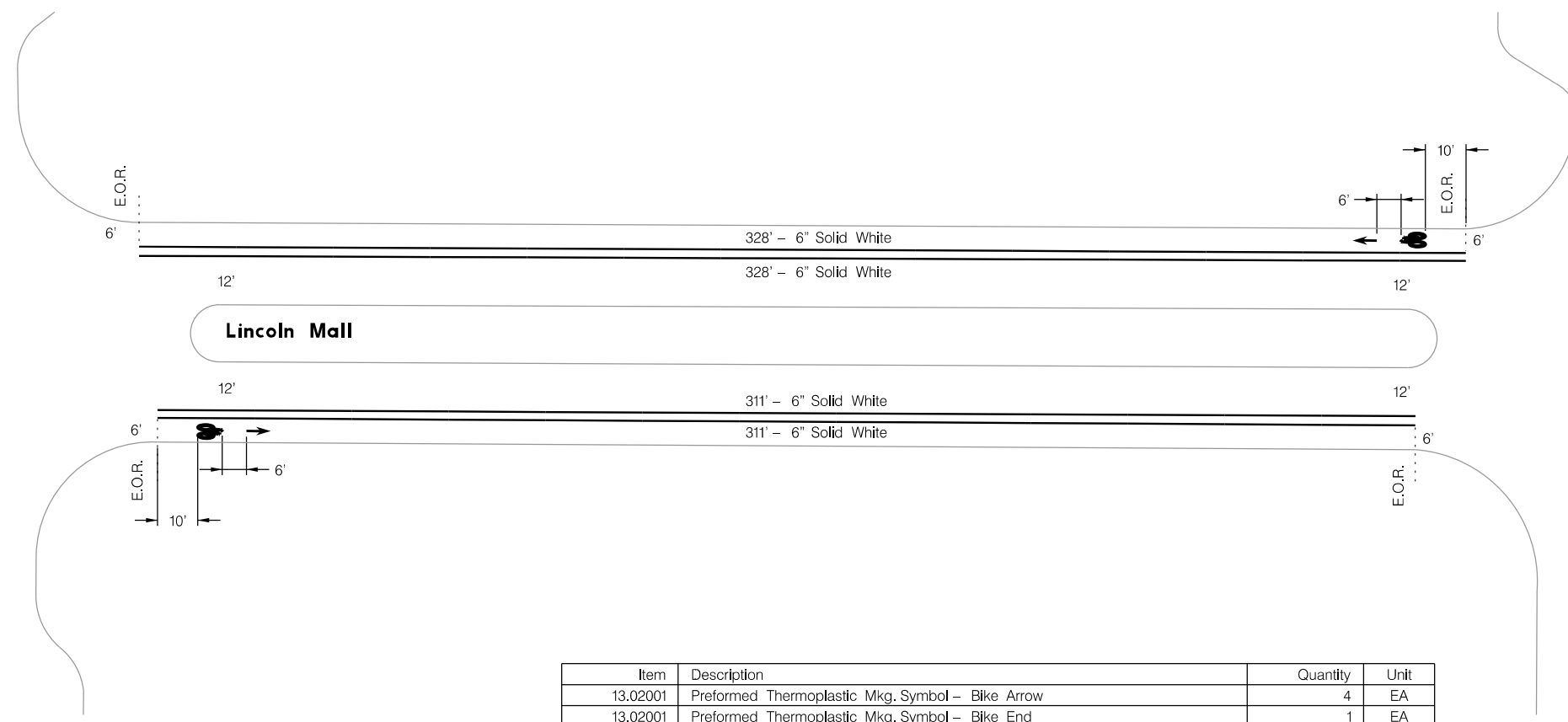
S 10th St.

S 11th St.



S 11th St.

S 12th St.

