

URBAN DESIGN COMMITTEE

The City of Lincoln Urban Design Committee will have a regularly scheduled public meeting on Tuesday, **June 1, 2021**, at **1:00 p.m.** in City Council Chambers on the 1st floor, County-City Building, 555 S. 10th Street, Lincoln, Nebraska, to consider the following agenda. For more information, contact the Planning Department at (402) 441-7491.

AGENDA

1. Approval of UDC meeting record of [May 4, 2021](#).

DISCUSS AND ADVISE

2. [Meadowlane Redevelopment](#)
– [UDR21042](#)
3. [Antelope Valley Multi-Family Redevelopment](#)
– [UDR21043](#)
4. [Street Art at 11th & B](#)
– [UDR21044](#)

STAFF REPORT & MISC.

5. [PlanForward 2050 policy discussion](#)

Urban Design Committee's agendas may be accessed on the Internet at
<https://www.lincoln.ne.gov/City/Departments/Planning-Department/Boards-and-Commissions/Urban-Design-Committee>

ACCOMMODATION NOTICE

The City of Lincoln complies with Title VI of the Civil Rights Act of 1964 and Section 504 of the Rehabilitation Act of 1973 guidelines. Ensuring the public's access to and participating in public meetings is a priority for the City of Lincoln. In the event you are in need of a reasonable accommodation in order to attend or participate in a public meeting conducted by the City of Lincoln, please contact the Director of Equity and Diversity, Lincoln Commission on Human Rights, at 402 441-7624 as soon as possible before the scheduled meeting date in order to make your request.

F:\Boards\UDC\Agendas\2021\ag060121.docx

MEETING RECORD

Advanced public notice of the Urban Design Committee meeting was posted on the County-City bulletin board and the Planning Department's website.

NAME OF GROUP:	URBAN DESIGN COMMITTEE
DATE, TIME AND PLACE OF MEETING:	Tuesday, May 4, 2021, 1:00 p.m., County-City Building, City Council Chambers, 555 S. 10 th Street, Lincoln, NE.
MEMBERS IN ATTENDANCE:	Emily Deeker, Peter Hind, Tom Huston and Gil Peace; (Mark Canney and Michelle Penn absent).
OTHERS IN ATTENDANCE:	Stacey Hageman, Paul Barnes, Andrew Thierolf and Teresa McKinstry of the Planning Dept.; Kevin Riley; Tim Gergen of Clark & Enersen; Dave Johnson of Studio 951 Architects; Charlie Stewart of NGC Construction; Jason Griffiths of University Nebraska Lincoln, Rebecca Kalhorn and Ben Stirtz appeared via © Zoom Video Communications; and other interested citizens.

Vice-Chair Peace called the meeting to order and acknowledged the posting of the Open Meetings Act in the room.

Peace then called for a motion approving the minutes of the regular meeting held April 6, 2021. Motion for approval made by Huston, seconded by Hind and carried 4-0: Deeker, Hind, Huston and Peace voting 'yes'; Canney and Penn absent.

25th & VINE REDEVELOPMENT

Members present: Deeker, Hind, Huston and Peace; Canney and Penn absent.

Kevin Riley appeared. He took the advice and recommendations from the last Urban Design Committee meeting and revised some items. They increased the offset around the perimeter. They are now at four feet for everything facing Vine St. and 25th St. There are some offsets around back as well. They took some consideration of the color aspect. They've introduced some dark brown color on the ends of the building. He brought color samples. They tried to articulate and get more definition. There will be smooth James Hardie panels and a James Hardie lap siding. There will be a sage green vinyl siding as well.

Huston thinks this is a large improvement from what was presented in April. This breaks up the façade and the differentiation of color helps.

Riley presented the color palette of materials.

Hind wondered about changing the vinyl siding. Riley responded it is due to cost, maintenance and construction fees.

Hind inquired about Hardie board going to ground level. Riley responded that building code states it must be at least six inches off the ground. It will be landscaped in front. You will probably only notice it in back. Hind inquired if the applicant is proposing Hardie board for all prefinished surfaces. Riley responded yes.

Hind asked if the window size was increased. Riley stated they stepped back after the last meeting and have been working with City staff.

Peace agrees that the applicant did a lot of things that were asked. He believes this looks quite a bit better. He appreciates the effort to articulate things. He appreciates that staff from Urban Development work on getting the TIF (Tax Increment Financing) together, but he still has an issue with vinyl siding. He would rather not have vinyl on a TIF funded project. He believes that TIF projects should have some minimum levels of design. Riley stated that they are proposing a heavier gauge vinyl. Peace thinks that all sounds good.

Hind wondered about the cost savings of vinyl siding over Hardie board. Dave Johnson stated that Hardie siding is about three to four times the cost of vinyl siding.

ACTION:

Huston moved approval with a recommendation to minimize the use of vinyl siding where possible, seconded by Peace.

Hind would like to remove the vinyl siding from the design. Huston thinks that vinyl siding is not prohibited by the Neighborhood Design Standards

Hind wondered about the air conditioning units. Riley stated they will be in back of the building.

Motion for approval carried 4-0: Deeker, Hind, Huston and Peace voting 'yes'; Canney and Penn absent.

TERMINAL BUILDING STREETScape

Members present: Deeker, Hind, Huston and Peace; Canney and Penn absent.

Tim Gergen stated he was here a few months ago for the Terminal Building streetscape. This was approved with a metal panel. They are now proposing a new option for the surface parking lot. Due to the overhang of the Terminal Building, there will be planters along 10th St. to reduce pedestrian conflict with the alley. The streetscape component hasn't changed, just the treatment of the surface parking lot.

Dave Johnson stated that the client is also developing the other corner on 9th St. He would like the committee to weigh in on partially enclosing the parking lot on the corner so the owner can provide some secure parking for condo owners in the Terminal Building, as well as bank customers on the first floor. He

showed the location of the parking being proposed. There would be about ten spots or so and some type of a secured gate to continue to the tenant secured parking. They are proposing cast in place concrete structure. The screening is a punched metal panel. This will be an open air garage, not fully enclosed. It will be secure for the condominium users. He wanted to call on the base of the Terminal Building. This will be topped with a small cornice and parapet. The Downtown Design Standards state that this structure must be 20 foot tall. That is the height to the parapet. Getting pre-cast or steel right now has a very long lead time. That is the reason for cast in place. He pointed out the bank drive-thru lane and a walkway for pedestrians.

Hind asked if the whole garage will be open air with no glass. Johnson replied that is correct.

Huston would like clarified this will have a roof. Johnson replied yes. The sides will be open so blowing wind or snow would come in.

Gergen stated that previously, they were keeping the existing parking lot. They had previously proposed a metal panel. This is a much more embellished product. Johnson wanted to do something to hold this corner other than just a parking lot.

Huston can see how this would be an amenity to entice condo owners with secured parking.

Peace thinks this is a great move. He wondered about 'N' Street. Th rhythm that they continued, could it continue to the west? There is still more surface parking to the west of this. Gergen showed the view. There is still one more magazine of surface parking. Stacey Hageman stated this will still have the panel screen that was already approved.

Peace stated that the applicant could continue across the diagonal parking bank and hold the corner in a way that would be really nice. Something a little higher would be nice. Gergen commented that one concern is regarding the sight distance for people exiting from the alley. Peace noted that perhaps the cut panel at that location is more transparent. Johnson will take a look and investigate that.

Huston thinks this is a tremendous improvement. This will really add to the corridor.

Deeker wondered if there is a reason there isn't a clean panel with a step out. Johnson is mimicking what is being done on the Terminal Building. Deeker believes it feels a little awkward where the overhang hits, but she is not sure how to solve it. The drive-thru could be a little taller. Johnson stated that ideally, we would like to have it lower or not at all. The City has said we need to have 20 foot clear. For the drive-thru, we looked at somehow connecting the two but have to manage the pneumatic tubes from the bank building. This is a design element we struggled with as well.

Hind inquired if the lower panels are opaque, truly cut steel. Johnson stated that at the lower level, they are fully opaque. The next panels are the same.

Charlie Stewart stated that the inspiration behind the panels is what is being done at the Telegraph District. That wall all produced locally by TMCO. The intent is to engage TMCO to get their design input on

the panels. We can't speak to the individual panels today but on some level they will be similar to the Telegraph District. This is based on an old image of the Lincoln Railroad that they found.

Hind is more concerned with safety. He would encourage the applicant to think about the views and circulation. He thinks exiting from the alley makes sense. He shares the same concern about the roof line. A low parapet and a roofline under it seems awkward. It is curious that we are going to take pieces and mimic other buildings. What if this was a home jewel on the corner with its own stamp? It will never be the Terminal Building. He really appreciates this project. Many items are top notch. He thinks the attitude of making this a copy of the Terminal building, it might be more top notch if it was completely separate. Why are we borrowing parts from old buildings for a new building? He questioned how this can be done with the lightest possible materials and still deal with the function and appearance.

ACTION:

Huston moved approval and encouraged the applicant to look at options to extend the panels to comply with the Downtown Design Standards, seconded by Peace.

Huston thinks the context is that this was approved in January. This is a great improvement. We don't want to penalize someone for improving their design.

Hind stated that as he understands our job as committee members is to guide and provide advice and feedback to make downtown Lincoln really vibrant and great. He would ask to bring this back before construction starts. He inquired about the applicant's schedule. Johnson believes the timeline for this project is fairly quick. Gergen added that TIF (Tax Increment Financing) is being used in the streetscape of the Terminal Building.

Huston would like the applicant to come back and show us some thoughts regarding any potential changes.

Hind stated that the panel that is there, is doing so much visually. What if those went up and became the parapet with the roof line behind it? The thickness and weight of the parapet kind of kills the power of the panels.

Johnson wondered about eliminating the concrete parapet. The top of the panels are considered building height. The standards mandate that the first 20 feet has to be of certain materials. Hind wondered if the panels were more opaque the further up they went.

Stacey Hageman noted the zoning requirements of B-4. Building and Safety Dept. has a definition of building height. Peace wouldn't encourage going less than 20 feet. He would keep it as is, perhaps a few feet taller. It kind of looks like you are building a base for a building that isn't there.

Hageman will work with Building and Safety and bring this back for an update or if there are any significant changes.

Hind would like to get rid of the top. He would encourage the applicant to look at other options and open dialogue with the City. He would also recommend no overdoing the lighting.

Motion for approval carried 4-0: Deeker, Hind, Huston and Peace voting 'yes'; Canney and Penn absent.

UNL STUDENT PROJECT, MUSIC DISTRICT

Members present: Deeker, Hind, Huston and Peace; Canney and Penn absent.

Jason Griffiths is an Associate Professor with the Architecture Dept. at University of Nebraska Lincoln (UNL). He likes to incentivize design build architecture. Jeff Day, Peter Hind and himself felt very serious that students engage in real projects. Last semester they were approached by Richard Meginnis to incentivize people to move here. They are working in consultation with the Urban Development Dept. to come up with proposals in a TIF district. Students will show dual proposals.

Rebecca Kalhorn stated the concept was to bring life to this corner. She played a video presentation. Ben Stirtz played a video presentation of a gallery garden.

Griffiths sees these things as opportunities to get hands on experience. We want to do things in Lincoln that we think the current situation incentivizes.

Huston thanked everyone. He chaired the Downtown Master Plan Committee two years ago and a tenet was a music district. He thinks this would be a great amenity for Lincoln.

Griffiths believes that these things take time. We would like to be called on as part of a resource. Part of the concept is simply that this type of thing is happening in almost every city in the U.S. due to Covid. There are conversations about who owns the street and public access to the street. We can do these things in a prototype version. We need funds to do this.

Hind had the pleasure of organizing some venues in the Haymarket. One piece of advice he would give is that it is really important to understand the boundary. He appreciated the containers being reconstructed. What if the bollards became something that were designed as well? He also thinks there is a way to get creative with the ceiling plane. It would be interesting to think about the parts and how they are deployed. It would be interesting to see it on a rooftop or empty alley to see how they are existing.

Stirtz stated that it is nice to get local and knowledgeable feedback.

Deeker noted the comment on who owns the streetscape is an important idea. It is important to think of what area of town you are in as well, speak to the plants and perhaps teach people how to plant a garden. She would also encourage thinking about the accessibility. Stairs are cool, but you want to leave room for someone who is not able bodied.

Griffiths stated that in final review, there are deployable structures. This is something mobile that can be put in all sorts of configurations. We wanted something that would be minimally invasive.

Huston hopes we can take these efforts and get something going on in this district.

Griffiths thanked everyone for their time. He encouraged everyone to feel free to reach out to him or the University to get students involved in greater depth.

PLANFORWARD 2050 POLICY DISCUSSION

Members present: Deeker, Hind, Huston and Peace; Canney and Penn absent.

Andrew Thierolf stated that staff wants to continue the discussion about Comprehensive Plan policies. They are looking at an August 2021 release of the 2050 Plan to the public. The document is still in the drafting stage. We want to talk broadly about density. In general, the 2050 plan supports an increase in development. The existing plan notes 22 percent infill. For the 2050 Plan, the infill target will be increased to 25 percent. 2015 to 2020, the density was about 12.5 units per acre. The highest density in recent years was at 225 N. Cotner Blvd. The next highest is 1100 'Y' Street at 55 units an acre. There were also a lot of lower density projects around two to three units per acre. As the draft plan supports an increase in infill and development, we are asking where an increase in density is appropriate. Also, we are asking when and where is increased density appropriate in existing neighborhoods.

Huston stated that experience has told us this is hard to do in an existing neighborhood. The node and corridor concept focuses on aged commercial developments. We need to incentivize more redevelopment on those nodes and corridors. There is an expectation from existing neighbors that something won't change in density to what is historical. He noted his thanks to elected officials who have done a good job to approved projects in light of neighborhood concerns. No one wants to create division. Focusing on older or aging commercial properties would help.

Peace believes perhaps there are good models in other cities. It seems like there could be some relaxing of the rules for infill projects. There is usually a reason something hadn't gone to a particular location. If there is some kind of an incentive for creative architects to come up with creative solutions, it could incentivize people to do those types of projects. Thierolf noted that staff is proposing a possible smaller CUP (Community Unit Plan).

Huston believes there is always a problem with neighborhood concerns when asking for waivers. He would like to rely less on waivers and more allowances.

Peace thinks more infill could be encouraged. It isn't fun to go argue with neighbors.

Huston finds it frustrating to look at design standards for density bonuses. He has never seen it used. This could be environmental factors or neighborhood factors that limit you on density. He would like to review this and provide more input.

Huston noted that two committee members need to leave in a few minutes. Paul Barnes stated that staff can return for another presentation on this topic. There is more that they would like to present.

Hind is happy to see more density and creative zoning. One argument is efficient buildings is the most sustainable future. Empty and unused lots can be reimagined.

Barnes will share the Power Point presentation with committee members. Staff will return in June with more information.

There being no further business, the meeting was adjourned at 2:30 p.m.

F:\Boards\UDC\Minutes\2021\050421.docx

TO: **Urban Design Committee**
FROM: Stacey Hageman
RE: Meeting of June 1, 2021
DATE: May 26, 2021

ITEM 2: Meadowlane Redevelopment

The Meadowlane Redevelopment is proposing a façade renovation of the existing shopping center at 70th and Vine St. This project is requesting Tax Increment Financing, thus warranting your advisory review. Project details are attached.

Project improvements involve new stonework across the shopping center. Exterior walls will be a combination of painted brick and metal panels. A large stone-surfaced sign will be constructed. Work will also include awning removal, new soffits, improved lighting, and new roof parapets. Black metal fencing will be constructed along the western edge of the shopping center, along North 70th Street, to provide a distinct boundary for the shopping center. Deteriorating public sidewalks within the Redevelopment Area will be replaced as well.

ITEM 3: Antelope Valley Multi-Family Project

Assurity is proposing a multi-family redevelopment of the block bound by 22nd, 23rd, P and Q Streets. The 2- to 4-story development includes almost 130 units in 3 buildings organized around a central surface parking lot with access to underground parking. Your advice is sought on this potential use of Tax Increment Financing.

The south building will be 4 stories, the east building 3 stories, and the north building 2 stories. The two-story portion along Q Street will include walk-up, two-story townhome units. There will be community meeting space on the first floor at the 22nd & P corner. More information is attached.



Building materials include a stone base with Hardie and wood and white metal accents. The applicant is seeking amendments to the Antelope Valley PUD by requesting a waiver to parking, height (for the south building), setback, and density requirements. They are also requesting to vacate the east-west alley. Your advice is sought on these zoning matters as well.

ITEM 4: Street Art at 11th & B



An application for street art has been received by the City. The South of Downtown Community Development Organization would like to paint a smiley face at the 11th & B intersection with the words “Slow your roll” to encourage cars to drive slow for enhanced pedestrian safety at this active intersection. The application is attached for your review.

ITEM 5: PlanForward 2050 policy discussion

The Planning Department is working to draft policies for the City/County Comprehensive Plan. A few of PlanForward 2050’s draft policies are attached for your review and discussion. The Infill & Redevelopment and Nodes & Corridors policies are being carried over from the current Comprehensive Plan.

F:\Boards\UDC\REPORTS\2021\06 June\Jun2021Memo.docx

MEADOWLANE SHOPPING CENTER FACADE REMODEL

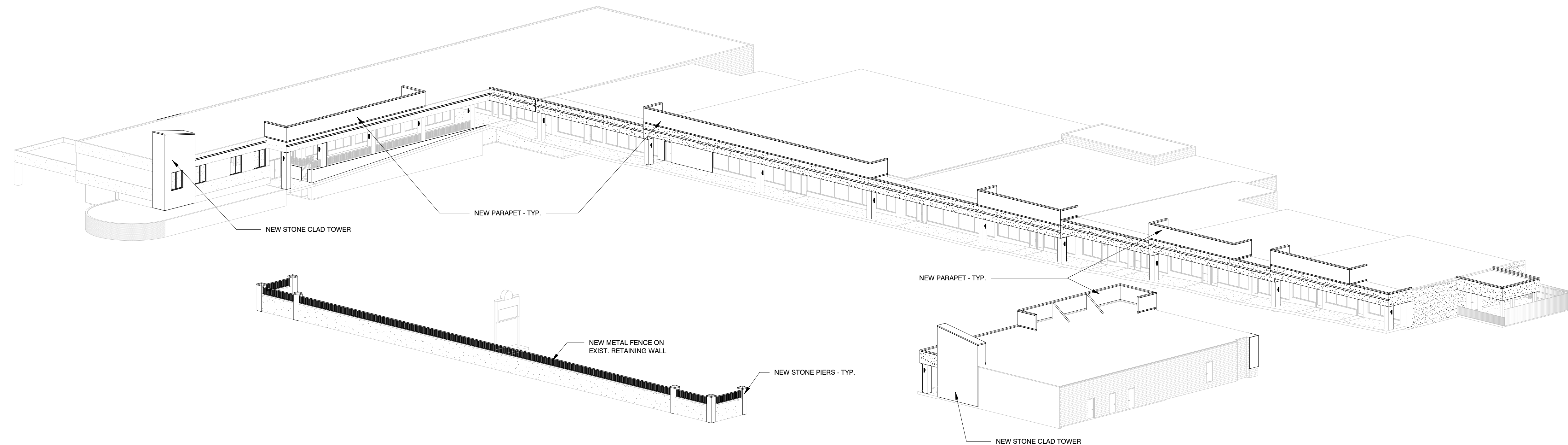
900 N 70TH ST LINCOLN, NE

APRIL 2021

Architectural Design Associates
3410 O Street
Suite A
Lincoln, Nebraska 68510
www.adalincn.com
tel 402 486 3232



2 VICINITY PLAN
A0.0 | 1" = 160'-0"



EXTERIOR RENDERING
SCALE: NONE

ABBREVIATIONS			
NOTE: GENERAL LIST - NOT ALL MAY APPLY			
ACS	ACOUSTICAL CEILING SYSTEM	GL	GLASS
AF	ABOVE FINISH FLOOR	GRAN	GRANULAR (FILL)
AL	ALUMINUM	GYP BD	GYP/UM BOARD
ALT	ALTERNATE		
BLKG	BLOCKING	HC	HOLLOWCORE
BO	BY OWNER	HWIR	HARDWARE
BRG	BEARING	HM	HOLLOW METAL
		HR	HORIZONTAL
CATV	UNDERGROUND CABLE TELE	HT	HEIGHT
CLJ	CONTROL JOINT	HW	HOTWATER
CLS	CEILING		
CMU	CONCRETE MASONRY UNIT	ID	INSIDE DIAMETER
COL	COLUMN	INCAND	INCANDESCENT
COMP	COMPRESSIBLE	INCL	INCLUDE(D)INCLUDING
CONC	CONCRETE	INST	INSTALLED
CONT	CONTINUOUS	INSUL	INSULATION
COORD	COORDINATE	INT	INTERIOR
CT	CERAMIC TILE	INVERT	INVERT
CU	CONDENSING UNIT	JAN	JANITORS CLOSET
		JT	JOINT
(D)	DEMOLITION	KD	KNOCK DOWN
DEMO	DEMOLITION	KO	KNOCK OUT
DIA	DIAMETER		
DM	DIMENSION	DN	DOWN
DN	DOWN	DR	DOOR
(E)	EXISTING	LAM	LAMINATED
E	EAST	LAV	LAVATORY
EL	ELEVATION	LDR	LEADER
ELEC	ELECTRIC(AL)	LTL	LINTEL
ELEV	ELEVATOR	LVL	LAMINATED VENEER LUMBER
EQUIP	EQUIPMENT	LW	LIGHTWEIGHT
EXP	EXPOSED	MAX	MAXIMUM
		MECH	MECHICAL
F	FACE OF	MET	METAL
FD	FLOOR DRAIN	MFG	MANUFACTURER
FEC	FIRE EXTINGUISHER CABINET	MIN	MINIMUM
FEP	FINISHED END PANEL	MISC	MISCELLANEOUS
FFE	FURNITURE, FIXTURES & EQUIP.	MO	MASONRY OPENING
FIX	FIXTURE	MTL	MATERIAL
FOB	FACE OF BRICK/BLOCK	N	NORTH
FOW	FACE OF WALL	NIC	NOT IN CONTRACT
FR	FIRE RATED	NO	NUMBER
FTN	FOOTINGS	NOM	NOMINAL
FV	FIELD VERIFY	NTS	NOT TO SCALE
G	GAS	W	WITH
GA	GAUGE	W/O	WITHOUT
GALV	GALVANIZED	WC	WATER CLOSET
		WD	WOOD
		WIN	WINDOW
		WP	WATERPROOF
		WVF	WELDED FIRE FABRIC
		OPP SIM	OPPOSITE SIMILAR
		OTB	OPEN TO BELOW
		PART	PARTIAL
		PNL	PANEL
		PTD	PAINTED
		FTN	PARTITION
		R	RADIUS / RISE
		RE	REGARD
		REC	RECESSED / RECEPTAL
		REF	REFERENCE DETAIL
		REFL	REFLECTED
		REG	REGISTER
		REINF	REINFORCED
		S	SOUTH / SINK
		SOH	SCHEDULE
		SD	SMOKE DAMPER
		SEC	SECTION
		SEP	SEPARATE
		SHT	SHEET
		SHTG	SHEATHING
		SIM	SIMILAR
		SQ FT	SQUARE FEET
		SS	STAINLESS STEEL
		STL	STEEL
		STR/	STRUCTURAL
		T&B	TOP AND BOTTOM
		T&G	TONGUE AND GROOVE
		T.O.	TOP OF
		T.O.S.	TOP OF STEEL
		T.O.W.	TOP OF WALL
		TG	TEMPERED GLASS
		TYP.	TYPICAL
		U.N.O.	UNLESS NOTED OTHERWISE
		VB	VINYL BASE
		VCT	VINYL COMPOSITION TILE
		VERT.	VERTICAL
		VTR	VENT THRU ROOF
		W	WITH
		W/O	WITHOUT
		WC	WATER CLOSET
		WD	WOOD
		WIN	WINDOW
		WP	WATERPROOF
		WVF	WELDED FIRE FABRIC

SYMBOL LEGEND			
100	DOOR NUMBER	#	NEW CONSTRUCTION KEYNOTES
W	WALL TYPE TAG (NEW CONSTRUCTION)	◇	DEMOLITION KEYNOTES
△	ALUMINUM FRAME TYPE TAG	???	BUILDING ELEVATION
#	DOOR TYPE TAG	EL: 100'-0"	FLOOR TRANSITIONS
#	H.M. FRAME TYPE TAG	CT X CPT	FLOOR TRANSITIONS
#	WOOD DOOR FRAME TYPE TAG	Room Name	ROOM NAME / ROOM NUMBER
#	ALUM. CLAD WINDOW WINDOWS	#	WALL ELEVATION
#	TOILET ACCESSORY	#	BUILDING / WALL SECTION

GENERAL NOTES:

- NO CHANGES TO EXISTING USES OR PARKING PROPOSED.
- EXISTING BUILDINGS TO REMAIN.
- PERFORM ALL CONSTRUCTION WORK IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES TO INCLUDE, BUT NOT LIMITED TO BUILDING, FIRE, HEALTH AND ACCESSIBILITY. PROVIDE ALL REQUIRED PERMITS AND INSPECTIONS. PAY ALL ASSOCIATED FEES.
- PROTECT EXISTING STRUCTURES AND PROPERTY NOT SCHEDULED FOR DEMOLITION FROM DAMAGE. INCLUDES BUT NOT LIMITED TO BUILDINGS, UTILITIES, WALKS, LANDSCAPING AND LAWN AREAS. REPAIR OR REPLACE DAMAGED AREA TO PREVIOUS CONDITION SUBJECT TO THE APPROVAL OF THE OWNER AND AT NO COST TO THE OWNER.
- FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS SHOWN OR OTHERWISE INDICATED ON THE DRAWINGS. ANY DISCREPANCIES SHALL BE IMMEDIATELY COMMUNICATED AND DESCRIBED TO THE ARCHITECT.
- COORDINATE WITH THE CITY THE SCHEDULING OF WORK THAT WILL AFFECT ANY PORTION OF CITY OWNED PROPERTY, INCLUDING ALL UTILITIES.
- COORDINATE WITH THE OWNER THE SCHEDULING OF WORK TO BE DONE THAT WILL AFFECT THE USE OF ANY PORTION OF THE BUILDINGS OR SITE, INCLUDING ALL UTILITIES, ETC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING FINAL FINISH GRADING, FOR SEEDING AREA AND OR SLOPE OF SLABS, DRIVES, SWALES, ETC. TO ASSURE POSITIVE DRAINAGE OF SITE WITHOUT PONDING OF WATER.
- THE DIMENSIONS ON THE FLOOR PLANS ARE TO FACE OF BRICK, CONCRETE BLOCK AND FACE OF ROUGH FRAMING UNLESS OTHERWISE NOTED AS CLEAR (CL) DIMENSIONS BETWEEN FINISHES. ALL DIMENSIONS ARE ACTUAL.
- DETERMINE LOCATION AND PROTECTION OF ALL UTILITIES, INCLUDING ANY THAT MAY NOT BE SHOWN ON THESE DRAWINGS.
- PROVIDE CONTINUOUS SOLID BLOCKING IN WALLS AS REQUIRED TO ANCHOR ALL CASEWORK, SHELVES, ACCESSORIES, EQUIPMENT, ETC. SHOWN WHETHER CALLED OUT AS PROVIDED BY CONTRACTOR OR BY OWNER OR N.E.C.
- INSTALL GYP BD CONTROL JOINTS AT 40' O.C. MIN. (AND AT LOCATIONS AS SHOWN) AT ALL GYP BD CEILINGS, WALLS, AND BULKHEADS.
- PROVIDE TREATED LUMBER, CONFORMING TO CODE REQUIREMENTS, AT ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY.
- NEW SIGNAGE IS NOT INTENDED OR PROVIDED UNDER THIS PERMIT. A SEPARATE PERMIT WILL BE APPLIED FOR BY THE SIGNAGE COMPANY AT A LATER DATE.
- IMMEDIATELY PRIOR TO SUBSTANTIAL COMPLETION - THOROUGHLY CLEAN ALL SURFACES IN PROJECT AREAS - AND IN AREAS AFFECTED BY CONSTRUCTION.
- IF CONFLICTS EXIST BETWEEN DOCUMENTS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

SCOPE OF WORK:

- REMOVE EXISTING FABRIC AWNINGS.
- REVISE EXISTING BUILDING FACADES.
- ADD PEIRS AND FENCING AT CENTER ENTRANCE.