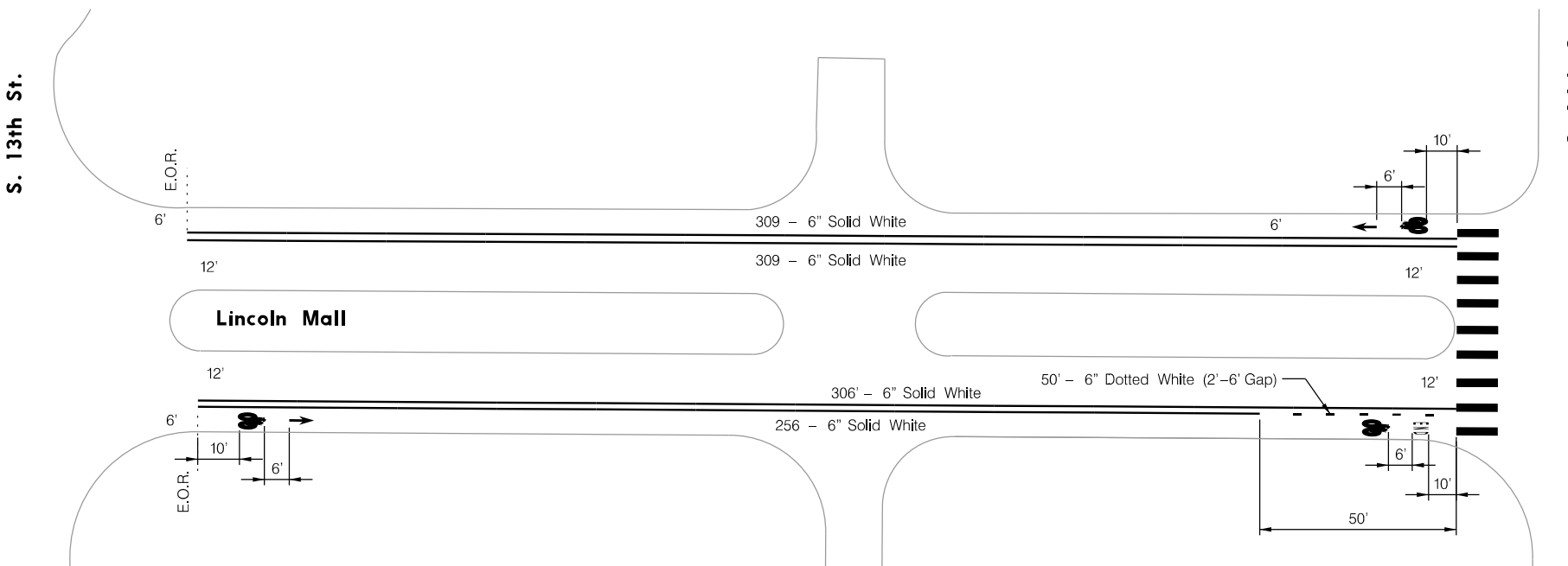
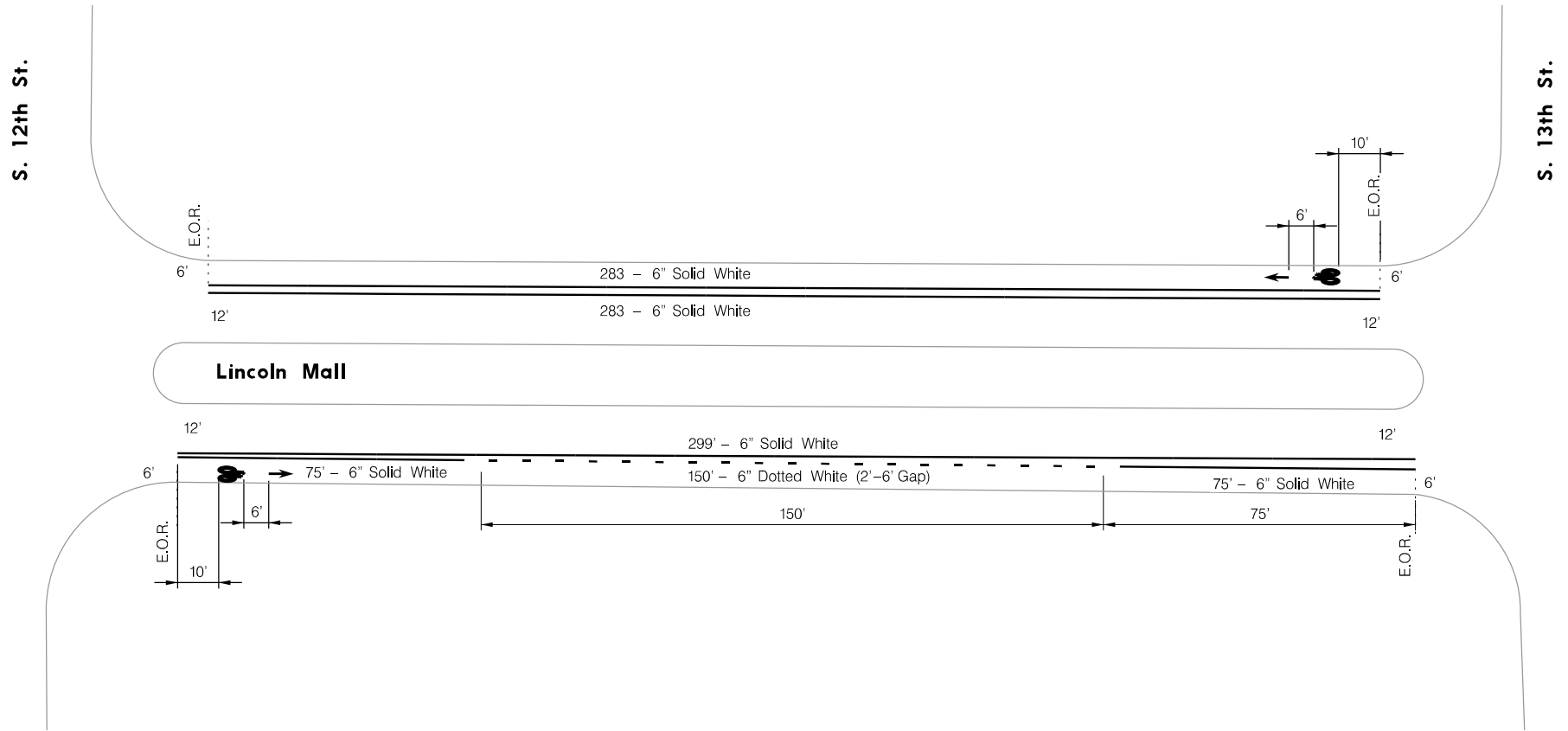
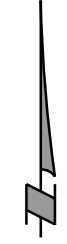
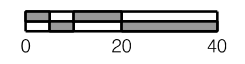


Item	Description	Quantity	Unit
13.02001	Preformed Thermoplastic Mkg. Symbol - Bike Arrow	4	EA
13.02001	Preformed Thermoplastic Mkg. Symbol - Bike End	1	EA
13.02001	Preformed Thermoplastic Mkg. Symbol - Bike	5	EA
13.03006	Molten Thermoplastic Mkg. 6" W Solid	2456	LF



**PAVEMENT MARKING AND SIGNING**

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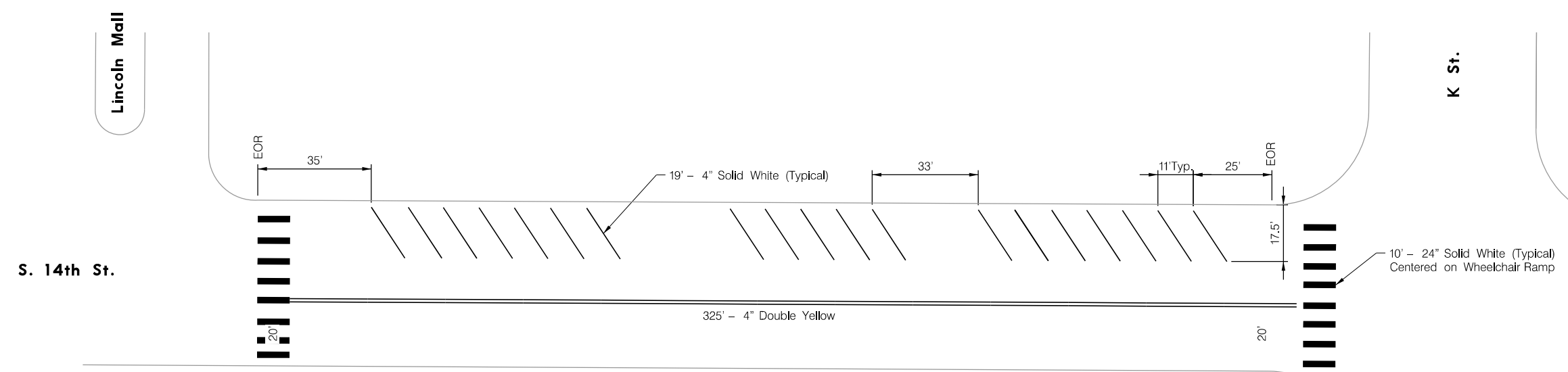
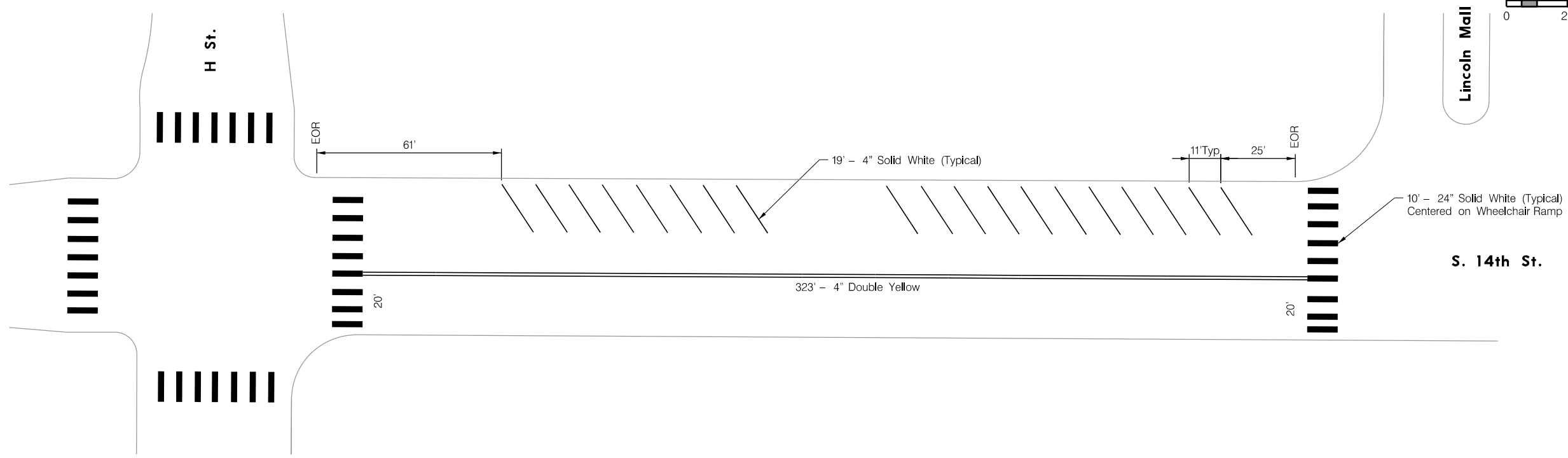
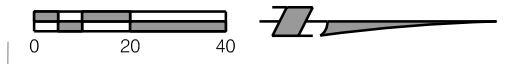
Contractor shall center crosswalks on existing or proposed wheelchair ramps. Location of markings will be indicated by Traffic Engineering.