PROJECT DATA

LEGAL DESCRIPTION:
BETHANY HEIGHTS, BLOCK 101, Lot 1 - 14, & VAC ALLEY ADJ & BLOCK 102 LOTS 1 - 7 & 11 - 14 & LOTS 8 - 10 EX S100 & VAC ALLEY ADJ & VAC W ST ADJ.
LINCOLN, NEBRASKA

ZONING:
B-1

STORIES:
ONE STORY / 12 FEET

GOVERNING CODES:
2012 INTERNATIONAL BUILDING CODE
2000 NFPA 101 LIFE SAFETY CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
1991 FAIR HOUSING ACCESSIBILITY GUIDELINES
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2014 NATIONAL ELECTRICAL CODE
2008 INTERNATIONAL MECHANICAL CODE

OCCUPANCY TYPE:
BUSINESS - B

TYPE OF CONSTRUCTION:
TYPE I - B NON-FIRE RATED

SHEET SCHEDULE	
General Information	
A0.0	COVER SHEET
ARCHITECTURAL	
A1.0	SITE PLAN
A1.1	MAIN LEVEL FLOOR PLAN
A1.2	FLOOR PLANS
A3.1	FIRST FLOOR REFLECTED CEILING PLAN
A3.2	REFLECTED CEILING PLANS
A4.1	ROOF PLAN
A5.1	EXTERIOR ELEVATIONS - EAST BUILDING
A5.2	EXTERIOR ELEVATIONS - NORTH BUILDING
A5.3	EXTERIOR ELEVATIONS - BUILDING 2
A6.1	WALL SECTIONS
A6.2	WALL SECTIONS
A6.3	WALL DETAILS
STRUCTURAL	
S101	ROOF FRAMING PLAN
S200	GENERAL NOTES & DETAILS

R:\Projects\2020\JE - Meadowlane facade remodel\Drawings\Meadowlane Facade Remodel.rvt

4/7/2021 10:41:14 AM

	 1201 O Street, Suite 310 Lincoln, NE 68508 p.402.477.7460 - www.royouker.com		 Suite A 3410 O Street Lincoln, Nebraska 68510 www.adalincn.com tel 402 486 3232
--	---	--	---

HAMPTON ENTERPRISES
 MEADOWLANE SHOPPING CENTER FACADE REMODEL
 900 N 70TH ST
 LINCOLN, NE

Project Number
20-085
Date
4/1/2021
Revisions

Date

© Copyright ADA 2020

A0.0

Back to Top



SITE PLAN
1
A1.0 1" = 30'-0"

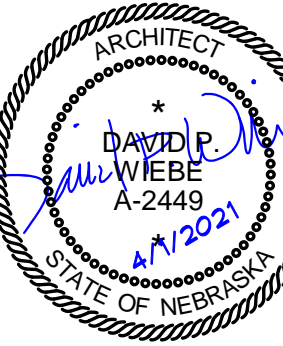
PARKING STALL TOTALS

EXISTING OFFICE/RETAIL	53,714 SF / 300	= 180 STALLS
EXISTING RESTAURANT/BAR	11,200 SF / 100	= 112 STALLS
TOTAL REQUIRED		= 292 STALLS
EXISTING		= 319 STALLS
OUTDOOR SEASONAL SALES		= 20 STALLS
TOTAL AVAILABLE		= 299 STALLS
(HANDICAPPED STALLS REQUIRED - 8 STALLS, INC. 1 VAN)		

PARKING STALLS
TYPICAL STALLS: 8'-0" x 17'-6" MIN. (15'-6" AT CURB)
PARALLEL STALLS: 8' x 22'

Project Number
20-085
Date
4/1/2021
Revisions
_____ Date _____

HAMPTON ENTERPRISES
MEADOWLARK SHOPPING CENTER FACADE REMODEL
800 N 70TH ST
LINCOLN, NE



Architectural Design Associates
3410 O Street
Suite A
Lincoln, Nebraska 68510
tel 402.486.3232
www.adalincoln.com

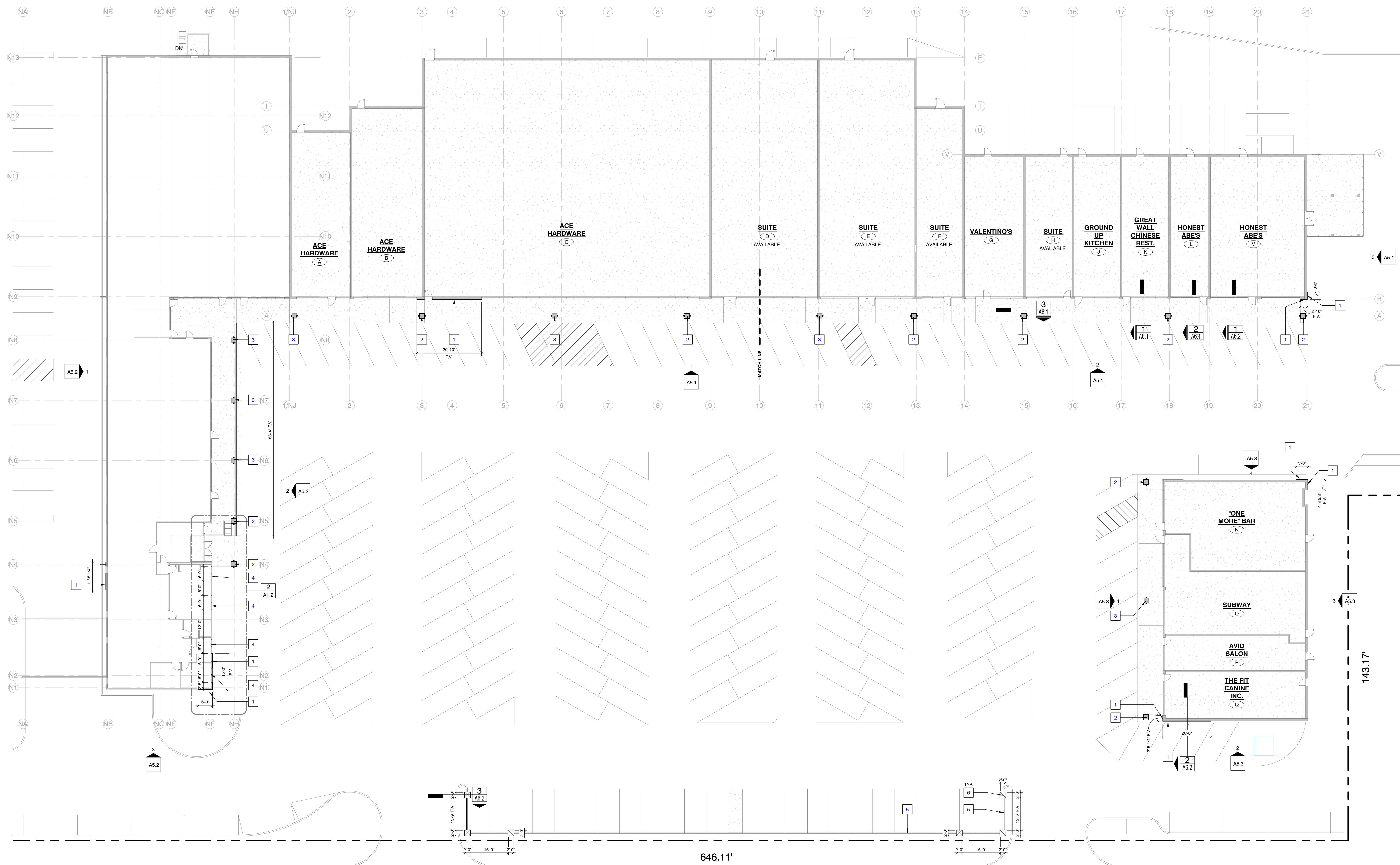
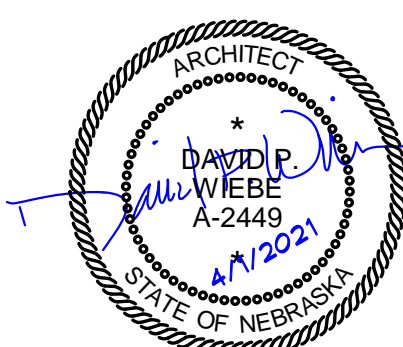


SHEET KEYNOTES

- 1 NEW THIN STONE VENEER ON EXIST. WALL
- 2 WRAP EXISTING BRICK COLUMN WITH THIN STONE VENEER
- 3 EXISTING BRICK COLUMN TO REMAIN - PAINT DARK GRAY
- 4 6" WIDE THERMALLY BROKEN ALUMINUM STOREFRONT WINDOW - 451T - F.V. OPENING HEIGHT - AA1.2
- 5 NEW 30" HIGH METAL FENCE ATTACHED TO TOP OF EXISTING WALL
- 6 ARCHITECTURAL CAST STONE COLUMN CAP - SEE DETAIL 7/A6.3



Architectural Design Associates
 3410 O Street
 Suite A
 Lincoln, Nebraska 68510
 tel 402 486 3232
 www.adalinc.com



1 MAIN LEVEL SUITE PLANS
 [A1.1] 1/16" = 1'-0"

4/7/2021 10:41:22 AM R:\Projects\2020\JE - Meadowlark facade remodel\Floor\MEADOWLARK Facade Remodel.rvt

HAMPTON ENTERPRISES
 MEADOWLARK SHOPPING CENTER FACADE REMODEL
 800 N 70TH ST
 LINCOLN, NE

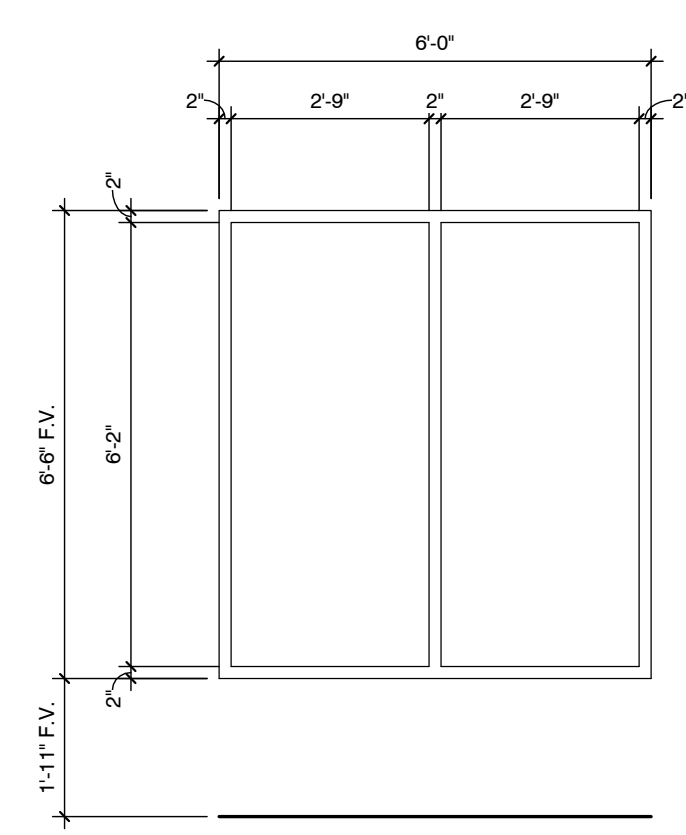
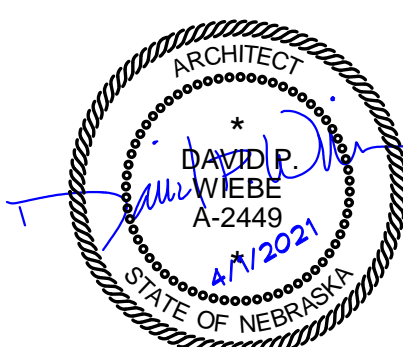
Project Number	20-085
Date	4/1/2021
Revisions	
#	Date

© Copyright ADA 2020



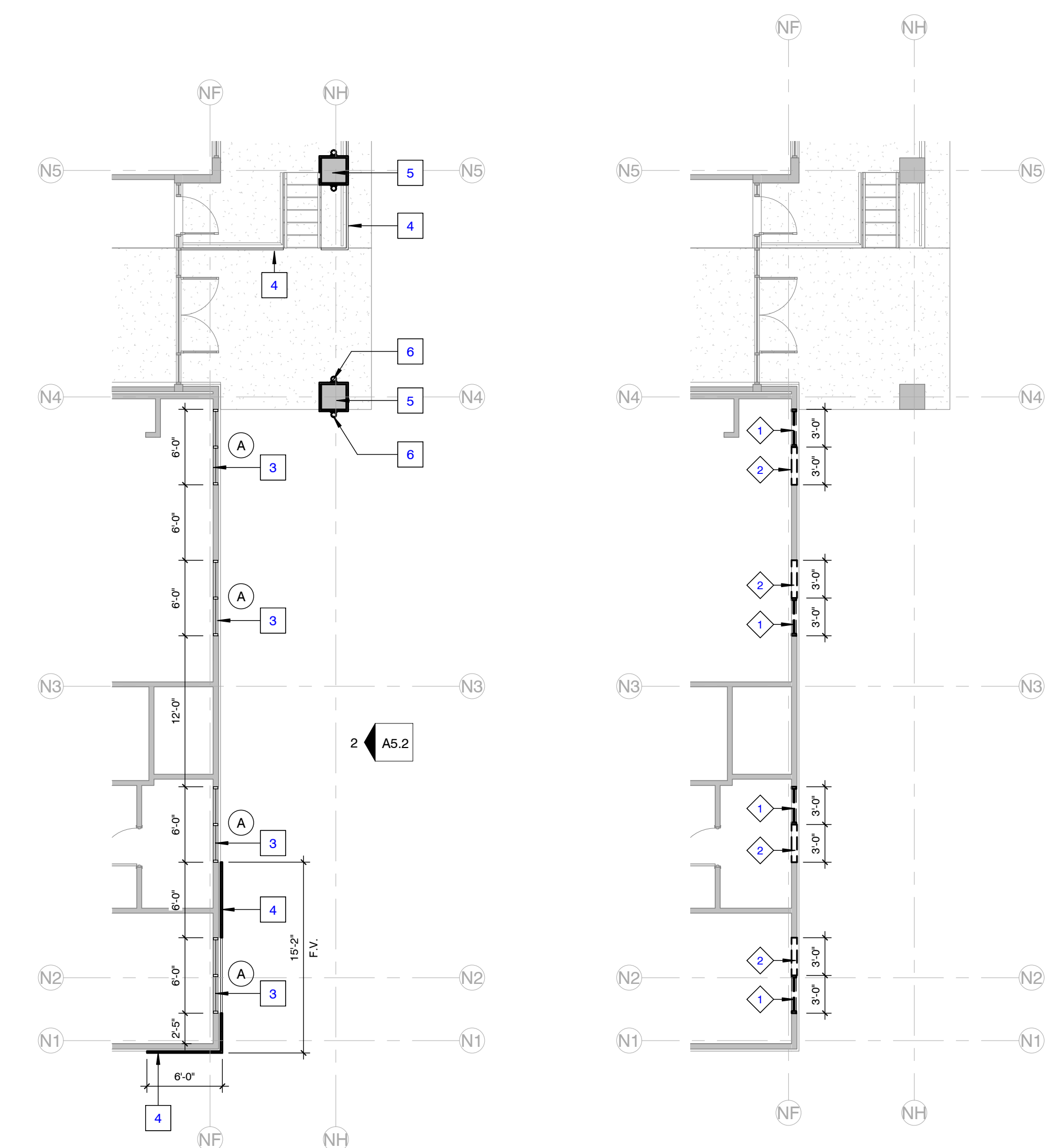
MAIN LEVEL FLOOR PLAN

- 1 DEMO EXIST. WINDOW
- 2 DEMO PORTION OF INFILL STUD WALL TO WIDEN WINDOW OPENING
- 3 8" WIDE THERMALLY BROKEN ALUMINUM STOREFRONT WINDOW - 451T - F.V. OPENING HEIGHT - AA1.2
- 4 NEW THIN STONE VENEER ON EXIST. WALL
- 5 WEAR EXISTING BRICK COLLAR WITH THIN STONE VENEER
- 6 NEW LED SCONCE LIGHT FIXTURE
- 7 EXISTING BRICK COLUMN TO REMAIN - PAINT DARK GRAY
- 8 REPLACE EXIST. SCONCE WITH NEW LED LIGHT FIXTURE



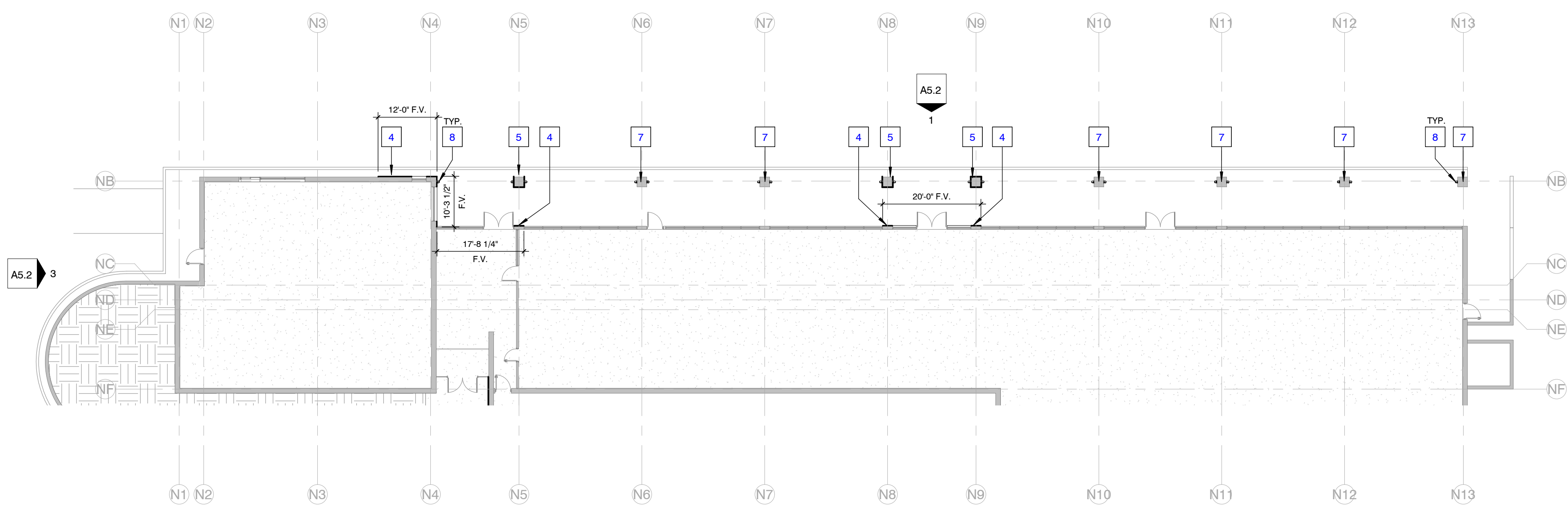
- NOTES:**
1. WINDOW FRAME TO BE CLEAR ANODIZED 2x4 1/2" THERMALLY BROKEN.
 2. GLAZING TO BE CLEAR, LOW-E, INSULATED.
 3. INTERIOR FINISH TO BE GYP. BD. RETURNS.