Item	Description	Quantity	Unit
13.02001	Preformed Thermoplastic Mkg. Symbol - Bike Arrow	4	EA
13.02001	Preformed Thermoplastic Mkg. Symbol - Bike End	1	EA
13.02001	Preformed Thermoplastic Mkg. Symbol - Bike	5	EA
13.03006	Molten Thermoplastic Mkg. 6" W Solid	2245	LF
13.03024	Molten Thermoplastic Mkg. 24" W Solid	90	LF



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119-C-148



Contractor shall center crosswalks on existing or proposed wheelchair ramps. Location of markings will be indicated by Traffic Engineering.

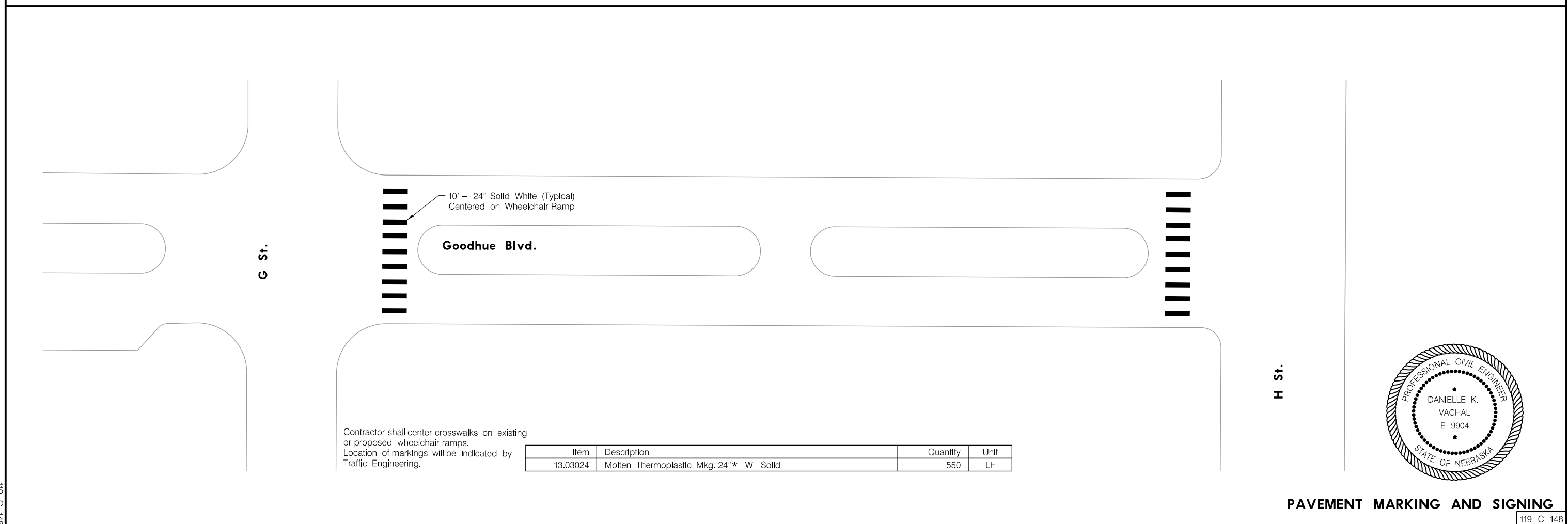
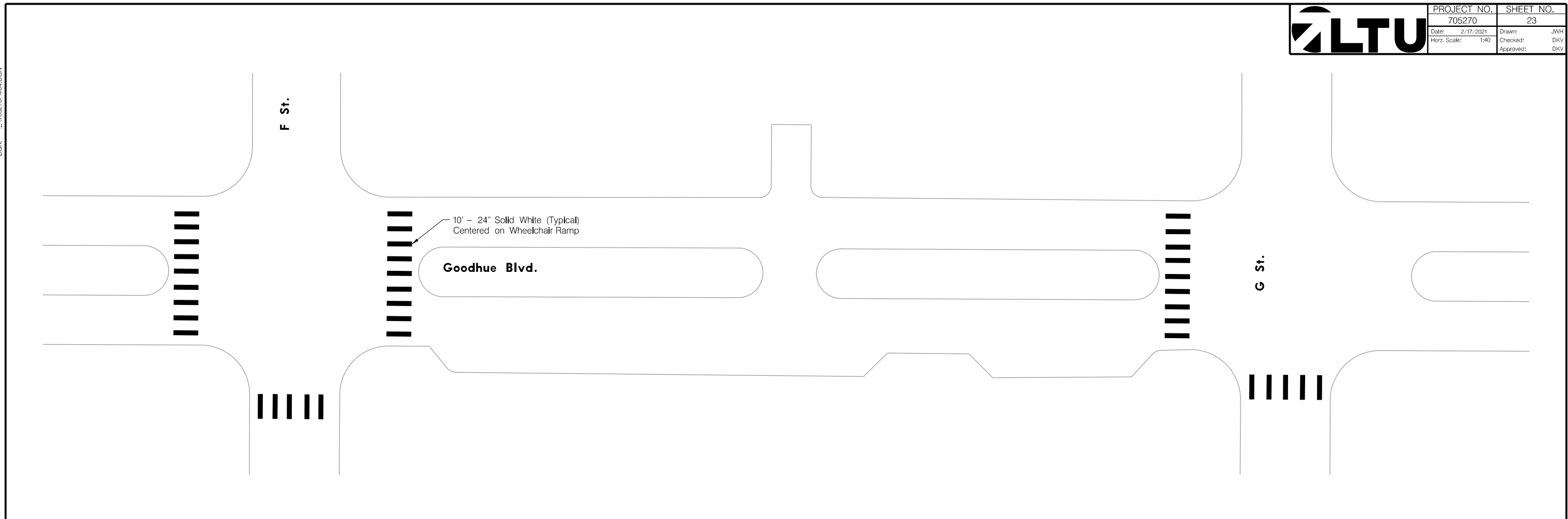
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13.03004	Molten Thermoplastic Mkg. 4" W Solid	703	LF
13.03004	Molten Thermoplastic Mkg. 4" * Y Dbl Solid	1296	LF
13.03024	Molten Thermoplastic Mkg. 24" * W Solid	550	LF



**PAVEMENT MARKING AND SIGNING**

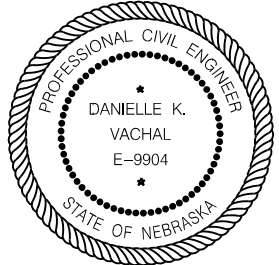
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Contractor shall center crosswalks on existing or proposed wheelchair ramps. Location of markings will be indicated by Traffic Engineering.