A ALUMINUM FRAME TYPES
 A1.2 3/8" = 1'-0"

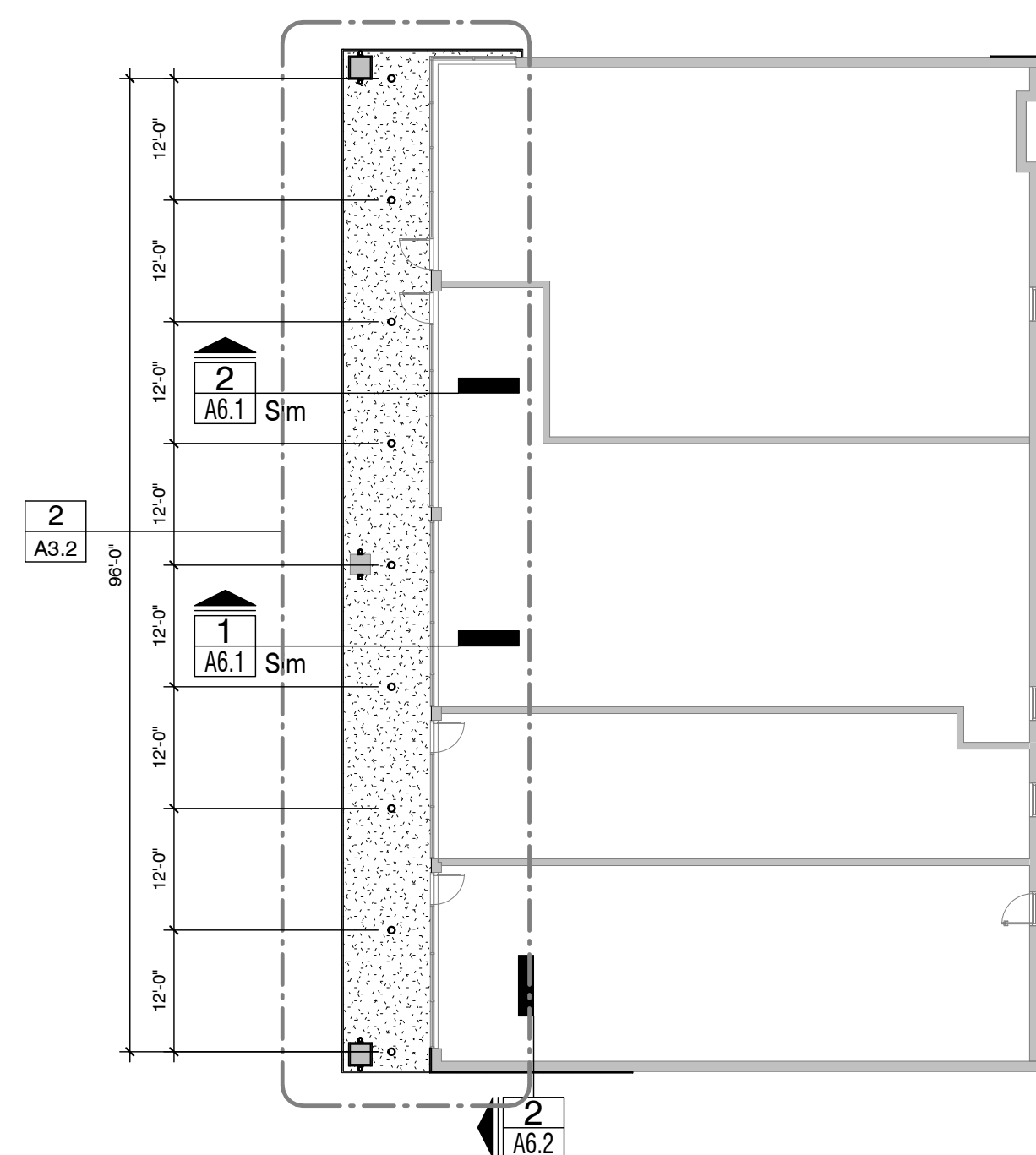
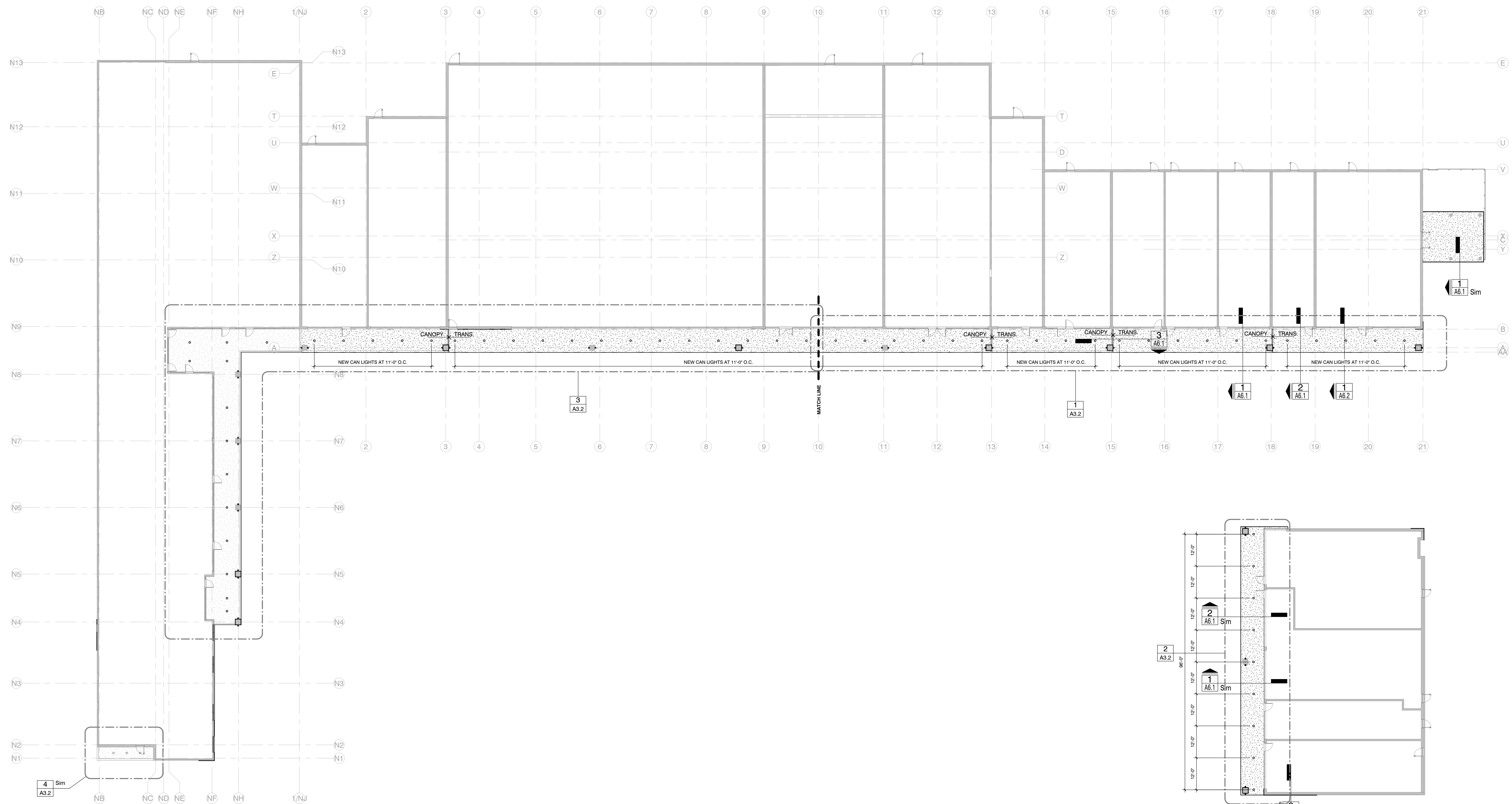


2 WINDOW ALTERATIONS
 A1.2 1/8" = 1'-0"

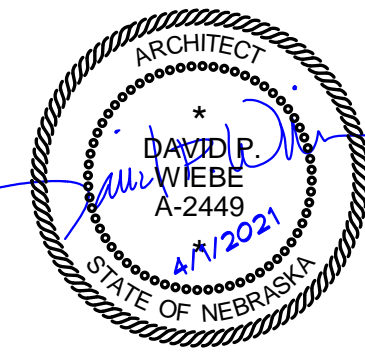
1 WINDOW ALTERATIONS DEMO
 A1.2 1/8" = 1'-0"



3 NORTH BUILDING FIRST FLOOR
 A1.2 1/16" = 1'-0"



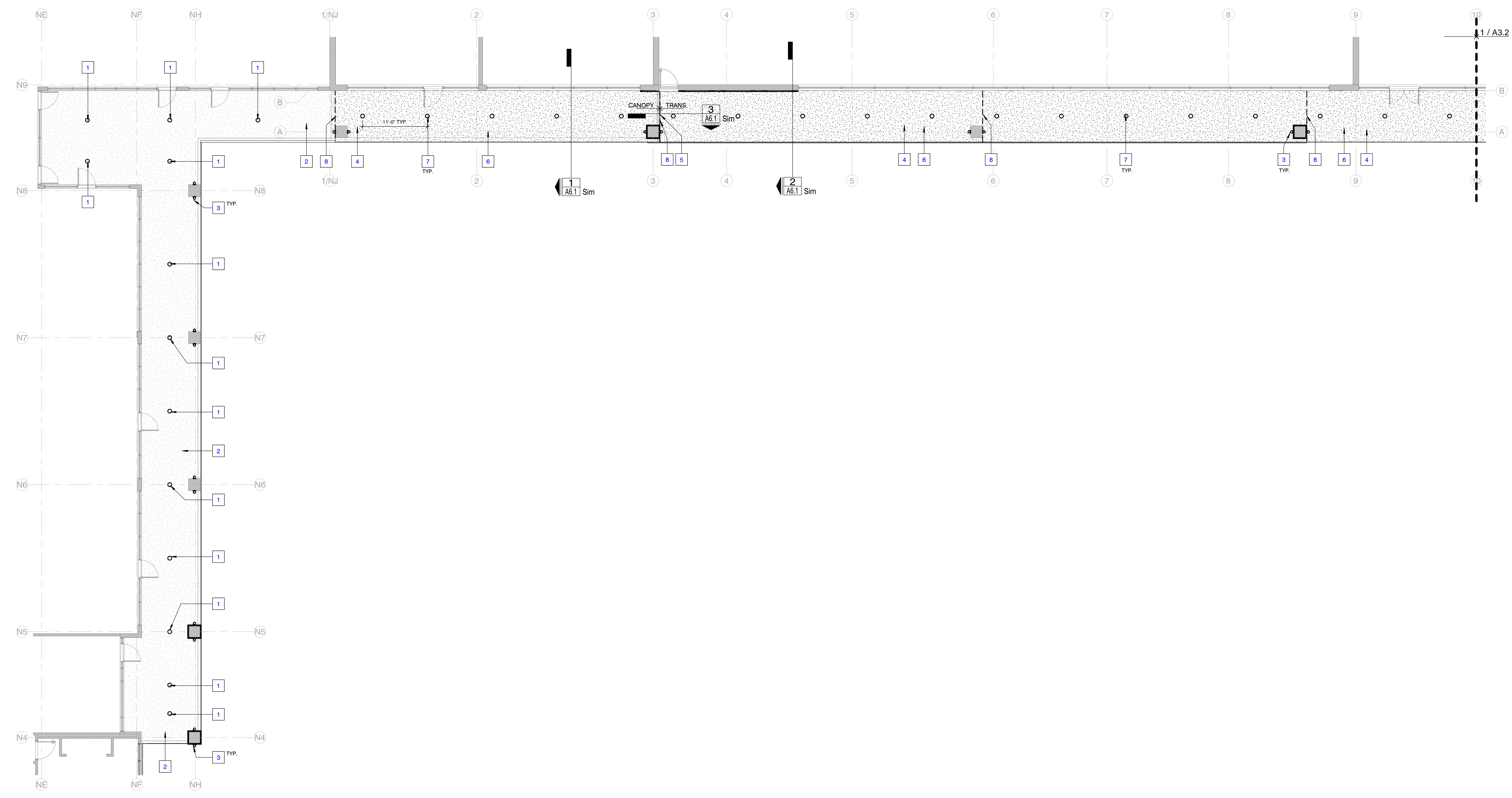
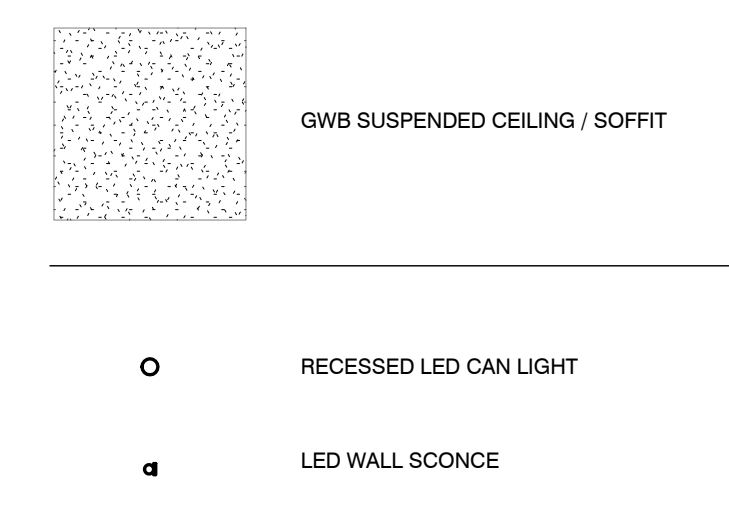
1 CEILING PLAN
 A3.1 1/16" = 1'-0"



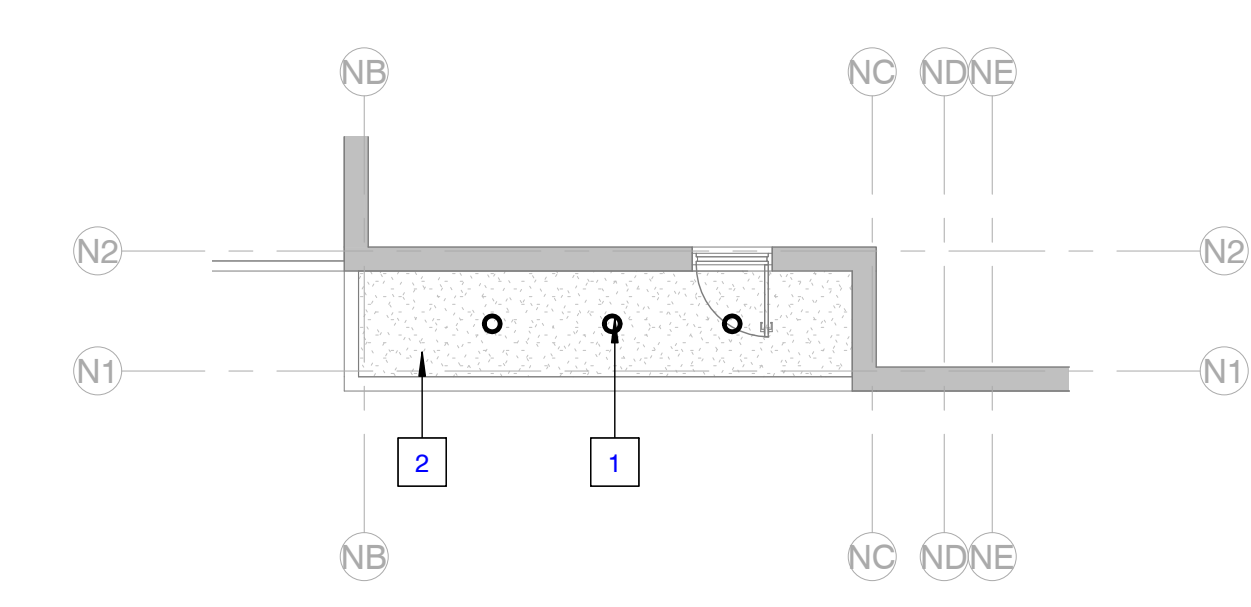
SHEET KEYNOTES

- 1 REPLACE EXIST CAN LIGHT WITH NEW RECESSED LED CAN LIGHT
- 2 EXISTING FLAT CANOPY CEILING TO REMAIN - PAINT
- 3 NEW LED SCIENCE LIGHT FIXTURE
- 4 HARD COAT EPS FINISH ON 5/8" GLASS MAT SHEATHING
- 5 1 1/2" EPS
- 6 DEMO ARCHED CEILING - PREP FOR NEW FLAT CEILING
- 7 NEW RECESSED LED CAN LIGHT
- 8 DRAFT STOP - EXTEND 1/2" OSB FROM TOP OF SOFFIT TO UNDER SIDE OF ROOF DECK

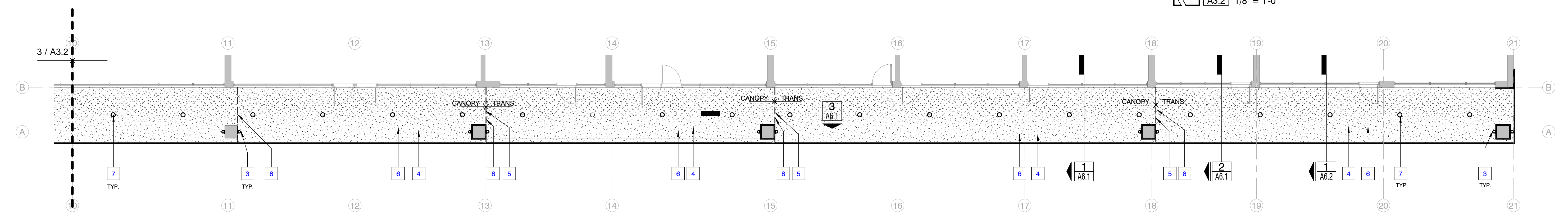
REFLECTED CEILING LEGEND



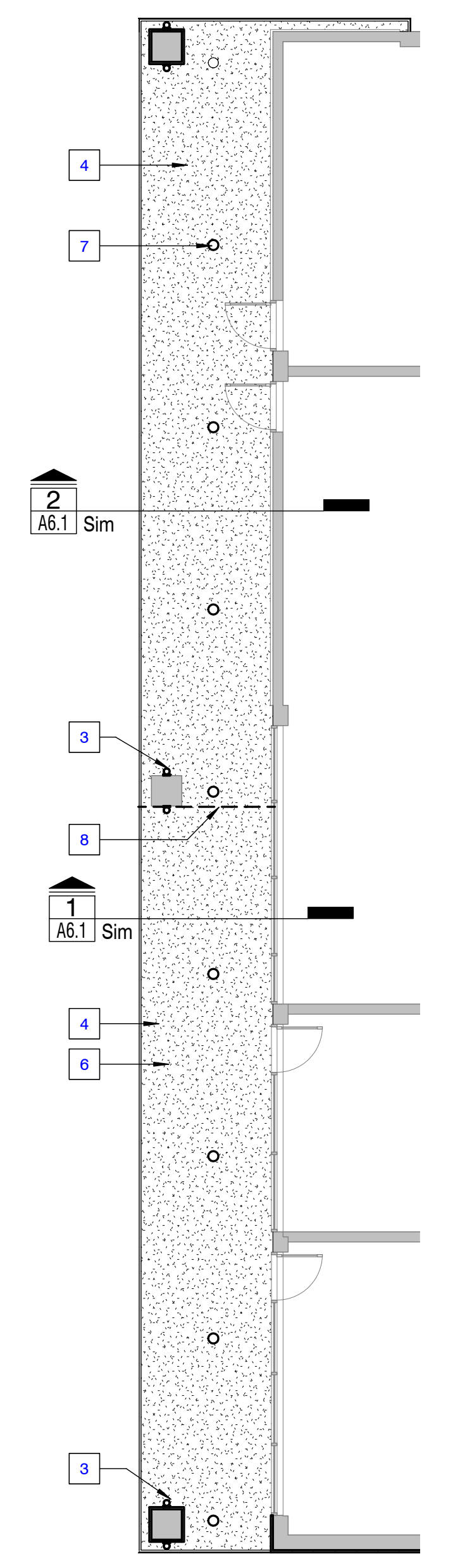
3 NORTH HALF RCP
A3.2 1/8" = 1'-0"



4 NORTH BUILDING FIRST FLOOR
A3.2 1/8" = 1'-0"



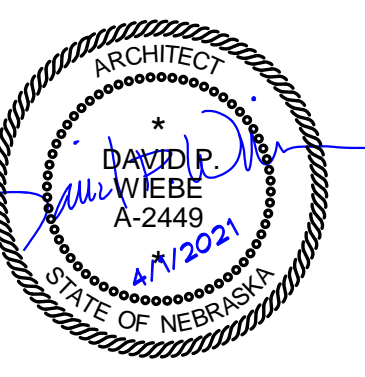
1 SOUTH HALF RCP
A3.2 1/8" = 1'-0"



2 BUILDING 2 RCP
A3.2 1/8" = 1'-0"



Architectural Design Associates
3410 O Street
Suite A
Lincoln, Nebraska 68510
tel 402 486 3232
www.adalinc.com



HAMPTON ENTERPRISES
MEADOWLANE SHOPPING CENTER FACADE REMODEL
500 N 70TH ST
LINCOLN, NE

Project Number
20-085
Date
4/1/2021
Revisions
Date

© Copyright ADA 2020

A3.2
REFLECTED CEILING PLANS
Back to Top

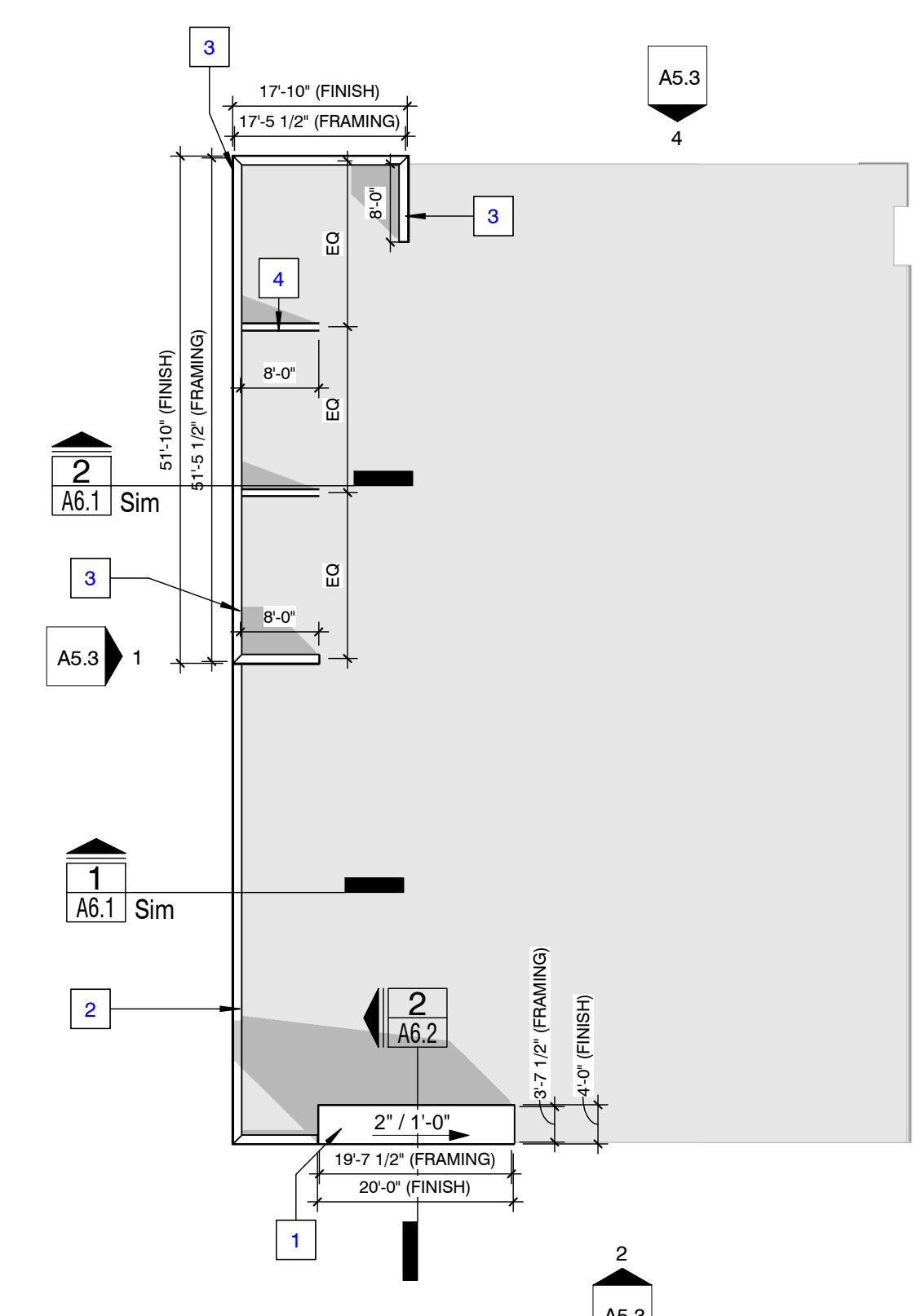
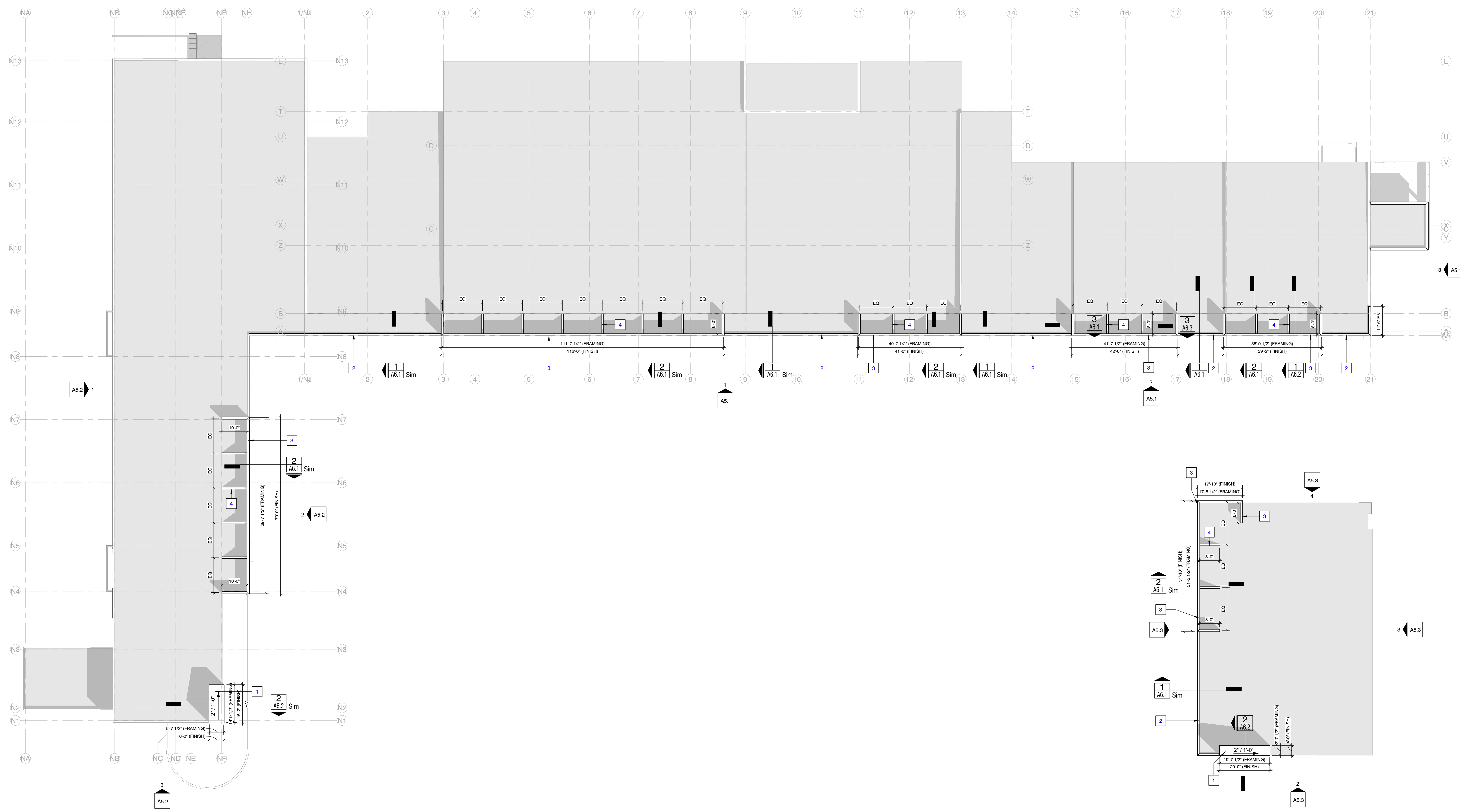
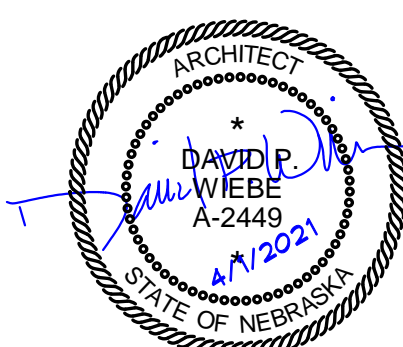
4/7/2021 10:41:33 AM R:\Projects\2020\HE - Meadowlane facade remodel\Drawings\Meadowlane Facade Remodel.rvt

SHEET KEYNOTES

- 1 PRE-FINISHED SHEET METAL ROOFING WITH DRIP EDGE
- 2 PRE-FINISHED COPING CAP WITH CONT. CLEAT ON NEW 8" CURB
- 3 PRE-FINISHED COPING CAP WITH CONT. CLEAT ON NEW PARAPET WALL
- 4 SLOPED PARAPET BRACING WALL - HOLD TOP 4" BELOW PARAPET COPING CAP - SEE DET.



Architectural Design Associates
 3410 O Street
 Suite A
 Lincoln, Nebraska 68510
 tel 402 486 3232
 www.adalinc.com



1 ROOF PLAN
 A4.1 1/16" = 1'-0"

4/7/2021 10:41:38 AM R:\Projects\2020\JE - Meadowlark facade remodel\FacadeRemodel\FacadeRemodel.rvt

HAMPTON ENTERPRISES
 MEADOWLARK SHOPPING CENTER FACADE REMODEL
 600 N 70TH ST
 LINCOLN, NE

Project Number	20-085
Date	4/1/2021
Revisions	
#	Date

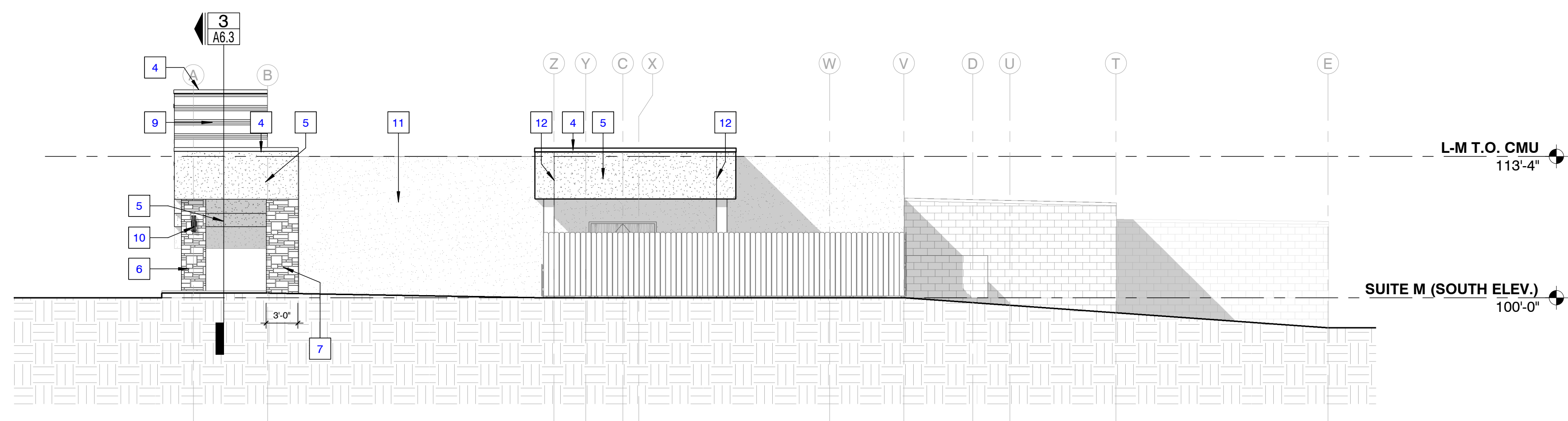
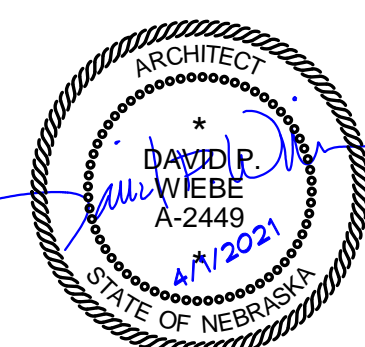
© Copyright ADA 2020

SHEET KEYNOTES

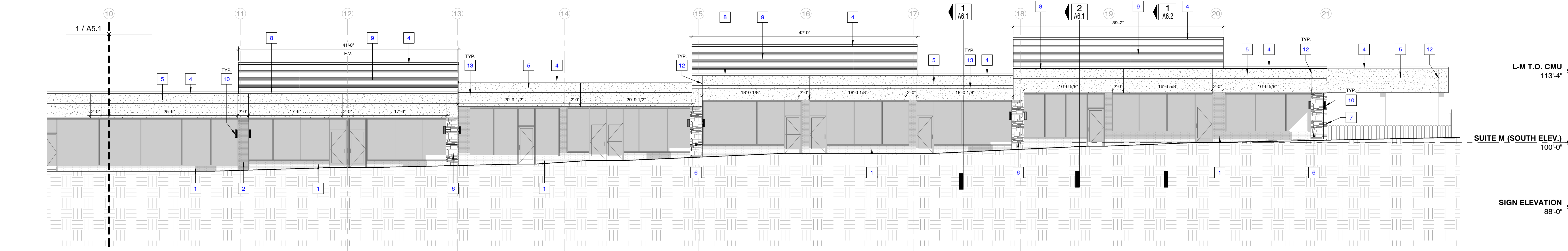
- 1 EXISTING BRICK TO REMAIN - PAINT LIGHT GRAY
- 2 EXISTING BRICK COLUMN TO REMAIN - PAINT DARK GRAY
- 3 NEW 1 1/2" EIFS ON EXIST. CONC. PANEL
- 4 PRE-FINISHED COPING CAP WITH CONTINUOUS CLEAT
- 5 1 1/2" EIFS
- 6 WRAP EXISTING BRICK COLUMN WITH THIN STONE VENEER
- 7 NEW THIN STONE VENEER ON EXIST. WALL
- 8 PRE-FINISHED METAL DRIP EDGE FLASHING
- 9 METAL CONCEALED FASTENER LAP SIDING - DELTA 16T
- 10 NEW LED SCONCE LIGHT FIXTURE
- 11 EXISTING STUCCO FINISH MASONRY WALL - PAINT LIGHT GRAY
- 12 Y GROOVE IN EIFS
- 13 SIGN MOUNTING CHANNEL IN EIFS



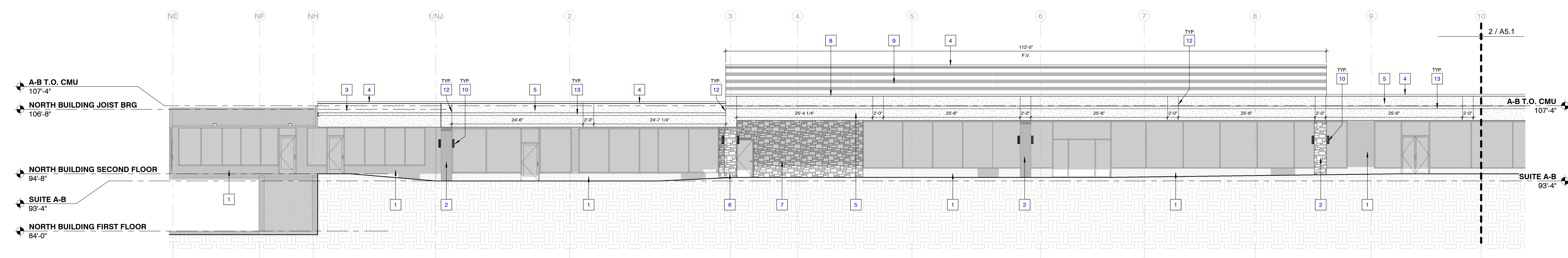
Architectural Design Associates
 3410 O Street
 Suite A
 Lincoln, Nebraska 68510
 tel 402 486 3232
 www.adalinc.com



3 EAST BUILDING - SOUTH ELEVATION
 A5.1 1/8" = 1'-0"



2 EAST BUILDING - WEST ELEVATION - SOUTH HALF
 A5.1 1/8" = 1'-0"



1 EAST BUILDING - WEST ELEVATION - NORTH HALF
 A5.1 1/8" = 1'-0"

HAMPTON ENTERPRISES
MEADOWLANE SHOPPING CENTER FACADE REMODEL
 600 N 70TH ST
 LINCOLN, NE

Project Number	20-085
Date	4/1/2021
Revisions	
#	Date

© Copyright ADA 2020

A5.1
 EXTERIOR ELEVATIONS - EAST BUILDING
 Back to Top

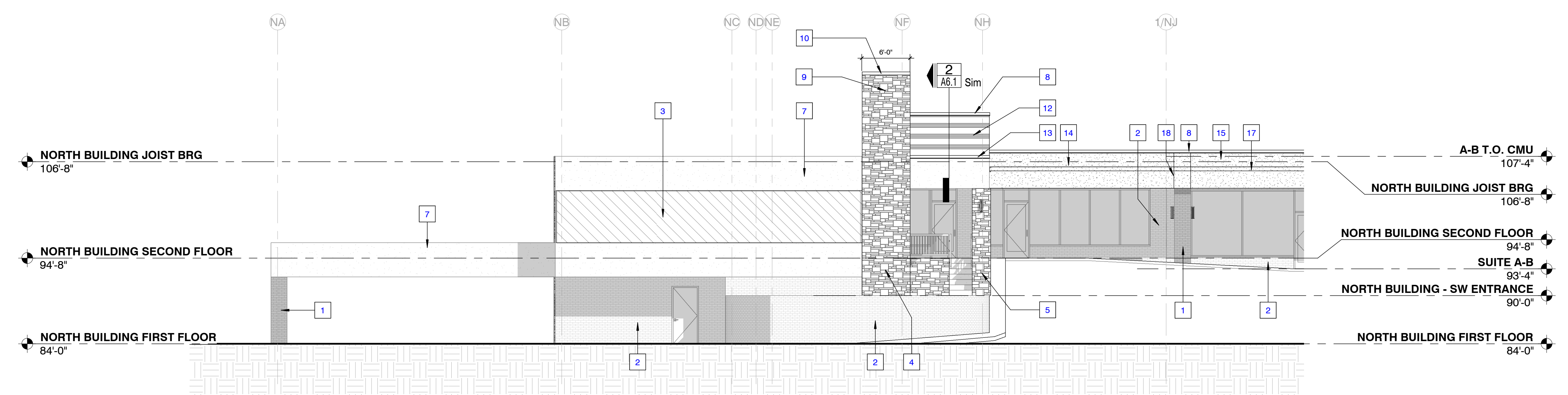
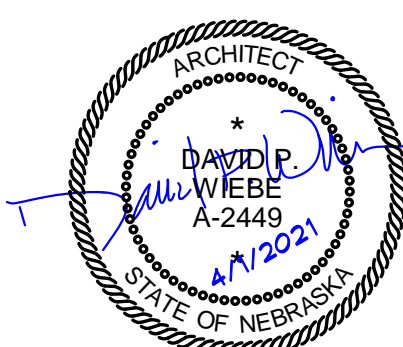
R:\Projects\2020\15E - Meadowlane facade remodel\Drawings\Meadowlane Facade Remodel.rvt
 4/7/2021 10:41:47 AM

SHEET KEYNOTES

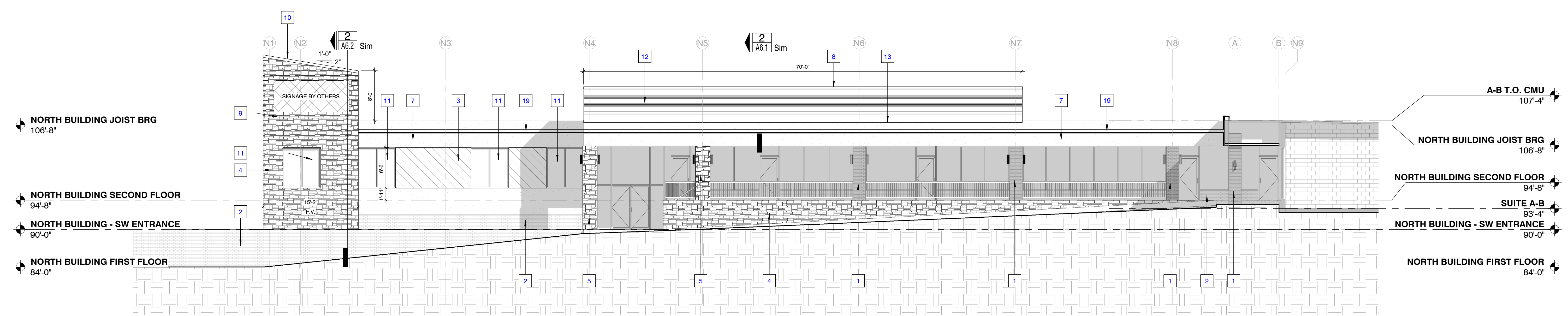
- 1 EXISTING BRICK COLUMN TO REMAIN - PAINT DARK GRAY
- 2 EXISTING BRICK TO REMAIN - PAINT LIGHT GRAY
- 3 REMOVE AND REPLACE EXIST. CEMENTIOUS PANELS AT HATCHED AREA - CAULK PERIMETER - PAINT LIGHT GRAY
- 4 NEW THIN STONE VENEER ON EXIST. WALL
- 5 WRAP EXISTING BRICK COLUMN WITH THIN STONE VENEER
- 6 NEW 1 1/2" EIFS ON EXIST. CONC. PANEL - DARK GRAY
- 7 EXISTING CONC. PANEL TO REMAIN UNCHANGED
- 8 PRE-FINISHED CORING CAP WITH CONTINUOUS CLEAT
- 9 THIN STONE VENEER
- 10 PRE-FINISHED SHEET METAL ROOFING WITH DRIP EDGE
- 11 6" WIDE THERMALLY BROKEN ALUMINUM STOREFRONT WINDOW - 451T - F.V. OPENING HEIGHT - AA1 2
- 12 METAL CONCEALED FASTENER LAP SIDING - DELTA 16T
- 13 PRE-FINISHED METAL DRIP EDGE FLASHING
- 14 NEW 1 1/2" EIFS ON EXIST. CONC. PANEL
- 15 1 1/2" EIFS
- 16 REPLACE EXIST. SCONCE WITH NEW LED LIGHT FIXTURE
- 17 SIGN MOUNTING CHANNEL IN EIFS
- 18 'V' GROOVE IN EIFS
- 19 SIGN MOUNTING CHANNEL ON EXIST. CONC. PANELS



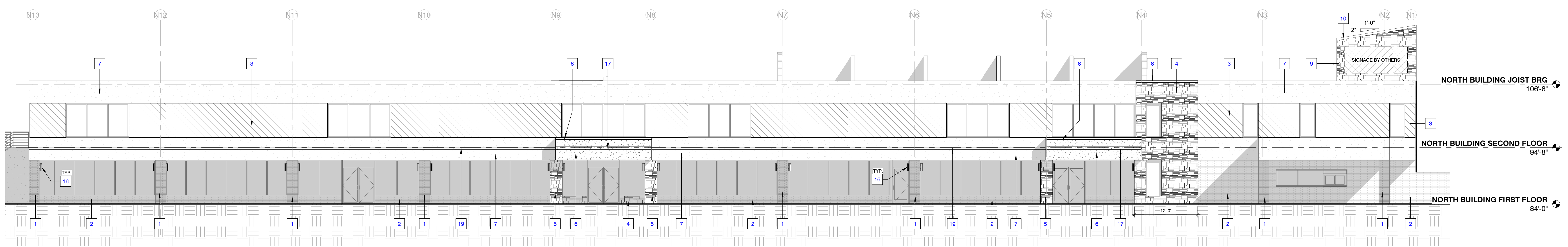
Architectural Design Associates
 3410 O Street
 Suite A
 Lincoln, Nebraska 68510
 tel 402 486 3232
 www.adalincoln.com



3 NORTH BUILDING - WEST ELEVATION
 A5.2 1/8" = 1'-0"



2 NORTH BUILDING - SOUTH ELEVATION
 A5.2 1/8" = 1'-0"



1 NORTH BUILDING - NORTH WALL
 A5.2 1/8" = 1'-0"

4/7/2021 10:41:56 AM R:\Projects\2020\JE - Meadowlark facade remodel\Facade\Drawings\Facade Remodel.rvt

HAMPTON ENTERPRISES
 MEADOWLARK SHOPPING CENTER FACADE REMODEL
 800 N 70TH ST
 LINCOLN, NE

Project Number
 20-085
 Date
 4/1/2021
 Revisions
 # Date

© Copyright ADA 2020

A5.2

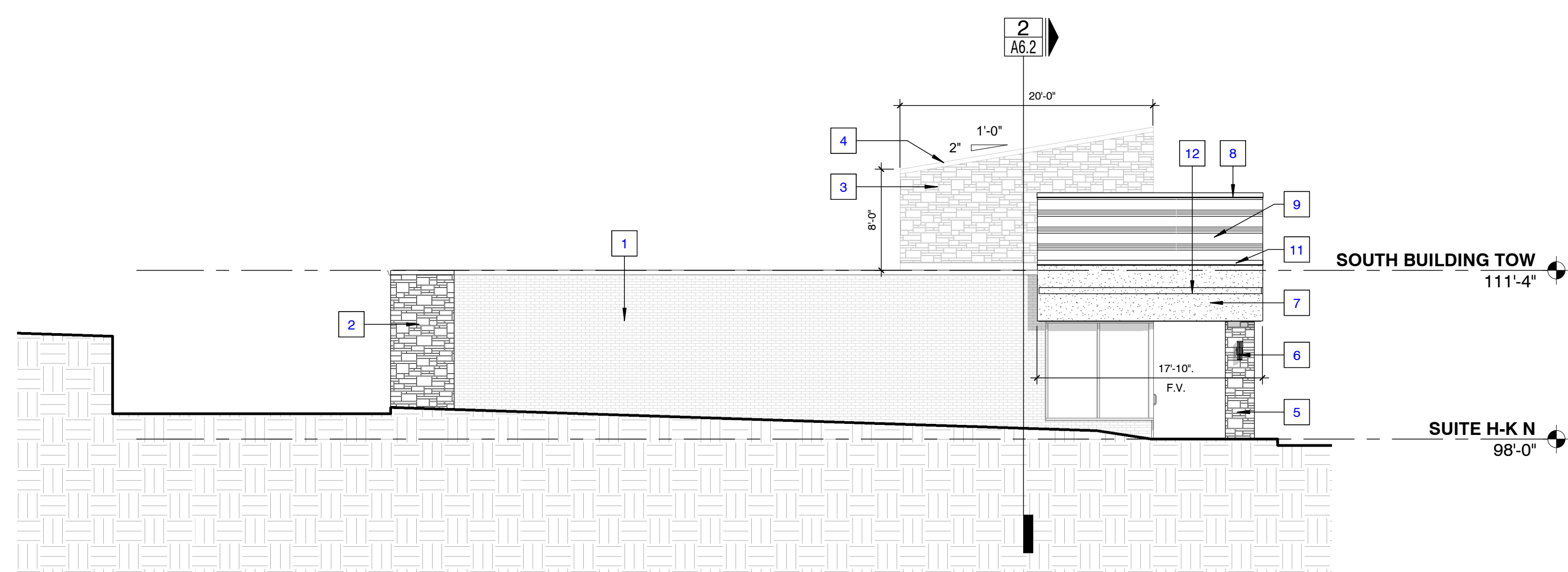
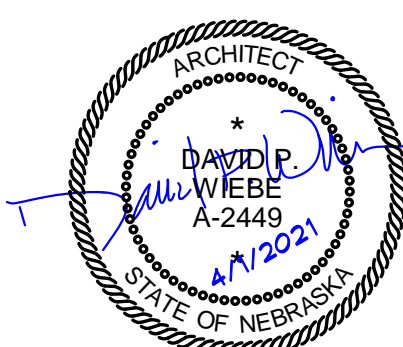
EXTERIOR ELEVATIONS - NORTH BUILDING
 Back to Top

SHEET KEYNOTES

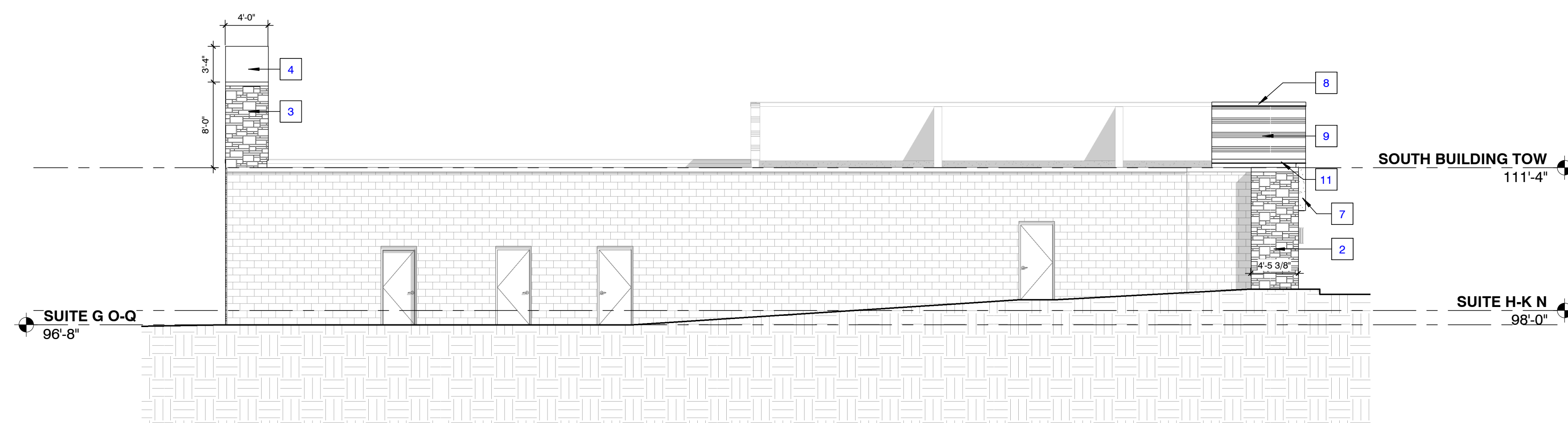
- 1 EXISTING BRICK TO REMAIN - PAINT LIGHT GRAY
- 2 NEW THIN STONE VENEER ON EXIST. WALL
- 3 THIN STONE VENEER
- 4 PRE-FINISHED SHEET METAL ROOFING WITH DRIP EDGE
- 5 WRAP EXISTING BRICK COLUMN WITH THIN STONE VENEER
- 6 NEW LED SCONCE LIGHT FIXTURE
- 7 1 1/2" EIFS
- 8 PRE-FINISHED COPING CAP WITH CONTINUOUS CLEAT
- 9 METAL CONCEALED FASTENER LAP SIDING - DELTA 101
- 10 EXISTING BRICK COLUMN TO REMAIN - PAINT DARK GRAY
- 11 PRE-FINISHED METAL DRIP EDGE FLASHING
- 12 SIGN MOUNTING CHANNEL IN EIFS



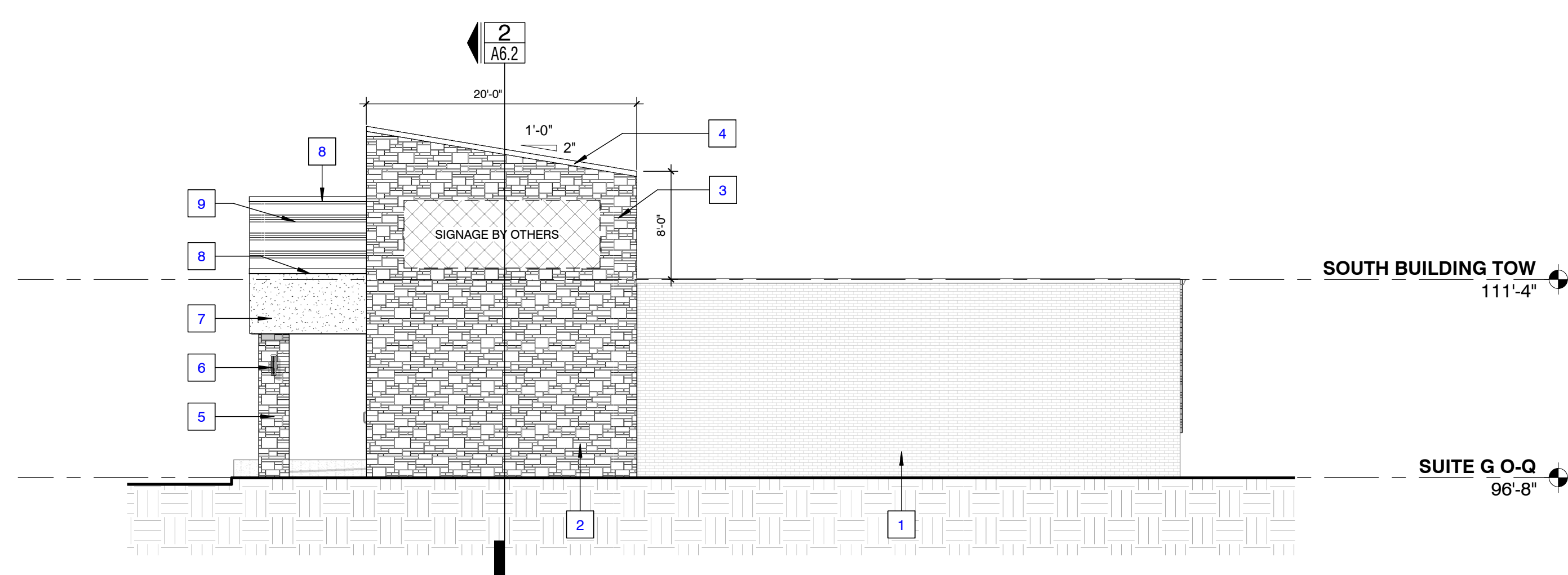
Architectural Design Associates
 3410 O Street
 Suite A
 Lincoln, Nebraska 68510
 tel 402 486 3232
 www.adalincoln.com