Item	Description	Quantity	Unit
13.03024	Molten Thermoplastic Mkg. 24" * W Solid	550	LF





**Memorandum**

January 6, 2021

TO: Collin Christopher, Planning

FR: Lynn Johnson, Parks and Recreation

RE: Proposed portrait sculpture of Dr. Susan La Flesche Picotte

The purpose of this memo is to request initial review by the Capitol Environs Commission of a proposed portrait sculpture of Dr. Susan La Flesche Picotte for placement on Centennial Mall. Dr. La Flesche Picotte was member of the Omaha Tribe, and the first Native American woman in America to become a doctor. Dr. La Flesche Picotte raise funds to build a hospital in Walt Hill, NE to provide medical services to Native American and other Nebraskans.

Creation of the portrait sculpture will be funded through a generous private donation. Benjamin Victor, sculptor of “Standing Bear, Chief of the Ponca” that is placed on Centennial Mall, on Ponca Tribal Lands and in the National Sculpture Gallery has agreed to create the portrait sculpture of Dr. La Flesche Picotte.

The proposed placement of the sculpture is behind the walkway on the east side of Centennial Mall between L and M Streets. The location is across from the State Office Building and between the Scottish Rite building and a State parking garden. A backdrop for the sculpture is proposed, either an architectural wall similar the backdrop wall behind the Chief Standing Bear portrait sculpture or formal planting of columnar evergreen trees. Determination of the type of backdrop is dependent on the outcome of investigation of underground utilities in the area.



*Artist's rendering of portrait sculpture of Dr. Susan La Flesche Picotte.*



*Location proposed for placement of new portrait sculpture.*

The proposal is to have the sculpture in place and ready for dedication on October 11, 2021, the first Indigenous People's Day in Nebraska.

I believe that placement of the proposed portrait sculpture of Dr. Susan La Flesche Picotte is consistent with the guidelines for placement of public art on Centennial Mall:

- The proposed portrait sculpture recognizes Dr. Susan La Flesche Picotte as a person of State and National significance as the first Native American doctor in America.
- Sculptor Benjamin Victor is recognized as a preeminent artist being the only person with three sculptures on display in the National Sculpture Gallery.
- The design theme of the L to M Street Block is "Our Home Nebraska" with the four Native American Tribes presently located in Nebraska being recognized there, including the Omaha Tribe. The work and accomplishments of Dr. Susan La Flesche Picotte are part of the heritage of Nebraska.





# Nebraska Capitol Environs Commission

## 2020 Annual Report





NEBRASKA'S CENTEN



## **COMMISSION MEMBERS**

Kile Johnson, Chair

Karen Nalow

Mary Campbell

Heidi Cuca

Delonte Johnson

Ann Post

David Quade

## **EX OFFICIO MEMBERS**

Director of the Lincoln/Lancaster County Planning Department or their designee

Director of Lincoln Parks and Recreation or their designee

Director of Nebraska Department of Administrative Services or their designee

Office of the Nebraska Capitol Commission's Capitol Administrator or their designee