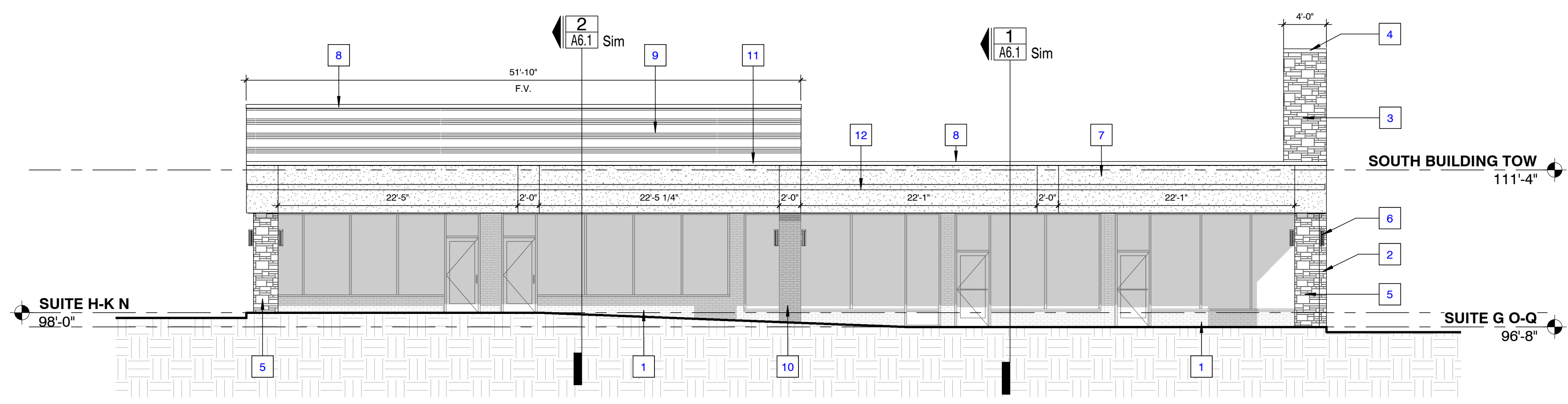
4 BUILDING 2 - EAST ELEVATION
 A5.3 1/8" = 1'-0"



3 BUILDING 2 - SOUTH ELEVATION
 A5.3 1/8" = 1'-0"



2 BUILDING 2 - WEST ELEVATION
 A5.3 1/8" = 1'-0"



1 BUILDING 2 - NORTH ELEVATION
 A5.3 1/8" = 1'-0"

4/7/2021 10:42:02 AM R:\Projects\2020\H-E - Meadowlark facade remodel\Facade Remodel\Facade Remodel.rvt

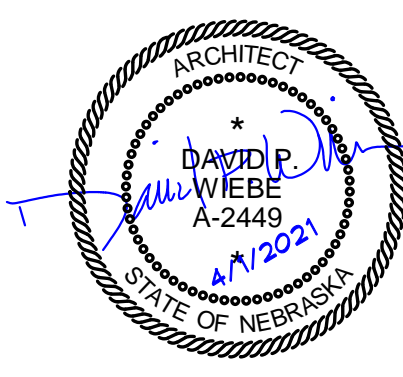
HAMPTON ENTERPRISES
 MEADOWLANE SHOPPING CENTER FACADE REMODEL
 800 N 70TH ST
 LINCOLN, NE

Project Number
 20-085
 Date
 4/1/2021
 Revisions
 # Date

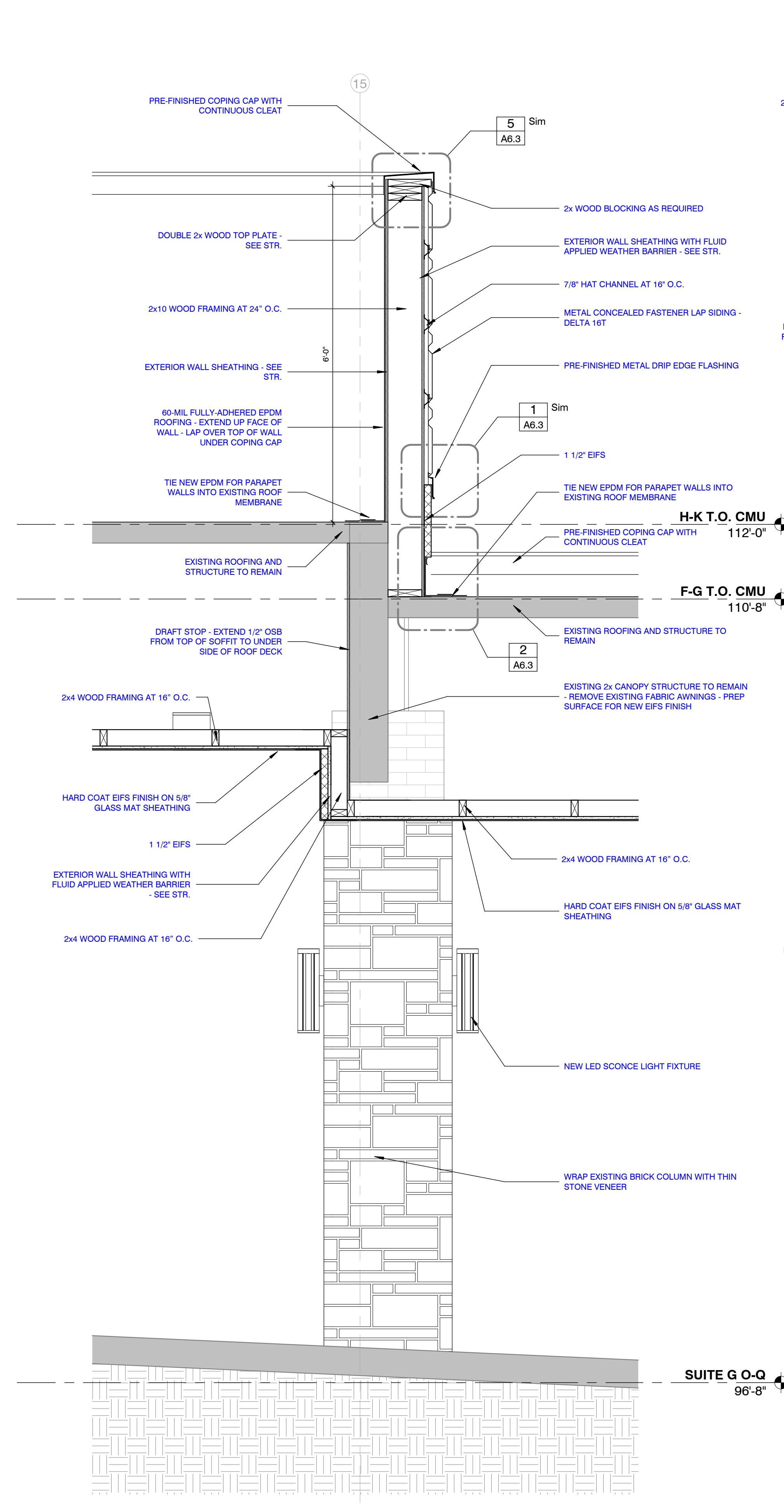
© Copyright ADA 2020

A5.3

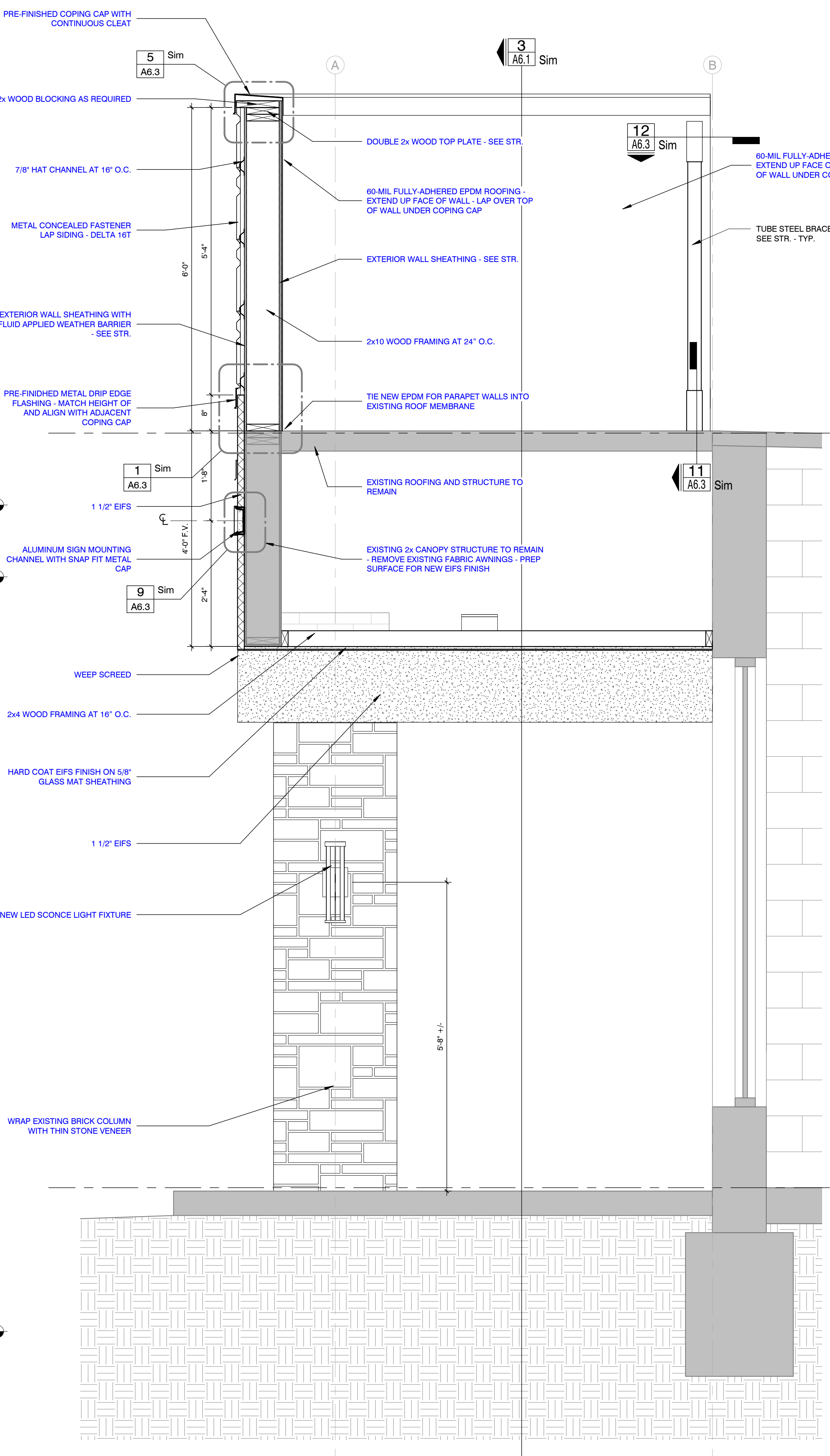
EXTERIOR ELEVATIONS - BUILDING 2
 Back to Top



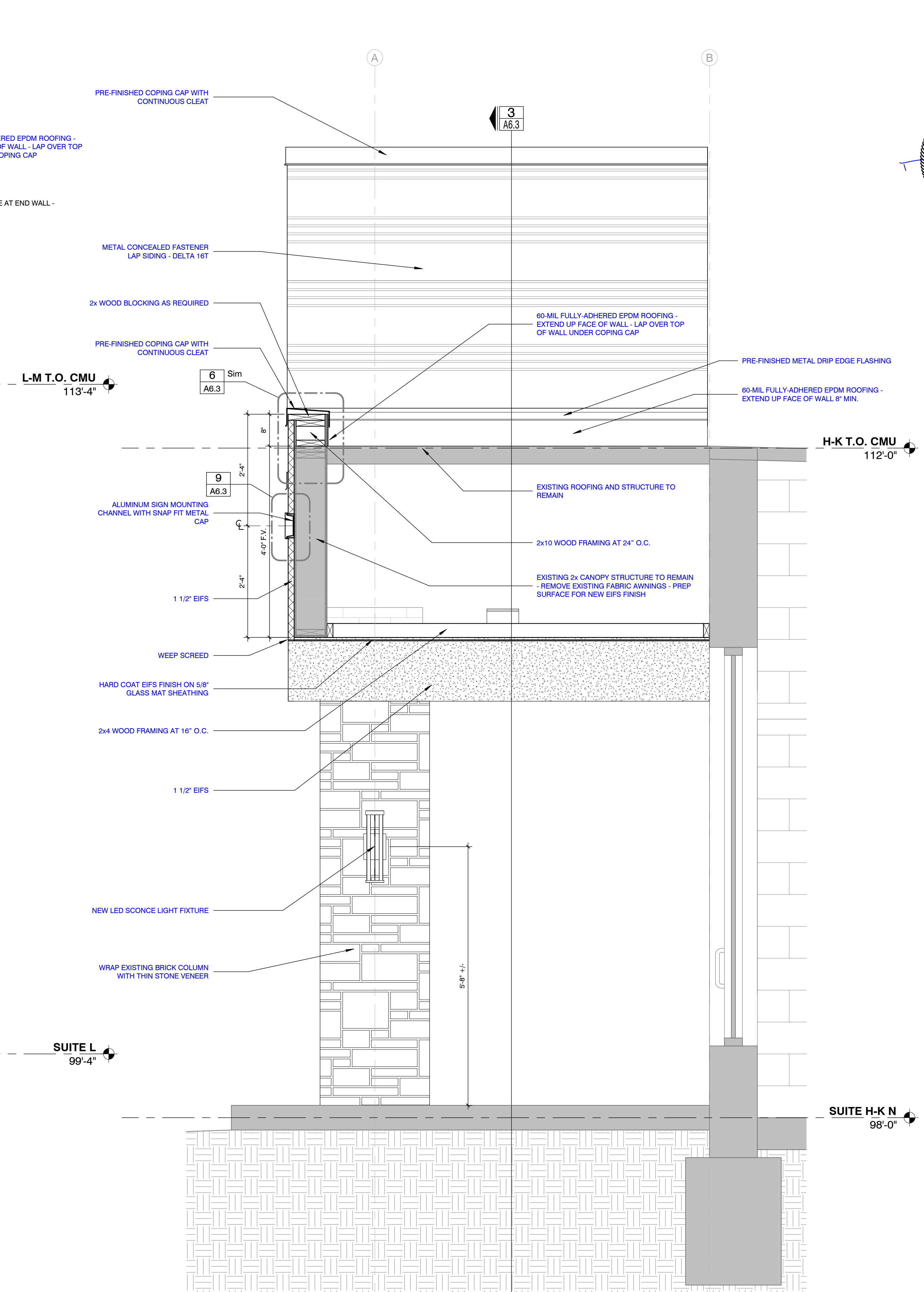
4/7/2021 10:42:03 AM R:\Projects\2020\JE - Meadowlark facade remodel\Facade\Facade Remodel.rvt



3 WING WALL AT TRANSITION
 A6.1 3/4" = 1'-0"



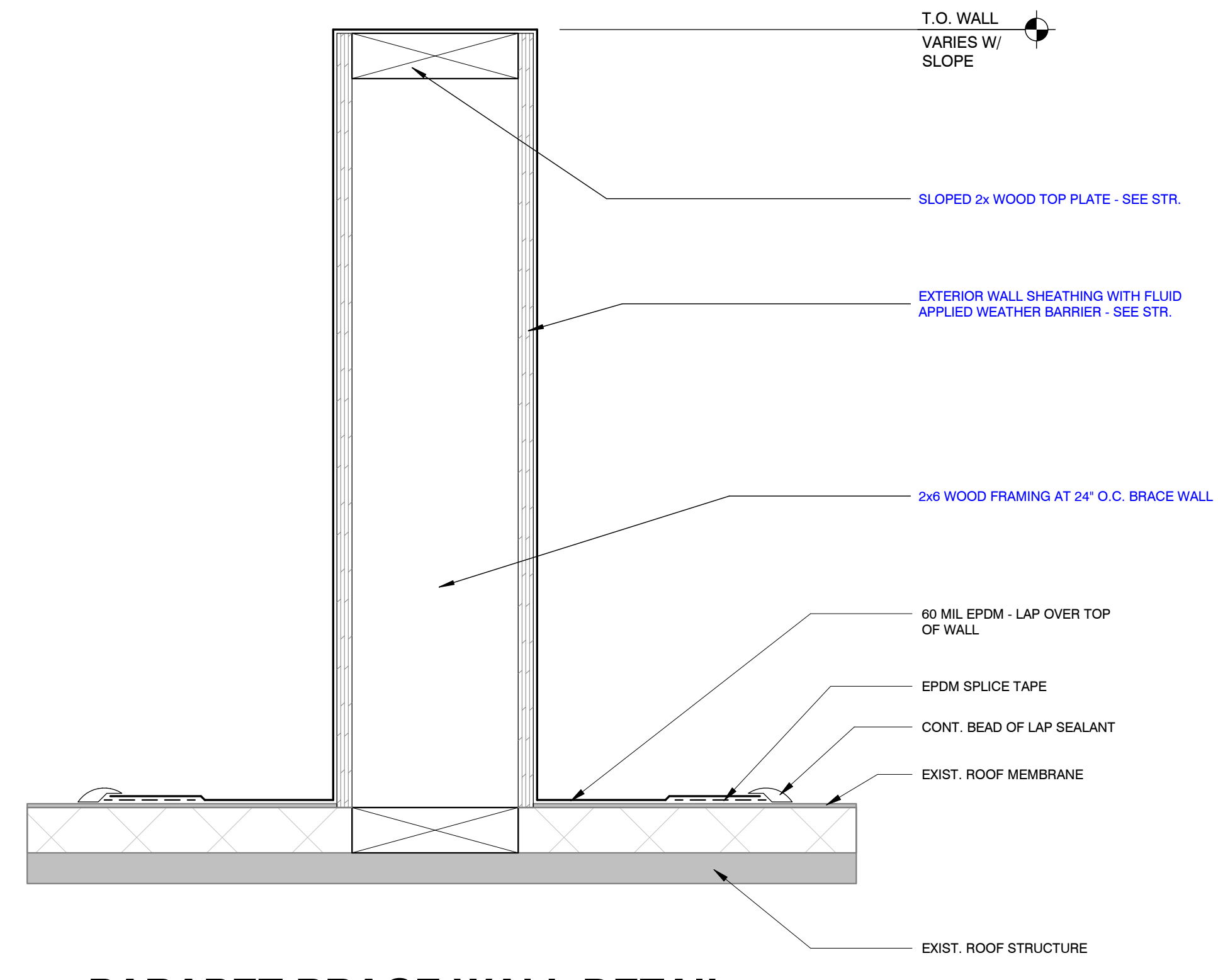
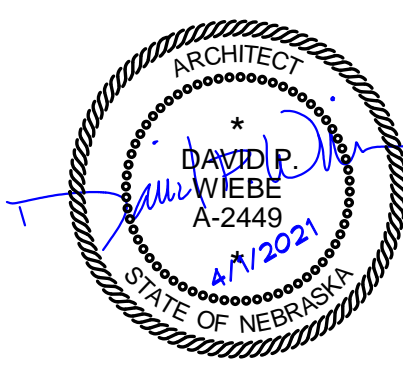
2 METAL PANEL WALL SECTION - TYP
 A6.1 3/4" = 1'-0"



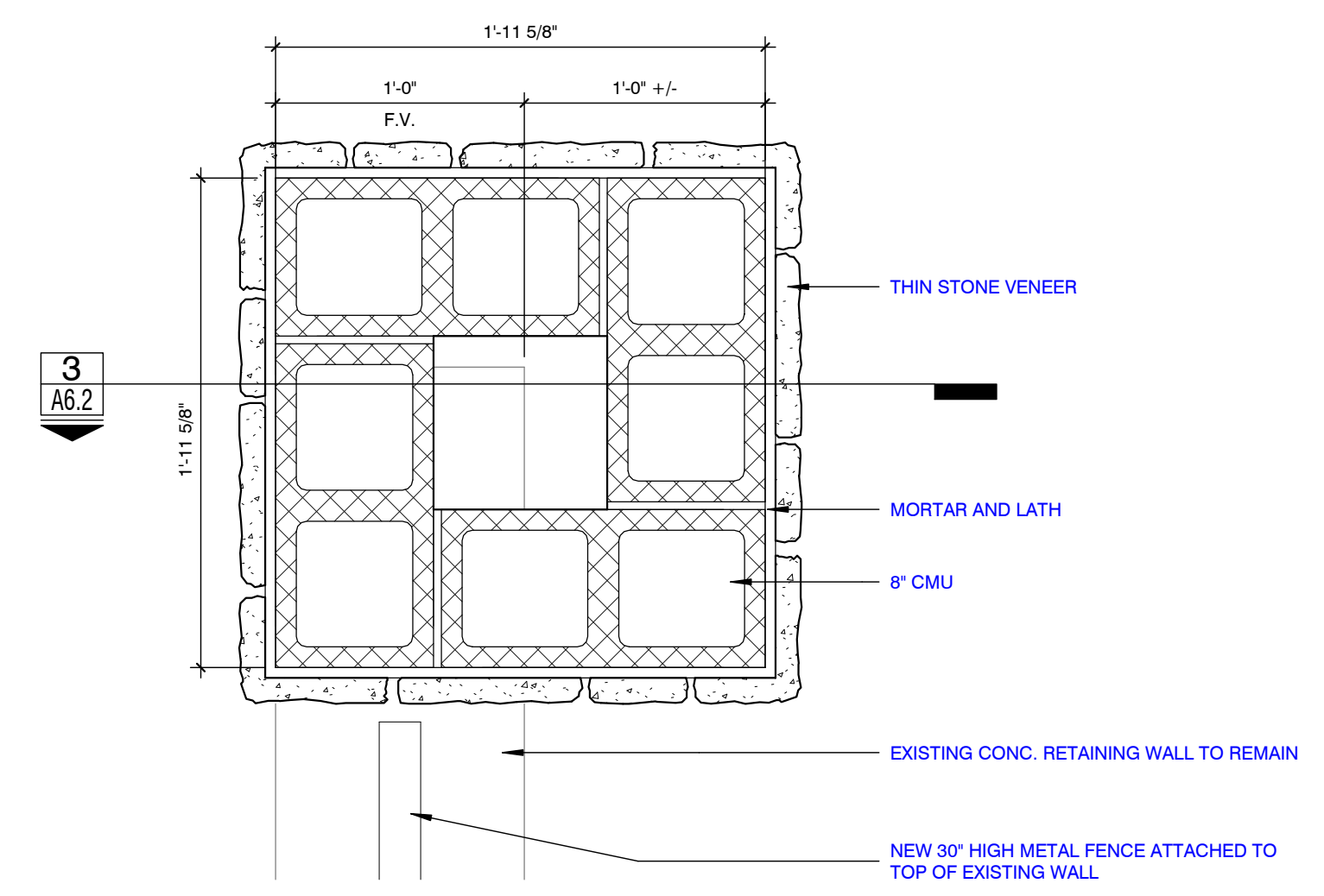
1 EIFS CURB WALL SECTION - TYP
 A6.1 3/4" = 1'-0"

HAMPTON ENTERPRISES
 MEADOWLARK SHOPPING CENTER FACADE REMODEL
 900 N 70TH ST
 LINCOLN, NE

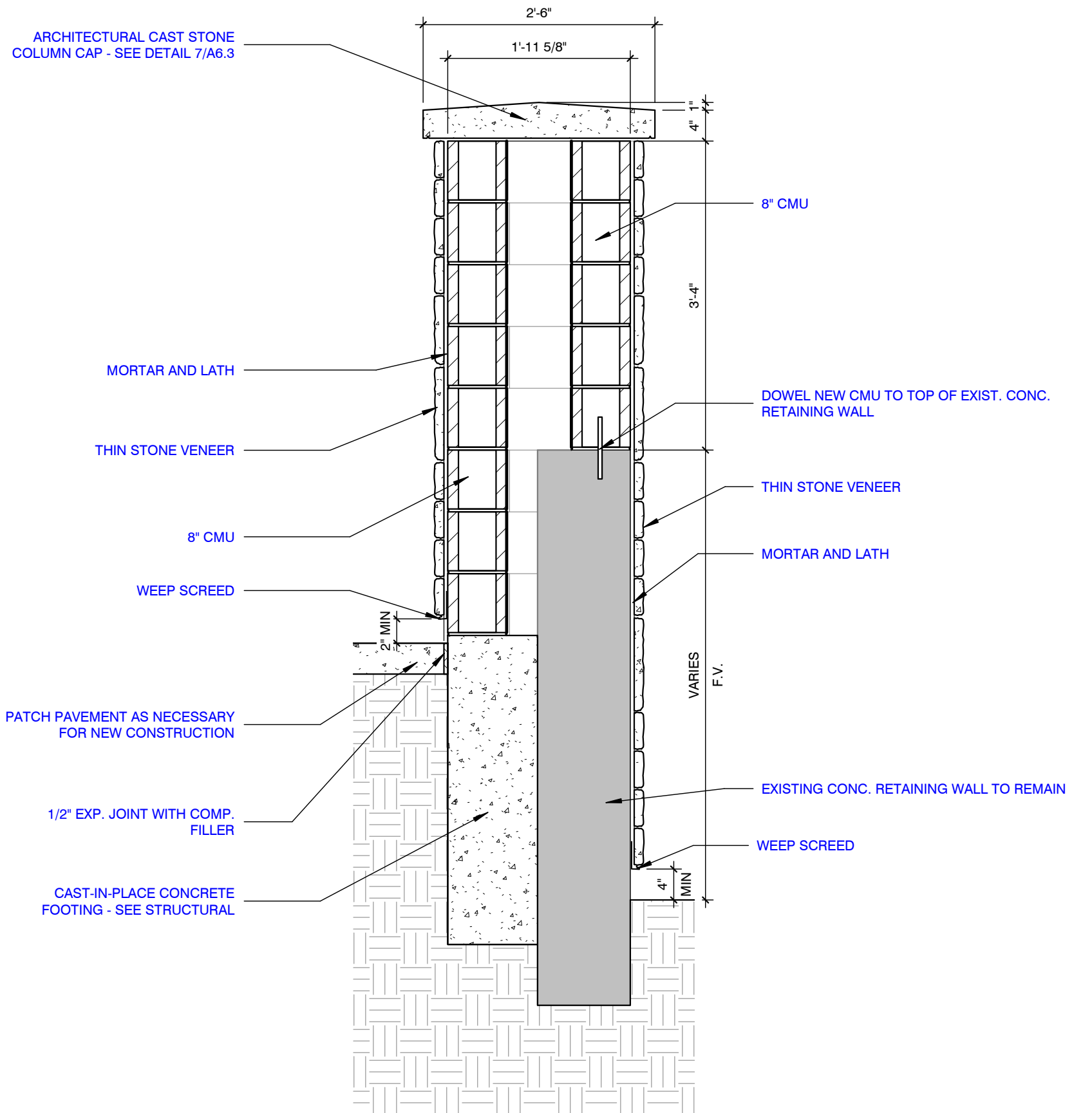
Project Number	20-085
Date	4/1/2021
Revisions	
#	Date