## **PLANNING DEPARTMENT STAFF**

Collin Christopher

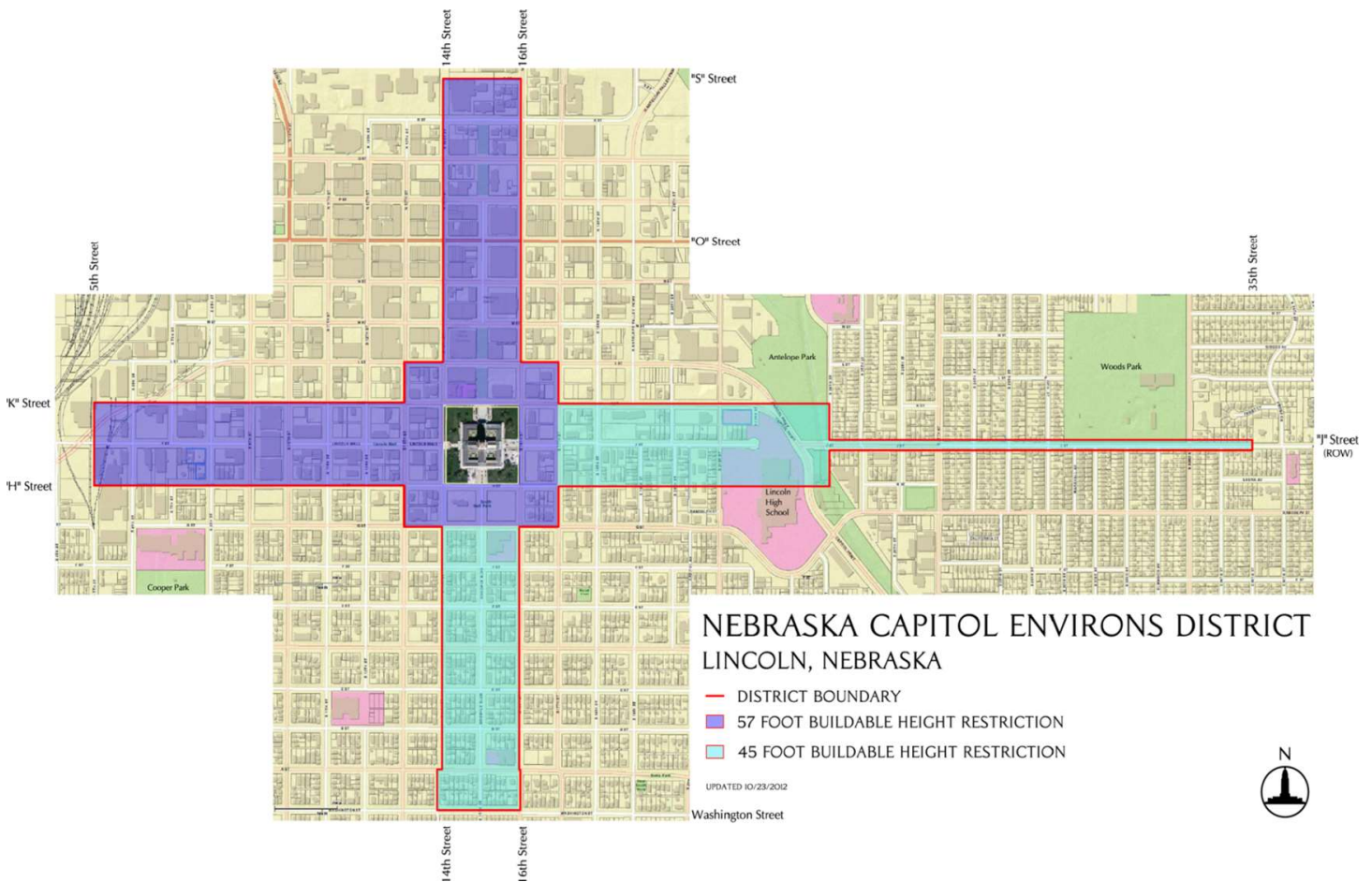
Stacey Groshong Hageman

Teresa McKinstry

## **APPROVED**

The Nebraska Capitol Environs Commission approved this Annual Report on TBD.





*The Nebraska State Capitol, designed by architect Bertram Grosvenor Goodhue in 1920 and built for the people of Nebraska between 1922 and 1932, is a National Historic Landmark and an aesthetic and historic treasure of our state. The purposes of the Nebraska Capitol Environs Commission (“the Commission”) are to maintain and enhance a dignified setting for the State Capitol, to encourage appropriate public and private improvements within the Capitol Environs District (“the District”), and to protect vistas to the Capitol which extend the impact and inspiration of the building throughout the city and the surrounding countryside.*

## Background

The Nebraska Capitol Environs Commission was established in 1988 to strengthen existing protections for the setting of Nebraska’s landmark State Capitol. The Commission’s voting membership of seven citizen volunteers includes five members appointed by the City of Lincoln and two appointed by the State of Nebraska.

In 2020, the Commission remained unchanged from the previous year, with Kile Johnson serving as chair, and Karen Nalow, Mary Campbell, Heidi Cuca, Delonte Johnson, Ann Post and David Quade continuing as members. The seven appointed citizen members are joined by four ex officio members – the Director of the Lincoln/Lancaster County Planning Department or their designee (David Cary), the Director of Lincoln

Parks and Recreation or their designee (Lynn Johnson), the Director of Nebraska Department of Administrative Services or their designee (Doug Hanson - State Building Division Administrator), and the Office of the Nebraska Capitol Commission’s Capitol Administrator or their designee (Bob Ripley). Staffing is provided by the Lincoln/Lancaster County Planning Department, including planners Collin Christopher and Stacey Groshong Hageman and administrative assistant Teresa McKinstry.

The Commission is required to meet at least quarterly by Section 27.56.060 of the Lincoln Municipal Code. The Commission met five times in 2020.

# Project Reviews

The Commission reviewed a number of interesting projects in Environs District in 2020.

In February, the Commission approved a plan to demolish the existing house at 1515 F Street and build a new four-story structure with one dwelling unit per floor. Each unit will have a recessed balcony/porch that faces the Capitol. Demolition has already occurred, with construction anticipated to get underway in 2021.

In June, the Commission reviewed a residential street rehab project being proposed by the City's LTU Department for Lincoln Mall, 14th Street and Goodhue Boulevard. Though the Commission was supportive of many of the elements of the project, they raised concerns about the City's plans for replacing decorative paving with standard grey concrete at several intersections along Lincoln Mall and asked the City to explore alternative solutions that would preserve the existing rhythm and organization of the Mall.



*The rendering above illustrates the north elevation of the proposed four-plex at 1515 F Street.*



**LINCOLN MALL, LOOKING TOWARD THE CAPITOL**



In July, the Commission recommended the rezoning of a number of city-owned J Street properties, as proposed in the South Haymarket Neighborhood Plan and the South Haymarket Design Standards. Combined with the planned streetscape improvements for J Street, the

rezoning lays the groundwork for future redevelopment in the area, which is likely to include additional residential and office uses. The Design Standards specifically mention rowhouses as a possible redevelopment solution.



*In December of 2019, the Commission reviewed a draft of the Haymarket South Streetscapes and Parking Improvements Plan. To coordinate with the vision for J Street that the Haymarket South Plan imagines in the renderings above, the Planning Department initiated a rezoning of city-owned properties along J Street to better accommodate future redevelopment of residential and office uses. This zoning change was previously highlighted in the South Haymarket Neighborhood Plan. In July of 2020, the Environs Commission made a recommendation to the Planning Commission to approve the zoning proposal. The Planning Commission acted on that recommendation and approved the rezoning of J Street.*



In August, the Commission approved a law enforcement memorial in front of the Hall of Justice at 575 S 10th Street. The memorial will honor officers from the Lincoln Police Department and Lancaster County Sheriff's Office who have

died in the line of duty. While multiple locations and design alternatives were considered on the site, the one presented to the Environs Commission is positioned far enough north to not impact views along Lincoln Mall.



Above is the approved concept for the Law Enforcement Memorial in front of the Hall of Justice at 575 S 10th Street.

In November, the Commission approved the Sky Park Manor remodel project. Designed by prominent local architect Selmer A. Solheim, this mid-century high-rise apartment buildings was listed on the National Register of Historic Places in 2016. Exterior work to the building is expected to include, among other things, restoration of

the railing system, renovation of the Sun and Fun deck, and repainting of the building to match its historic colors - neutral white body, blue-grey soffit trim and a multi-colored penthouse. The project directly aligns with Guideline 14.1 of the Design Standards, which states the Sky Park Manor "should be preserved and maintained."





The Commission also got their first look at the Pershing block redevelopment project in November. As far back as 2014 when Pershing Center hosted its last concert, the block has been targeted as a key redevelopment opportunity for downtown. In 2018, it was identified as a catalyst project in the Downtown Master Plan. After receiving five redevelopment proposals in the spring of 2020, city officials awarded the project to White Lotus Group out of Omaha. The White Lotus team's vision for the block includes a library, a wellness center, affordable housing, and

a community greenspace. While there is still much work and coordination to be done to make this project a reality, it has the potential to dramatically impact Centennial Mall, the Environs District, and the larger downtown area for the better. The Commission looks forward to playing a key part in its implementation.



*The concept for the redevelopment of the Pershing block includes a library, a wellness center, affordable housing units, and an active greenspace that should combine to bring added energy to Centennial Mall.*

## Text Amendments

In February, the Lincoln/Lancaster County Planning Department received a request from the Governor on behalf of the Capitol Commission to add the Capitol Commission's Capitol Administrator as the fourth ex officio member of the Capitol Environs Commission. In July, the Environs Commission discussed the topic and unanimously recommended that Planning staff move forward with a text amendment to the Municipal Code to add a fourth ex officio. In September, the

Lincoln City Council approved the amendment. In approving this addition, both the Environs Commission and the City Council acknowledged the expertise and historical knowledge that Mr. Ripley brings to the Commission.

As the year wraps up, Planning Department staff is also exploring a text amendment to the Capitol Environs Design Standards to include more specific standards and guidelines for memorials and monuments. The Commission will have a chance to weigh in on this topic in early 2021.





# Nebraska Capitol Environs Commission

## 2020 Annual Report