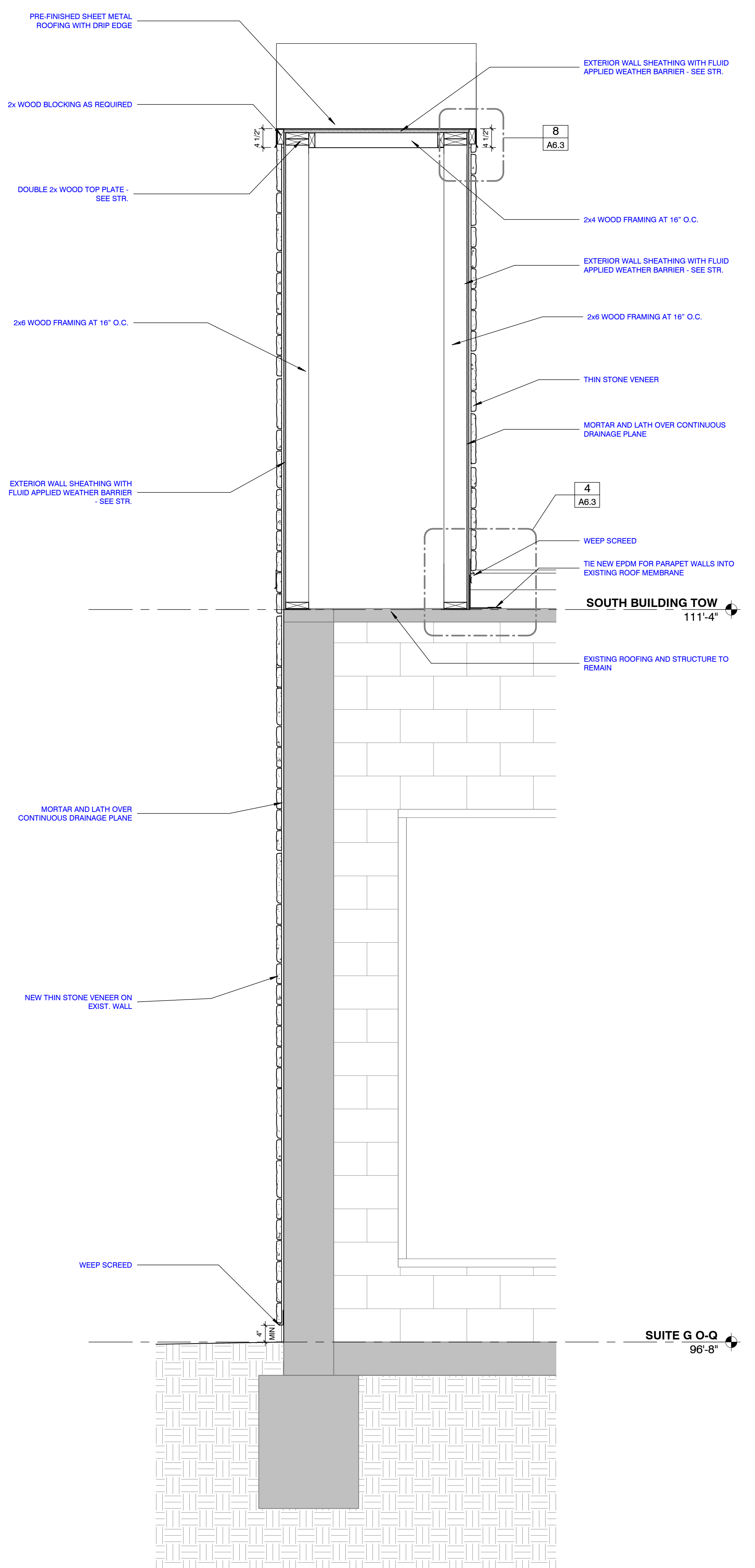
5 PARAPET BRACE WALL DETAIL
 A6.2 3" = 1'-0"



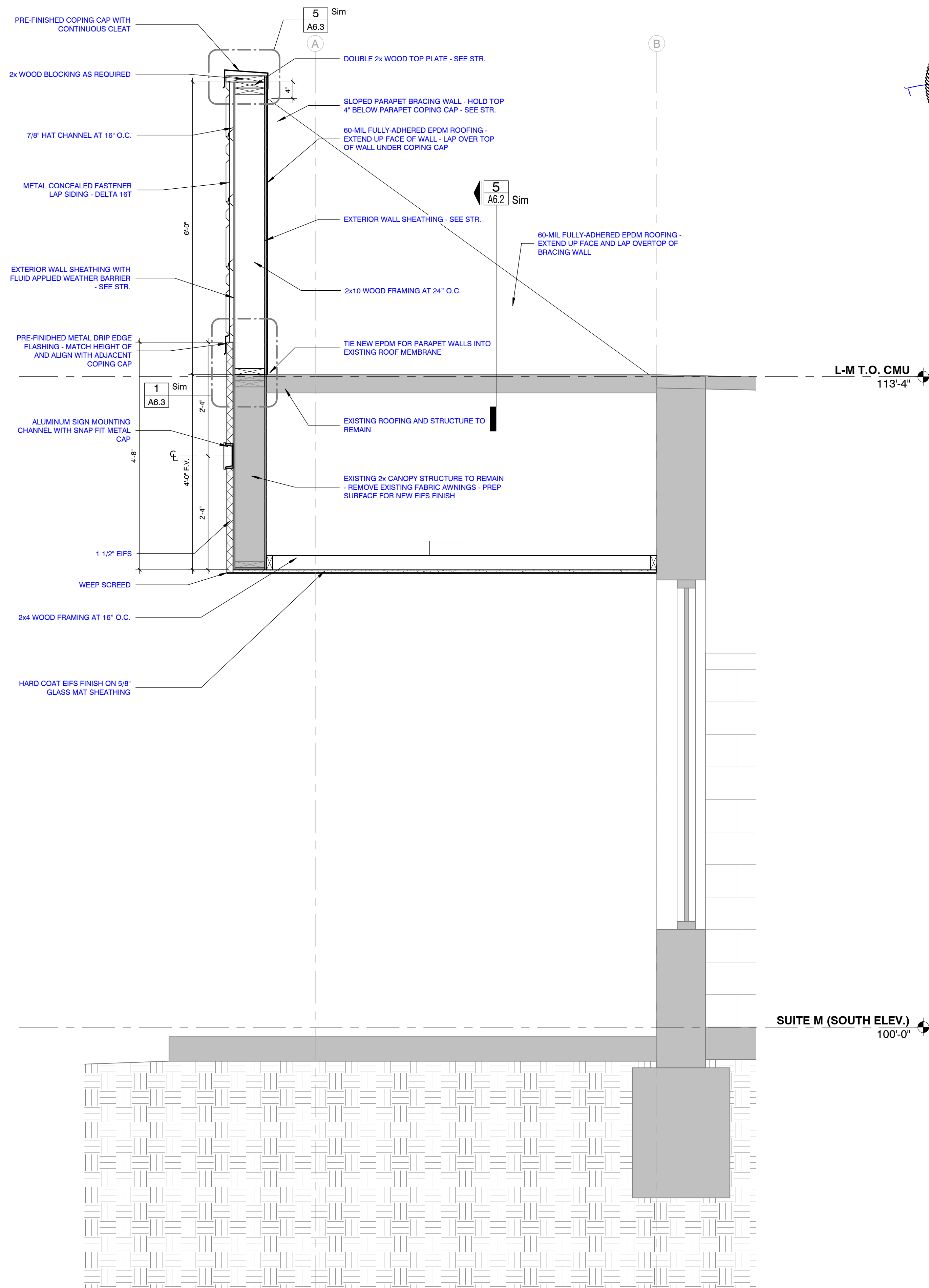
3 RETAINING WALL PIER
 A6.2 3/4" = 1'-0"



4 PIER PLAN DETAIL
 A6.2 1 1/2" = 1'-0"



2 STONE PARAPET WALL
 A6.2 3/4" = 1'-0"



1 PARAPET BRACE WALL
 A6.2 3/4" = 1'-0"

4/7/2021 10:42:04 AM R:\Projects\2020\HJE - Meadowlark facade remodel\Facade\Facade Remodel.rvt

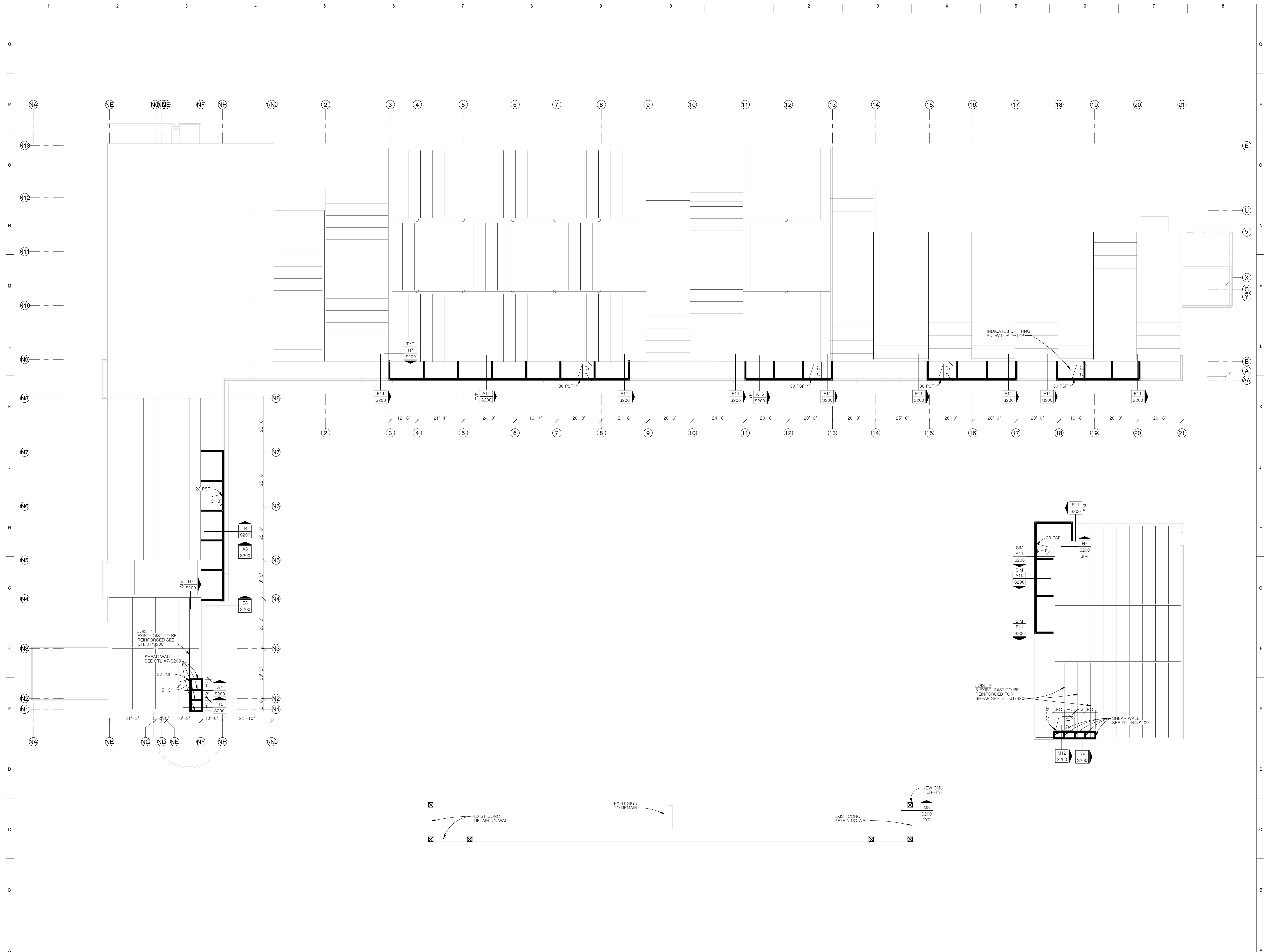
HAMPTON ENTERPRISES
 MEADOWLARK SHOPPING CENTER FACADE REMODEL
 800 N 70TH ST
 LINCOLN, NE

Project Number	20-085
Date	4/7/2021
Revisions	
#	Date

© Copyright ADA 2020

A6.2

WALL SECTIONS



A1 ROOF FRAMING PLAN
 SCALE: 1/16"=1'-0"
 FIELD VERIFY AND COORDINATE ALL PARAPET DIMENSIONS SHOWN WITH ARCHITECTURAL



Architectural Design Associates
 3410 O Street
 Suite A
 Lincoln, Nebraska 68510
 tel 402 486 3232
 www.adalincoln.com



RO YOUKER
 STRUCTURAL ENGINEERING
 1201 O Street, Suite 200, Lincoln, NE 68502
 P: 402.486.3232
 F: 402.486.3233

HAMPTON ENTERPRISES
MEADOWLANE SHOPPING CENTER FACADE REMODEL
 Enter address here
 LINCOLN, NE

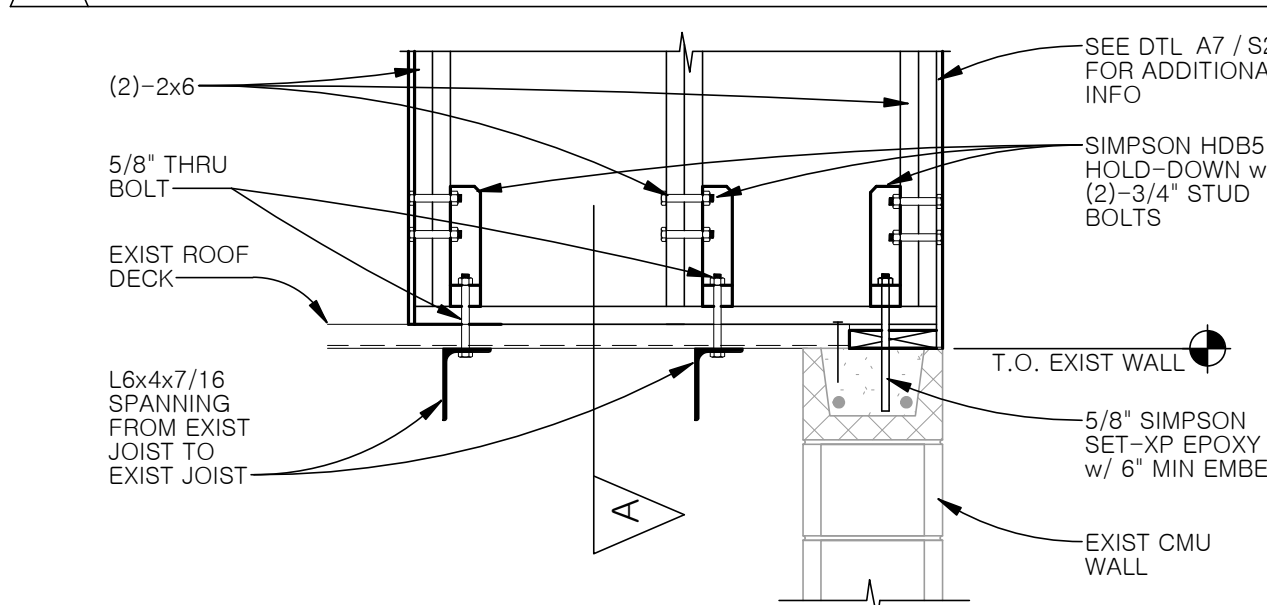
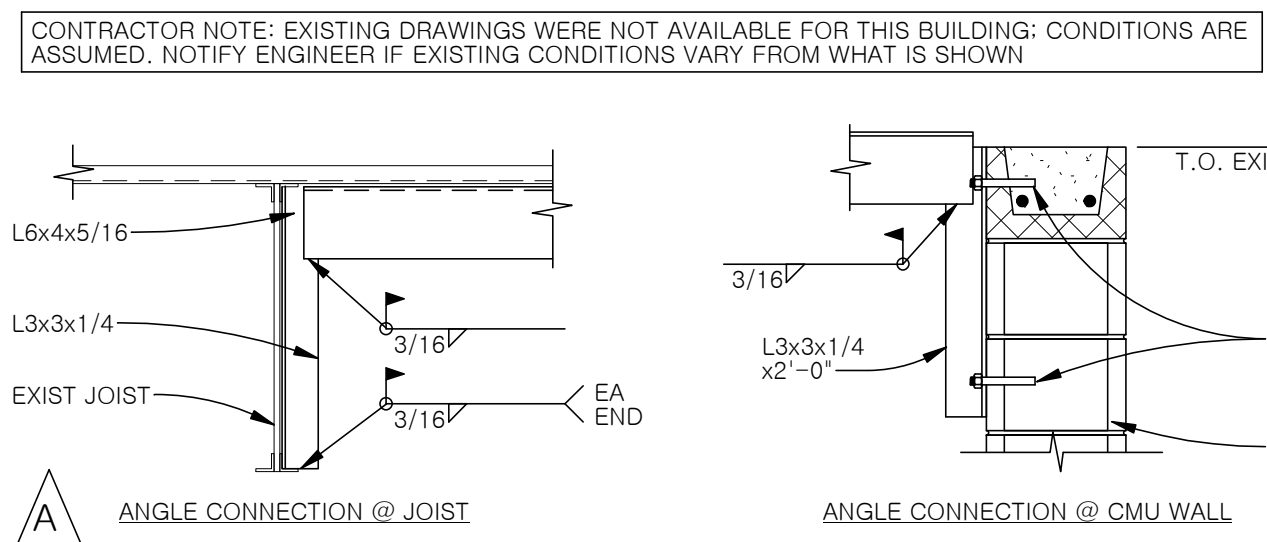
Project Number
 20-085
 Date
 4/1/2021
 Revisions
 # Date

© Copyright ADA 2020

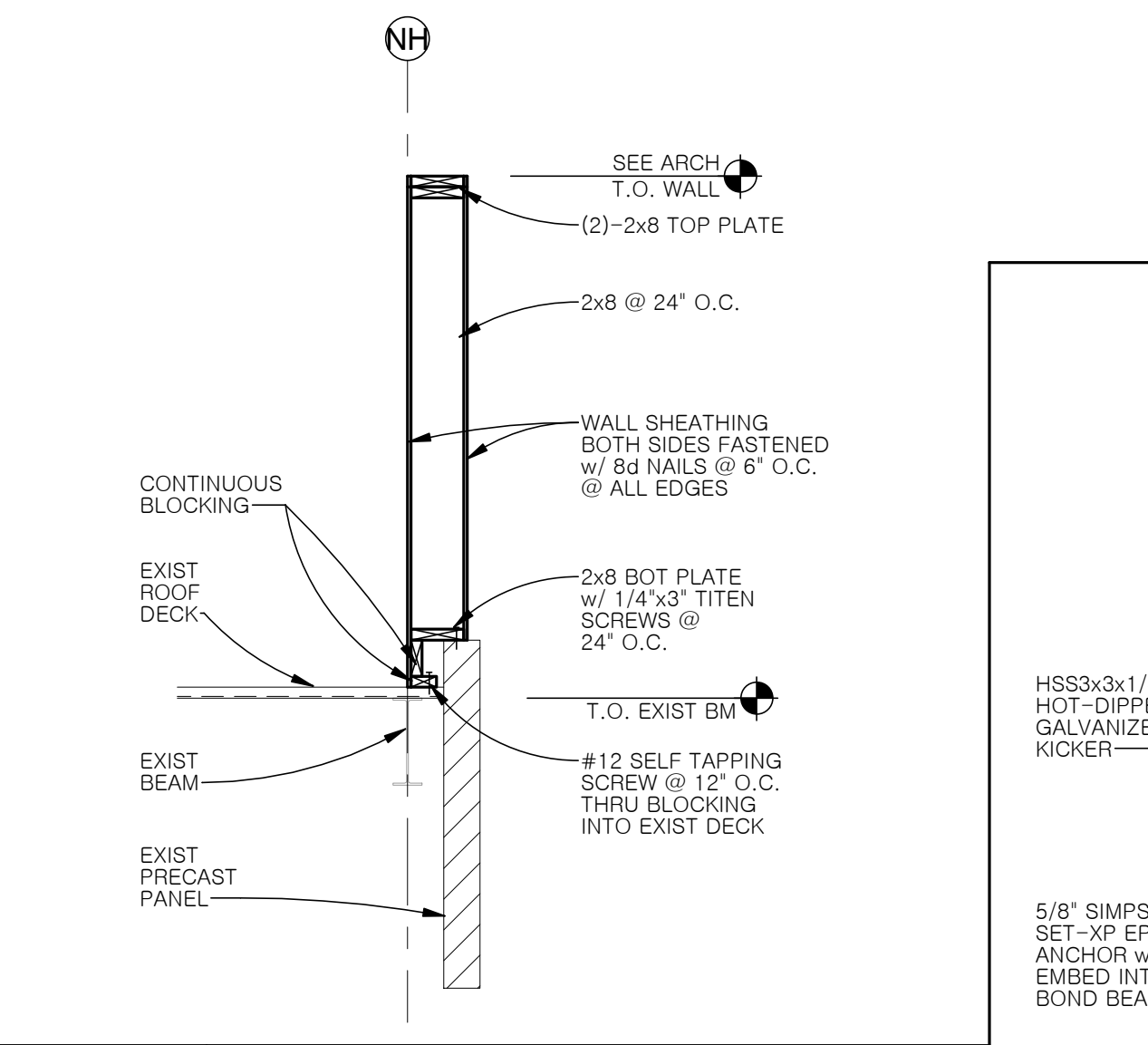
S101

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18

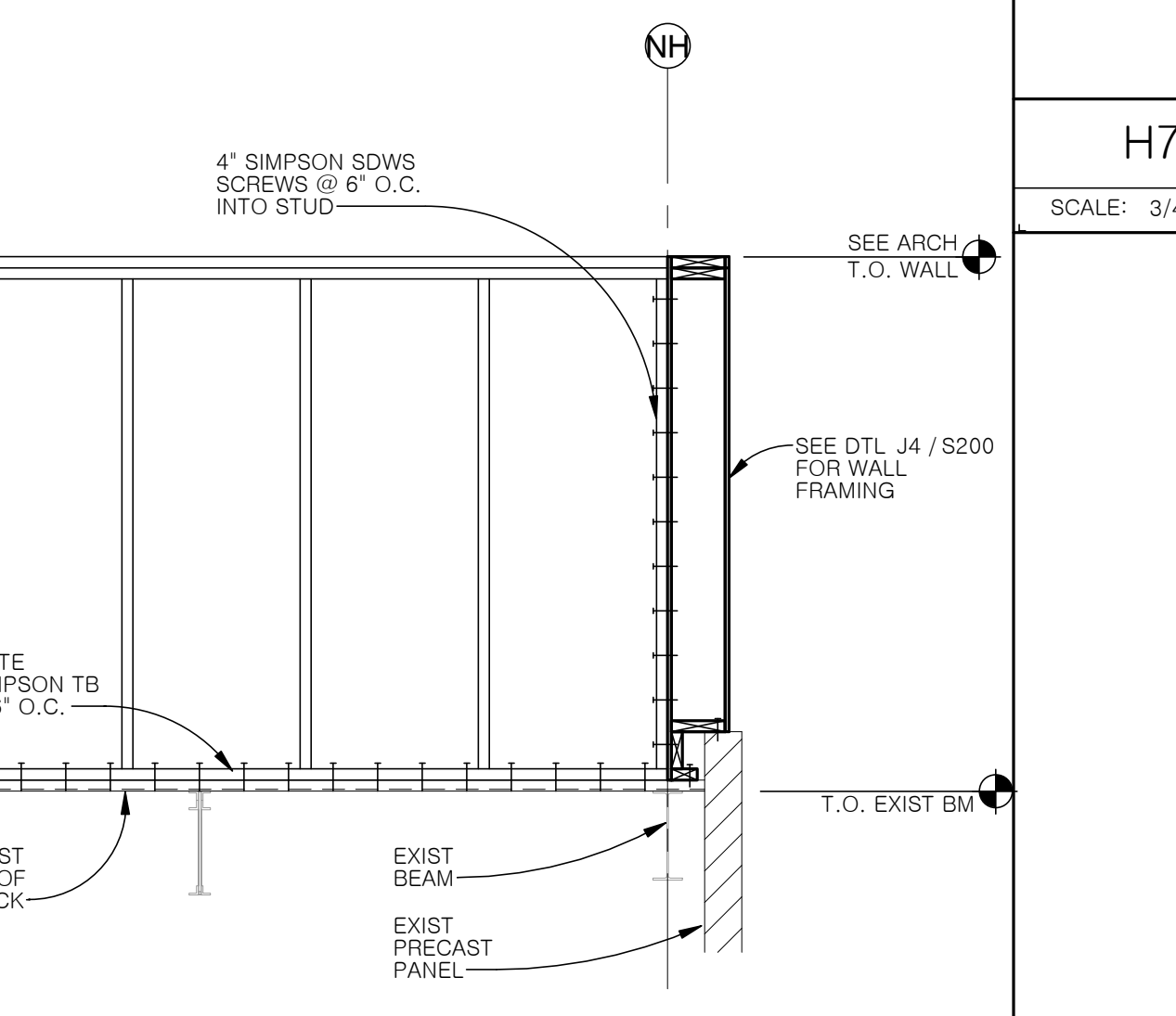
Q
P
O
N
M
L
K
J
I
H
G
F
E
D
C
B
A



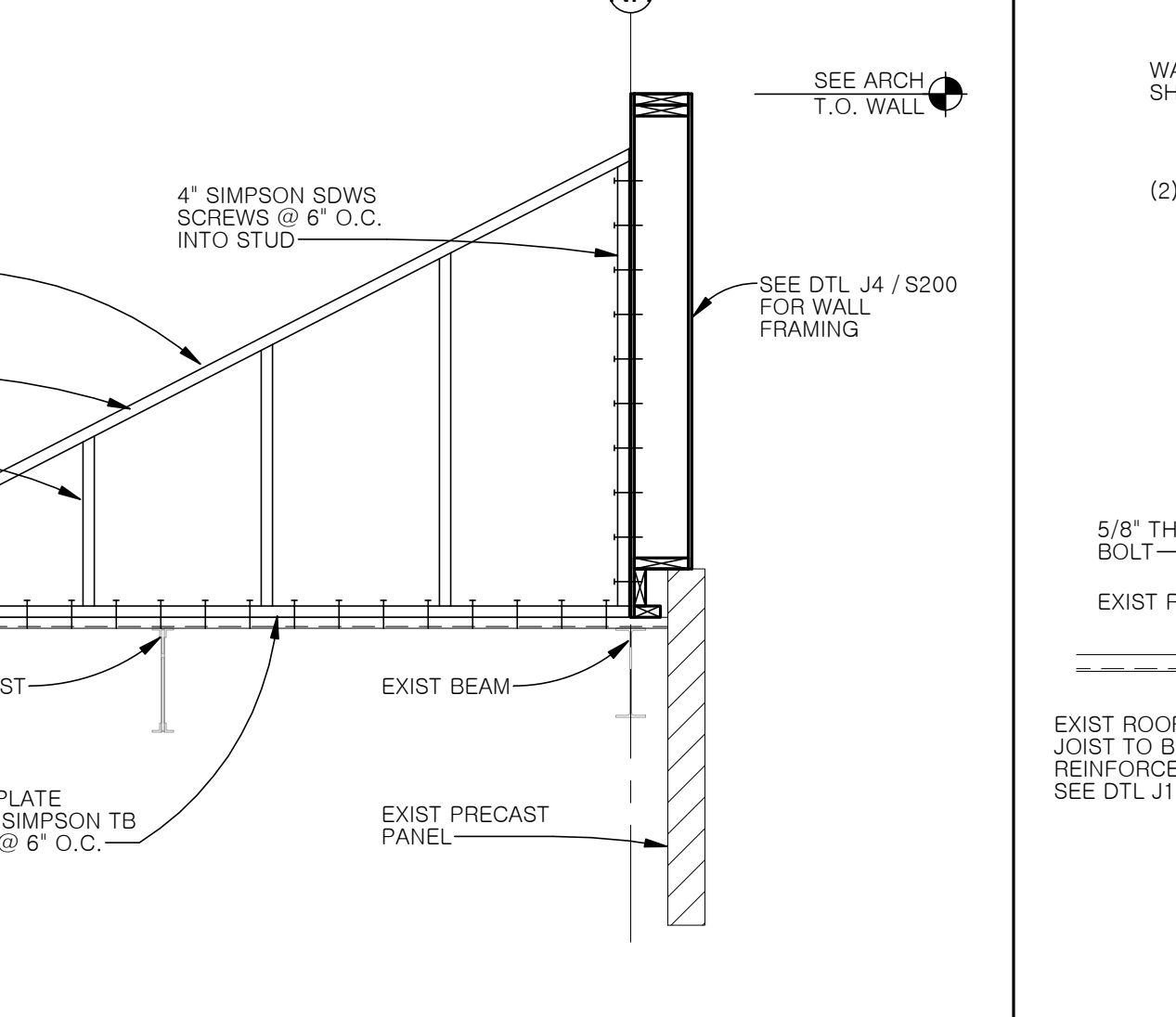
N4 SHEAR WALL CONNECTION DETAIL
SCALE: 3/4" = 1'-0"



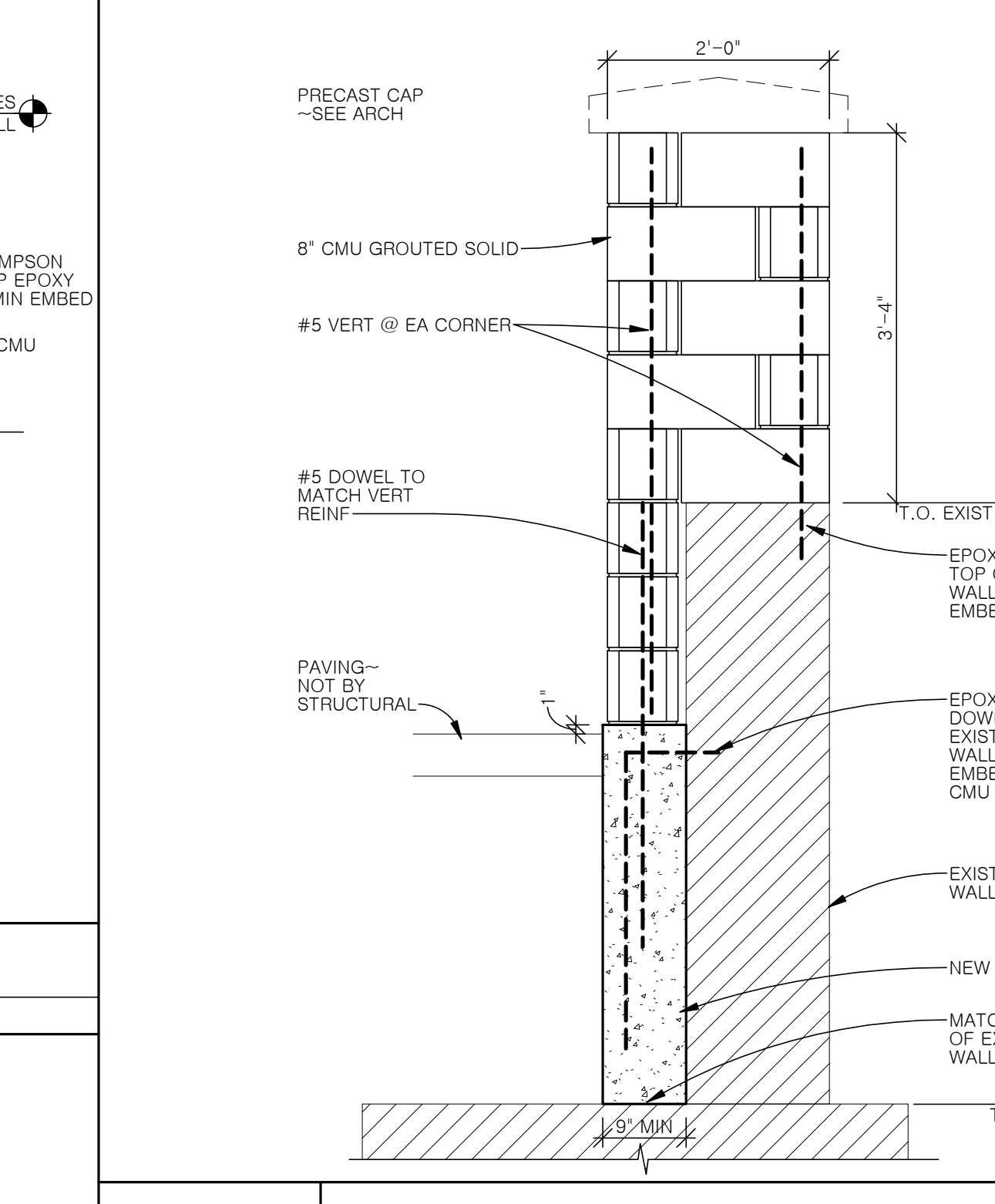
J1 JOIST REINFORCING DETAIL
SCALE: 1" = 1'-0"



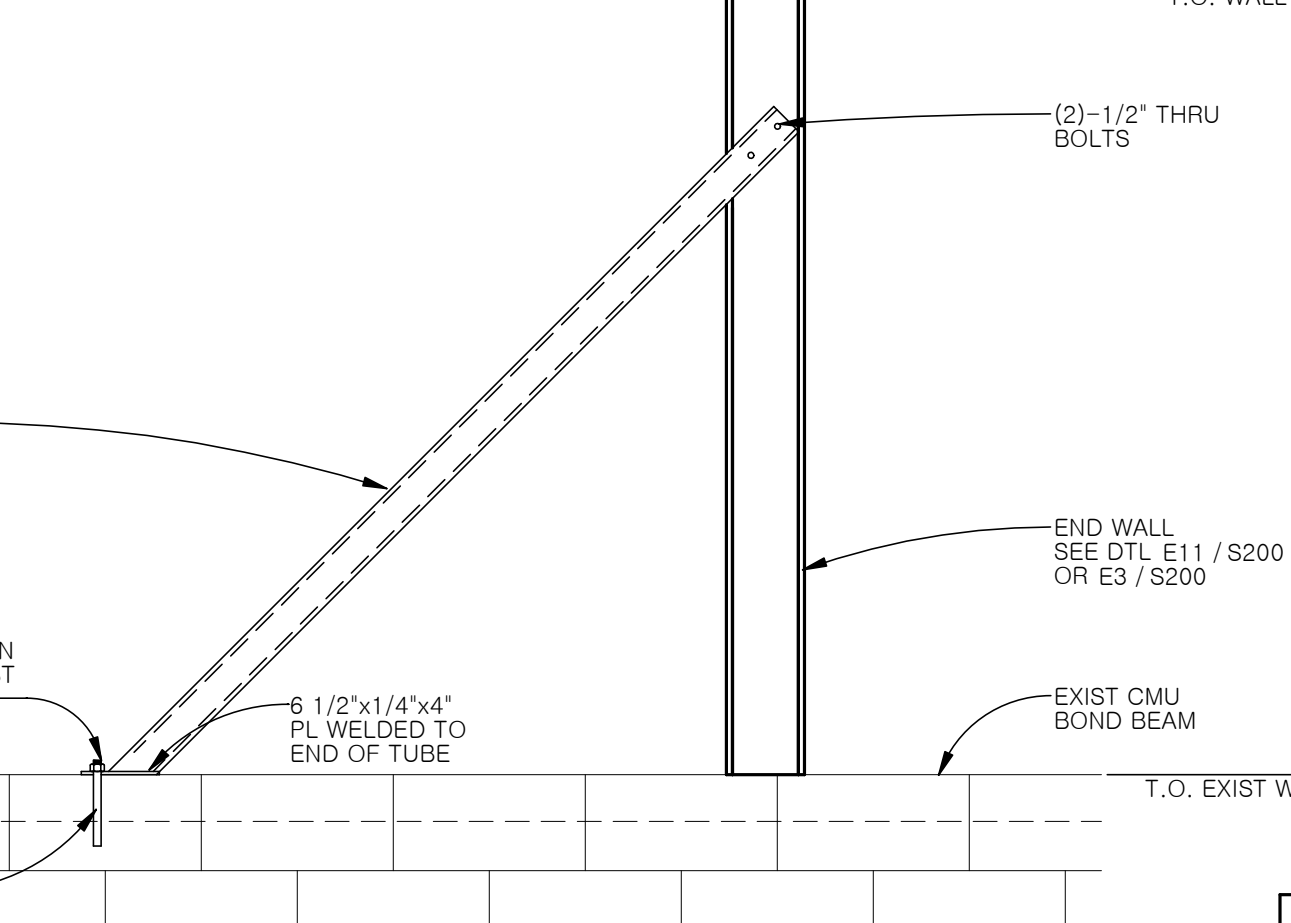
E3 END WALL FRAMING DETAIL
SCALE: 1/2" = 1'-0"



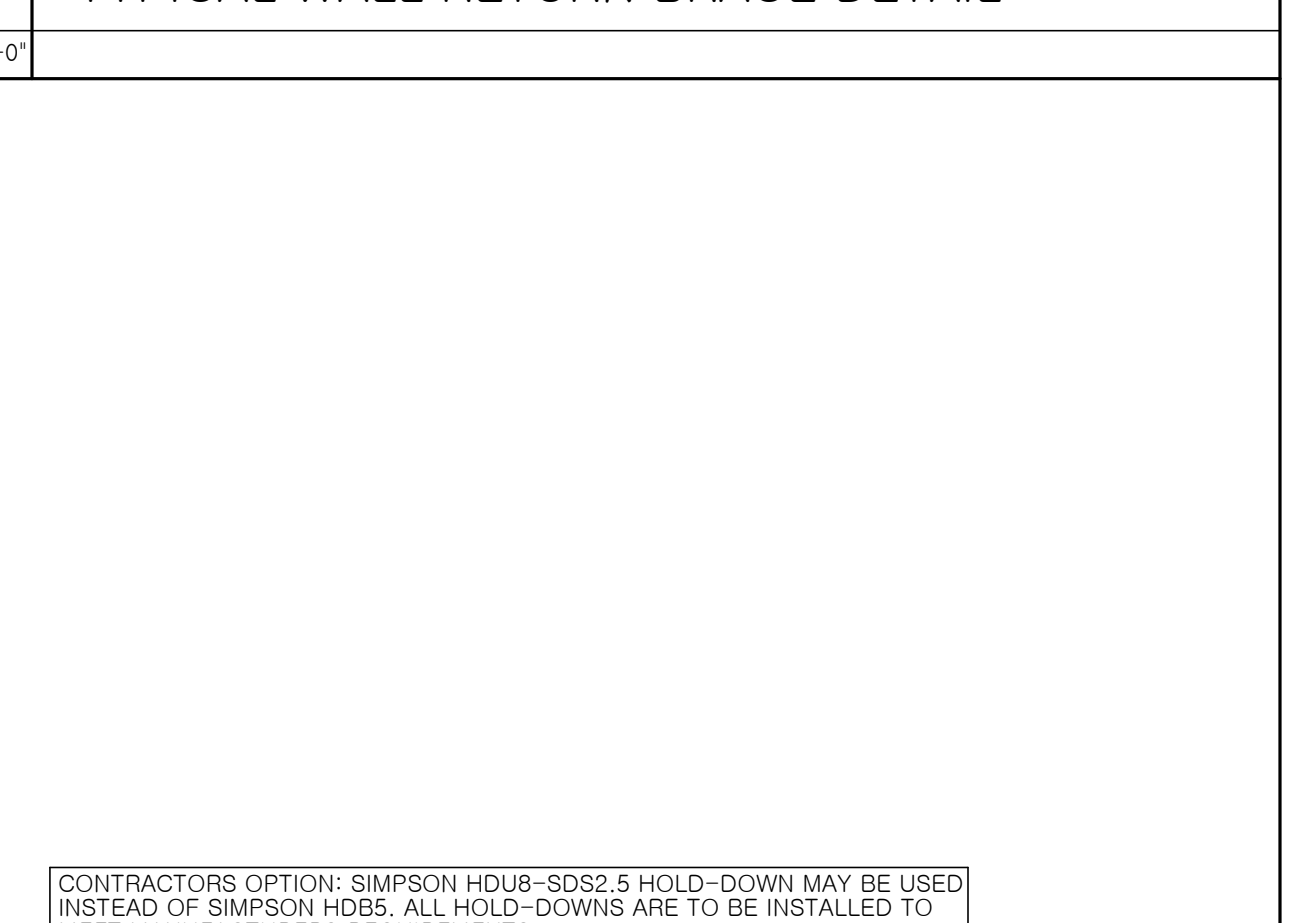
A3 WALL BRACE FRAMING DETAIL
SCALE: 1/2" = 1'-0"



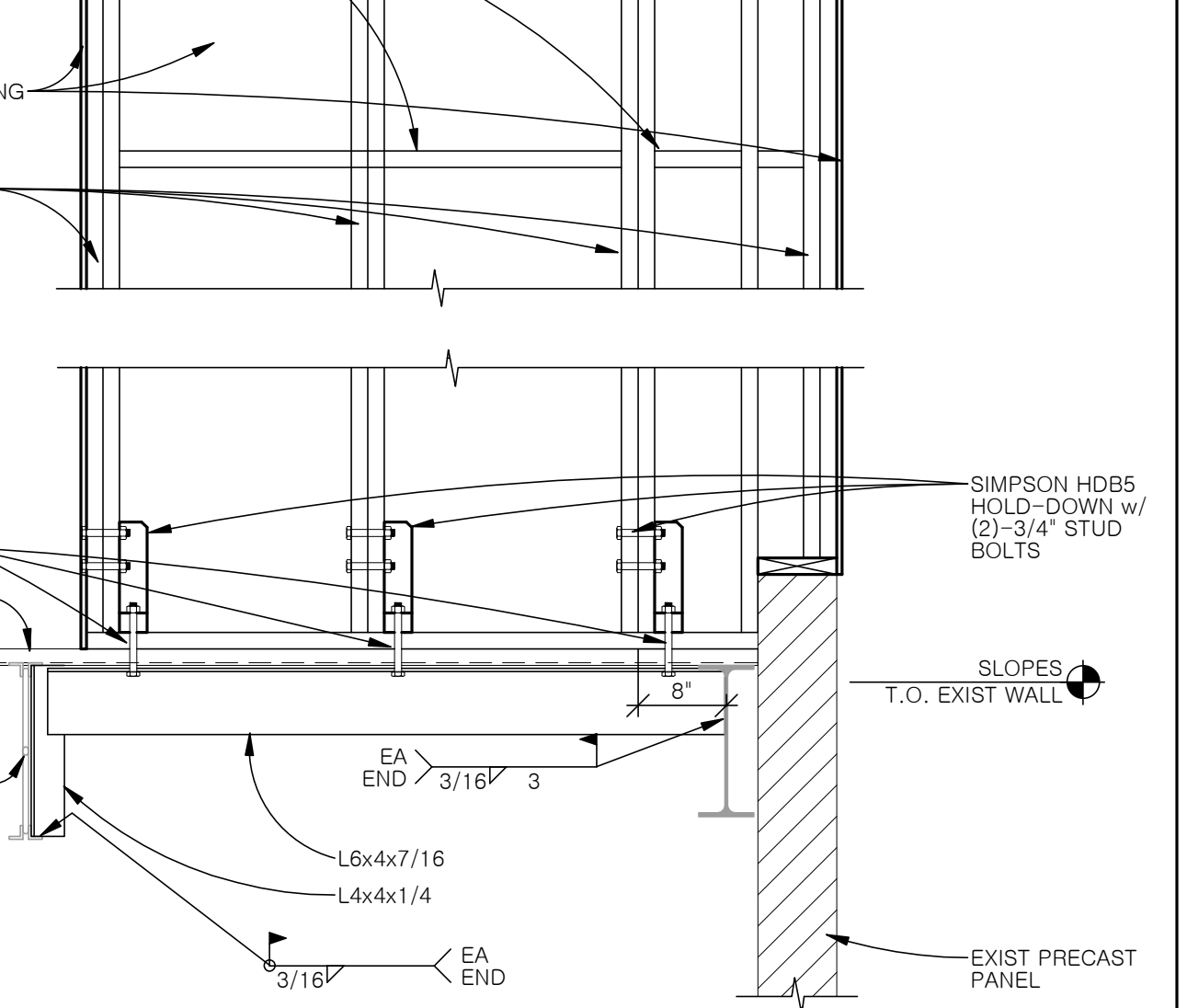
M8 RETAINING WALL PIER DETAIL
SCALE: 3/4" = 1'-0"



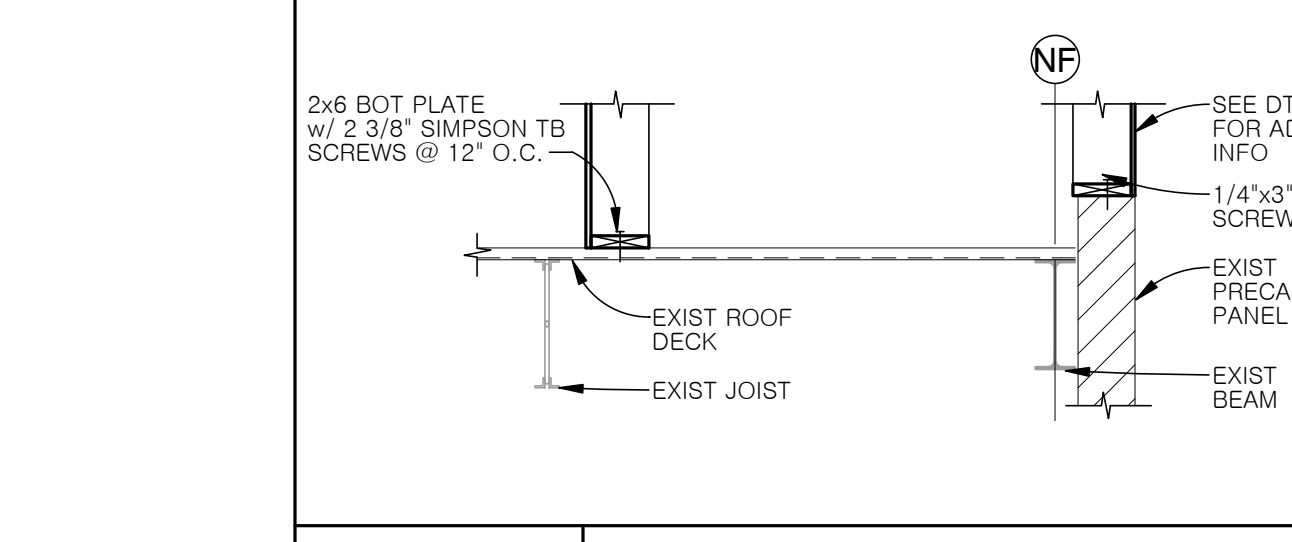
H7 TYPICAL WALL RETURN BRACE DETAIL
SCALE: 3/4" = 1'-0"



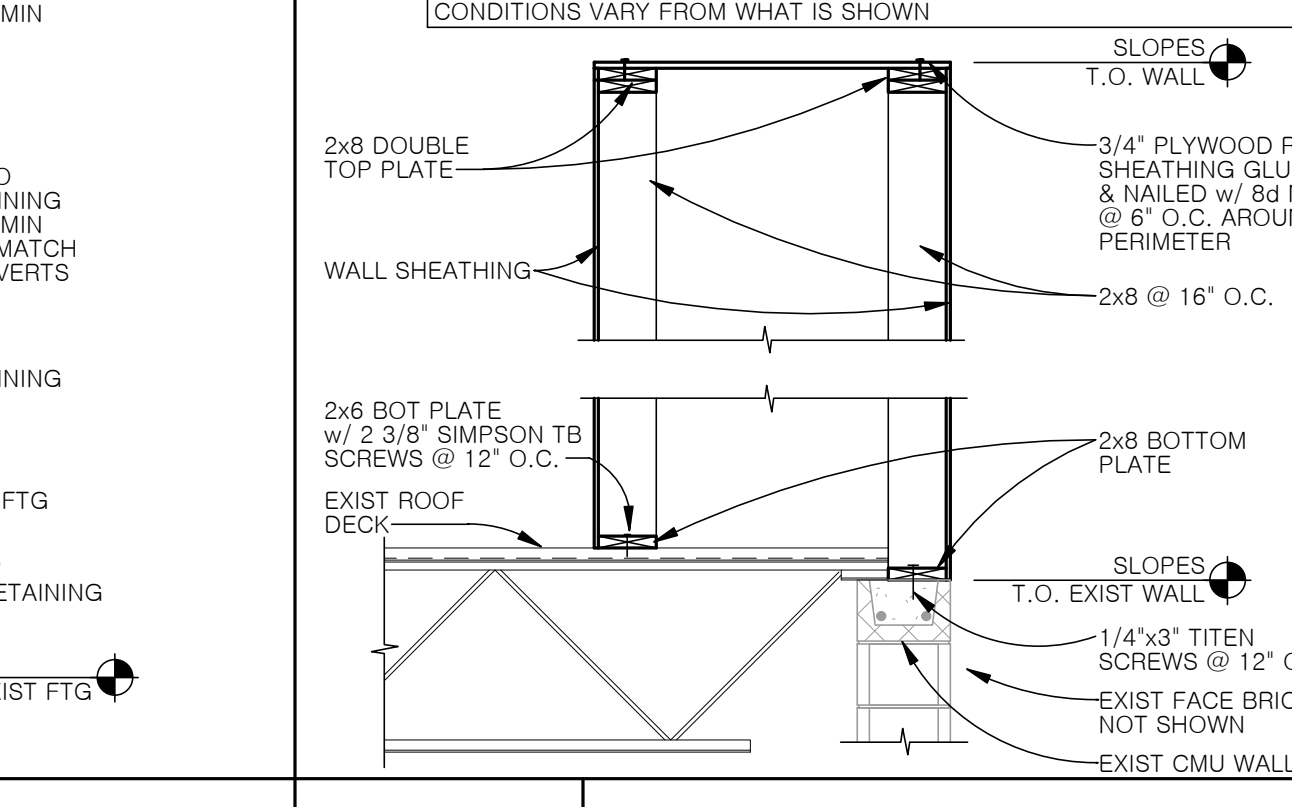
E11 PARAPET WALL RETURN FRAMING DETAIL
SCALE: 1/2" = 1'-0"



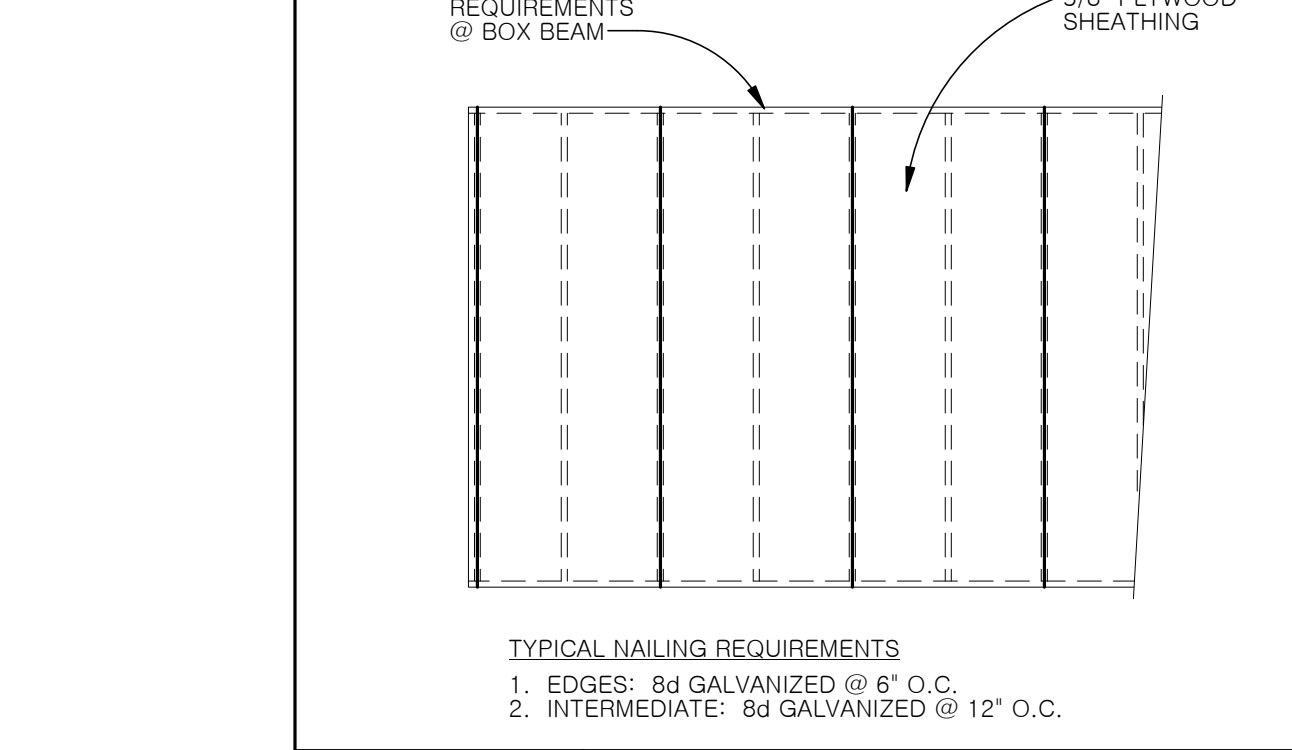
A7 SHEAR WALL DETAIL
SCALE: 3/4" = 1'-0"



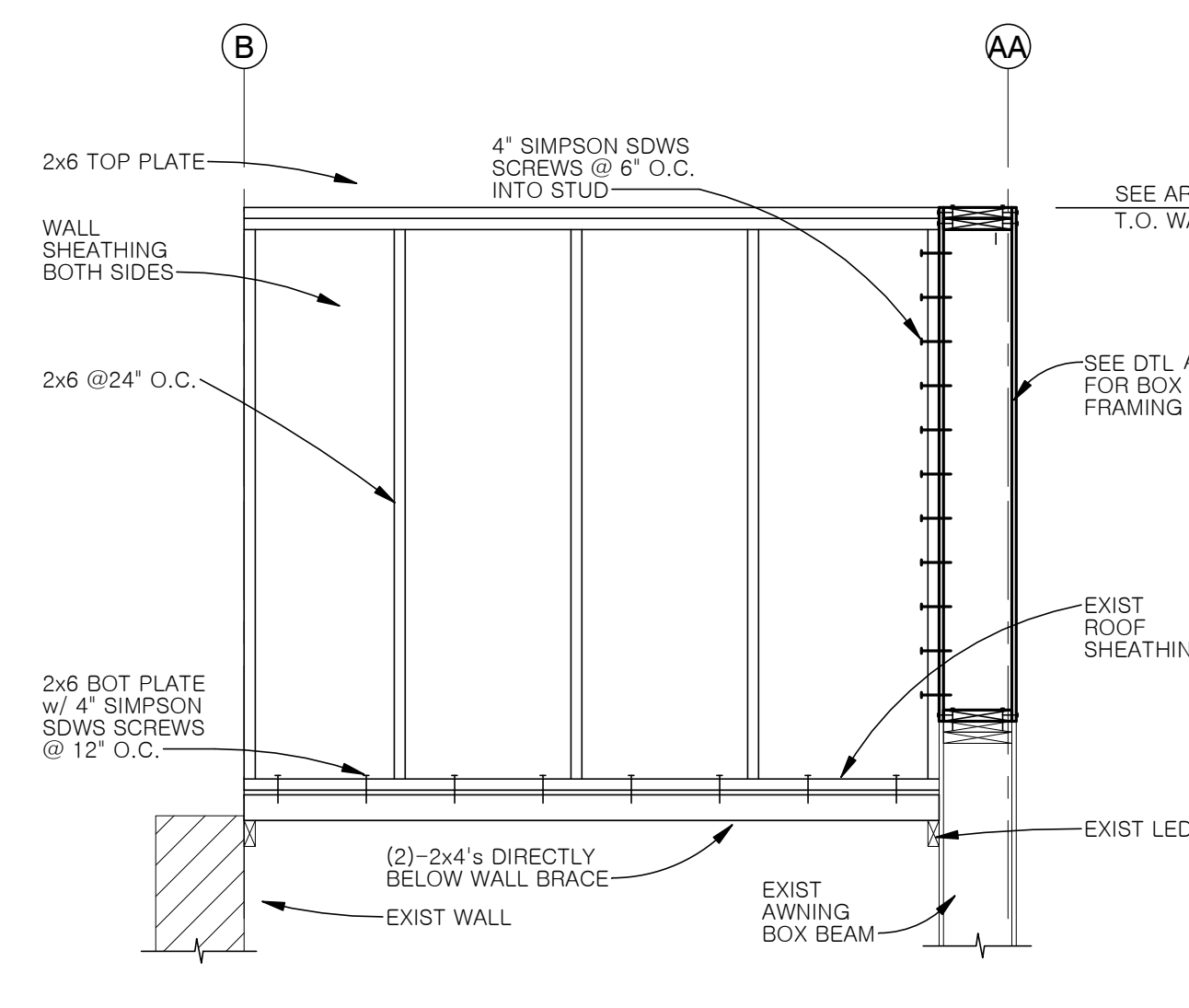
P12 BASE CONNECTION DETAIL
SCALE: 1/2" = 1'-0"



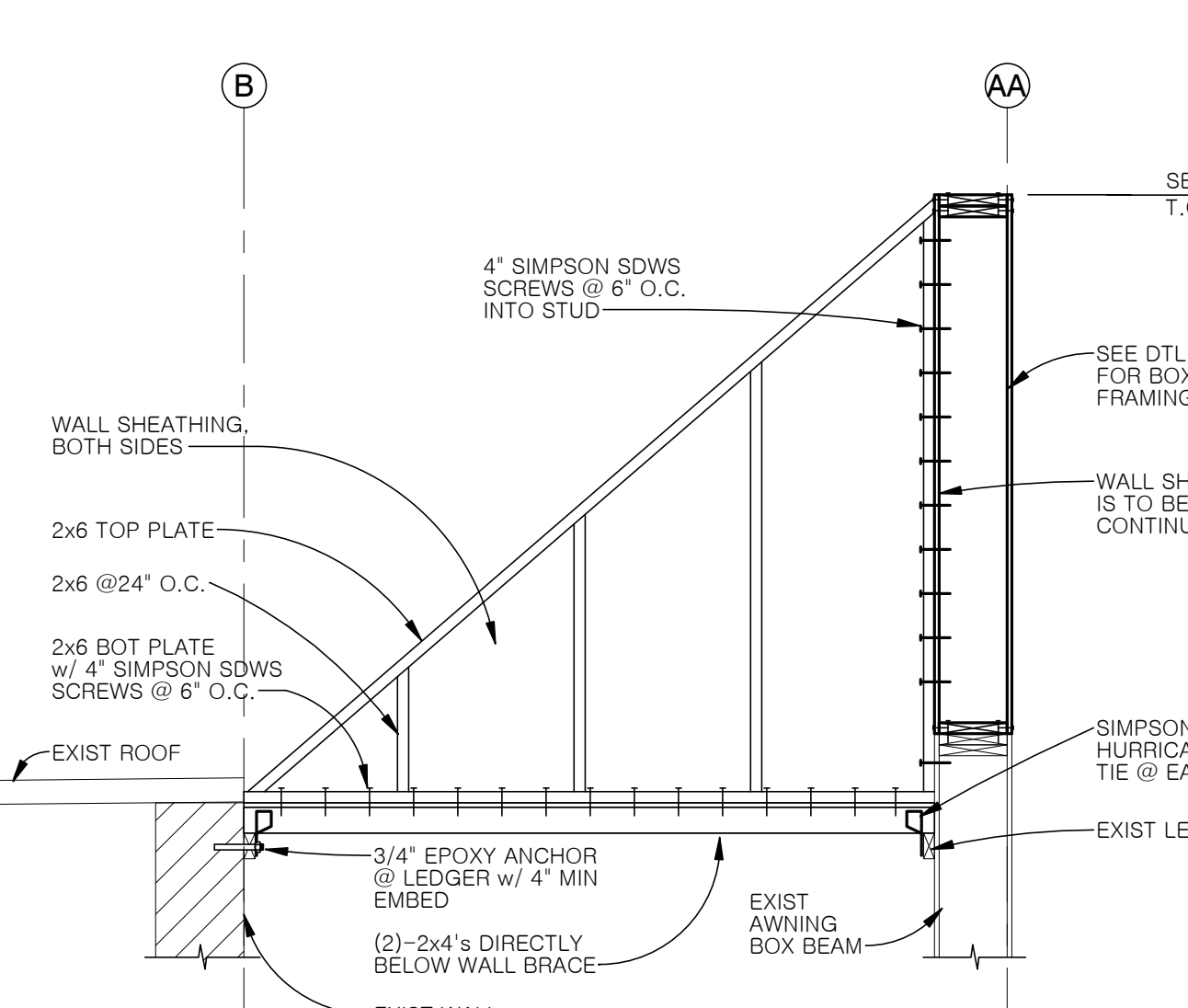
M12 WALL FRAMING DETAIL
SCALE: 1/2" = 1'-0"



J12 WALL SHEATHING DIAGRAM
SCALE: 1/2" = 1'-0"



E11 PARAPET WALL RETURN FRAMING DETAIL
SCALE: 1/2" = 1'-0"



A11 PARAPET WALL BRACE FRAMING DETAIL
SCALE: 1/2" = 1'-0"

- 1.0 - DESIGN PARAMETERS**
- MODEL CODE USED IN DESIGN: INTERNATIONAL BUILDING CODE (IBC) 2012.
 - LOADS
 - ROOF LIVE +20 PSF
 - ROOF SNOW
 - PSF 25 PSF
 - PF 20 PSF
 - Rain on Snow= 5 PSF
 - CE= 1.0
 - CF= 1.0
 - WIND
 - BASIC WIND SPEED (3-SECOND GUST)--115 MPH
 - EXPOSURE CATEGORY: B
 - CSF= 1/10 (ENCLOSURE)

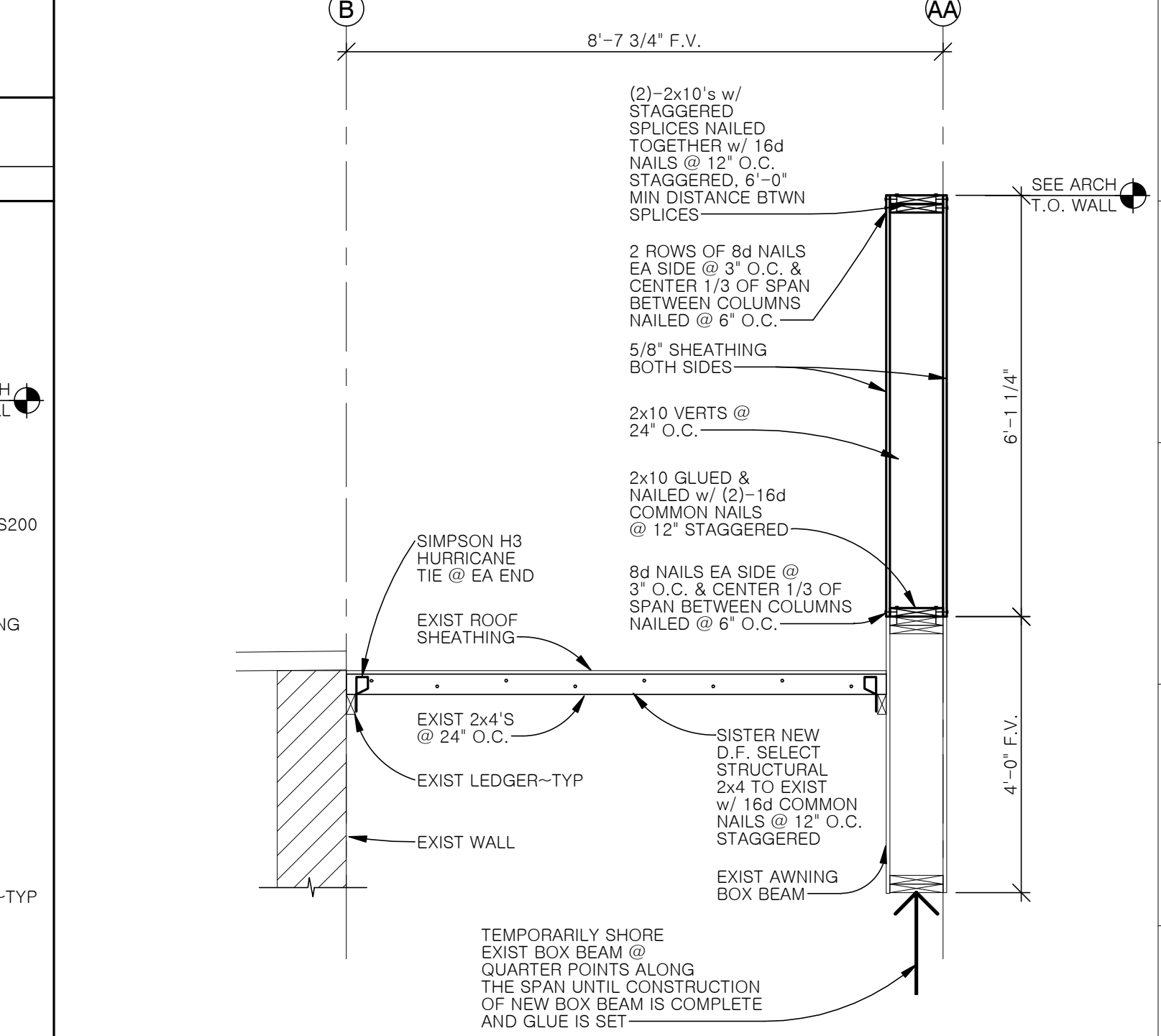
- 2.0 - GENERAL CONSTRUCTION NOTES**
- ALL DIMENSIONS IN THE STRUCTURAL DRAWINGS SHALL BE VERIFIED AGAINST THE ARCHITECTURAL DRAWINGS. DRAWINGS SHOULD NOT BE SCALED.
 - ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL BE VERIFIED BY THE ARCHITECT.
 - ARCHITECT'S APPROVAL MUST BE SECURED FOR ALL SUBSTITUTIONS.
 - WRITTEN CLARIFICATION IS TO BE OBTAINED FROM THE STRUCTURAL ENGINEER FOR ANY DISCREPANCIES BETWEEN THE STRUCTURAL DRAWINGS AND THE PROJECT SPECIFICATIONS. WHERE SUCH CLARIFICATION IS NEITHER REQUESTED NOR PROVIDED, THE MORE COSTLY CONDITION SHALL BE ASSUMED BY THE CONTRACTOR. CLARIFICATION IS NOT OBTAINED, THE MORE RESTRICTIVE AND COSTLY CONDITION SHALL BE ASSUMED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL VERIFY ALL ARCHITECTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL OPENINGS, SIZES, AND LOCATIONS WITH THE STRUCTURAL DRAWINGS. PROVIDE ADDITIONAL FRAMING AND/OR REINFORCING AROUND OPENINGS AS SHOWN IN THE STRUCTURAL DRAWINGS. NOTIFY THE STRUCTURAL ENGINEER FOR CONDITIONS THAT VARY FROM OR ARE NOT SPECIFICALLY DETAILED IN THE DRAWINGS.
 - DETAILS NOTED AS 'TYPICAL' APPLY UNLESS SPECIFICALLY DETAILED OTHERWISE.
 - SEE THE AISC CODE OF STANDARD PRACTICE FOR BUILDINGS AND BRIDGES DATED APRIL 14, 2010 SECTION 4.3 FOR ELECTRODE INTERCHANGE PRACTICES, PROCEDURES, AND LIABILITIES, WHERE SUCH A DETAILED INTERCHANGE OCCURS.
 - THE STRUCTURE SHOWN ON THESE DRAWINGS IS SOUND ONLY IN ITS COMPLETED FORM. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY BRACING AND/OR SHORING OF THE STRUCTURE AND ITS COMPONENTS TO RESIST ALL EXTERNAL FORCES DURING CONSTRUCTION. DESIGN OF ANY CONSTRUCTION RELATED ITEMS IS THE RESPONSIBILITY OF THE CONTRACTOR.

- 3.0 - CONCRETE**
- ALL CONCRETE WORK SHALL CONFORM TO ACI 301 LATEST EDITION.
 - CONCRETE MIX DESIGNS
 - FOOTINGS AND WALLS: NORMAL WEIGHT CONCRETE.
 - MINIMUM COMPRESSIVE STRENGTH (28 DAYS): 4500 PSI
 - MAXIMUM WATER-CEMENT RATIO: 0.45
 - FLY ASH NOT TO EXCEED 30 PERCENT OF CEMENTITIOUS MATERIALS CONTENT BY WEIGHT
 - SUMP LIMIT: 3 INCHES BEFORE ADDING HIGH-RANGE WATER-REDUCING ADMIXTURE OR PLASTICIZING ADMIXTURE, PLUS OR MINUS 1 INCH.
 - AIR CONTENT: 5.5 PERCENT, PLUS OR MINUS 1.0 PERCENT AT POINT OF DELIVERY.
 - MAXIMUM COARSE AGGREGATE SIZE: 1 1/2 INCHES.
 - CEMENTITIOUS MATERIALS
 - PORTLAND CEMENT: ASTM C 150/C 150M, TYPE I/II
 - FLY ASH: ASTM C 618, CLASS F OR C
 - SLAG CEMENT: ASTM C 989/C 989M, GRADE 100 OR 120
 - NORMAL-WEIGHT AGGREGATES: ASTM C 33/C 33M, CLASS SS COARSE AGGREGATE OR BETTER GRADED. PROVIDE AGGREGATES FROM A SINGLE SOURCE WITH DOCUMENTED SERVICE CONDITIONS SIMILAR TO AGGREGATES AND CEMENTITIOUS MATERIALS.
 - FINE AGGREGATE: FREE OF MATERIALS WITH DELETERIOUS REACTIVITY TO ALKALI IN CEMENT.
 - ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS, ASTM DESIGNATION A615 WITH 60,000 PSI MINIMUM YIELD POINT AND SHALL CONFORM TO LATEST ASTM SPECIFICATIONS.
 - REINFORCING NOTES TO BE WELDED SHALL MEET ASTM A753
 - CONCRETE CAST AGAINST EARTH-----3"
 - CONCRETE POURED IN FORMS BUT EXPOSED TO WEATHER ON EARTH-----3"
 - IF BARS ARE #5 OR SMALLER-----1 1/2"
 - IF BARS ARE #5 OR SMALLER-----1 1/2"
 - CONCRETE POURED IN FORMS NOT EXPOSED TO WEATHER OR EARTH-----1"
 - PROVIDE DOWELS FROM FOOTINGS INTO ALL WALLS AND COLUMNS. DOWELS SHALL BE THE SAME SIZE AND SPACING AS VERTICAL REINFORCING OF WALL OR COLUMN UNLESS NOTED OTHERWISE.
 - ALL BAR LENGTHS TO SCALE UNLESS NOTED. LAP SPLICES ARE 48 BAR DIAMETERS, WITH A MINIMUM LAP OF 24". MAKE ALL BARS CONTINUOUS AROUND CORNERS, THROUGH INTERSECTION AND THROUGH PAD FOOTINGS INTEGRAL WITH TRENCH OR CONTINUOUS FOOTINGS.
 - REINFORCEMENT PROTECTION
 - WALLS AND SLABS AND EMBED PLATES, 'WET-SETTING' IS NOT ALLOWED.
 - IF BARS ARE #5 OR SMALLER-----1 1/2"
 - DETAIL BARS IN ACCORDANCE WITH A.C.I. DETAILING MANUAL, LATEST ADDITION.
 - PROVIDE ACCESSORIES AND MEANS NECESSARY TO SECURELY SUPPORT ALL ITEMS IN THEIR FINAL POSITION PRIOR TO PLACING CONCRETE. THIS INCLUDES, BUT IS NOT LIMITED TO, REINFORCING, ANCHOR BOLTS, AND EMBED PLATES.
 - FOOTINGS SHALL NOT HAVE JOINTS IN HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT BETWEEN PAD FOOTINGS WITH VERTICAL BUL-HEADS AND HORIZONTAL KEYS, UNLESS OTHERWISE SHOWN OR APPROVED. REINFORCEMENT SHALL EXTEND THROUGH CONSTRUCTION JOINTS WITH LAPS AS INDICATED ELSEWHERE.
 - ALL CONCRETE SHALL BE THOROUGHLY CONSOLIDATED IN PLACE USING CONCRETE VIBRATOR. DO NOT USE VIBRATOR TO MOVE CONCRETE.

- 5.0 - STEEL**
- ALL STRUCTURAL STEEL SHALL MEET ASTM A 36.
 - STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH LATEST EDITION, AND THE I.B.C.
 - PROVISIONS OF A.I.S.C. MANUAL OF STEEL CONSTRUCTION.
 - WELD ELECTRODES: 70ksi
 - WHERE WELD SIZES ARE NOT INDICATED, MINIMUM SIZE WELDS PER AWS 380 SHALL BE USED.
 - ALL WELDS SHALL HAVE EVIDENCE OF PASSING THE A.W.S. STANDARD QUALIFICATIONS TESTS.

- 6.0 - WOOD**
- ALL WOOD CONSTRUCTION SHALL CONFORM TO THE TIMBER CONSTRUCTION MANUAL, LATEST EDITION, AND THE I.B.C.
 - USE KILN DRIED S.P.F. #1 OR #2 EXCEPT WHERE NOTED (D.F) USE DOUGLAS FIR #2 OR SOUTHERN PINE #2.
 - PROVIDE 2x SOLID BLOCKING BETWEEN JOISTS AND AT ALL SUPPORTS.
 - ALLOWABLE UNIT STRESS USED IN DESIGN OF LAMINATED VENEER LUMBER MEMBERS (L.V.L.) & PARALLEL STRAND LUMBER (P.S.L.)
 - BENDING-----2600 PSI
 - HORIZONTAL SHEAR-----1900 PSI
 - MODULUS OF ELASTICITY-----1,900,000 PSI
 - TENSION PARALLEL TO GRAIN-----1850 PSI
 - COMPRESSION PARALLEL TO GRAIN-----2310 PSI
 - COMPRESSION PERPENDICULAR TO GRAIN-----750 PSI
 - L.V.L. AND P.S.L. MEMBERS TO MEET ESR-1387.
 - SIZES SHOWN FOR L.V.L., P.S.L. AND GLUE LAMINATED LUMBER ARE NET.
 - ROOF SHEATHING TO BE EXPOSURE 1, APA RATED OSB.
 - EXTERIOR WALL TO BE 2x6'S SPACED TO MATCH ROOF MEMBERS BUT NOT TO EXCEED 24" O.C.
 - WALL SHEATHING TO BE EXPOSURE 1, APA RATED OSB. USE APA ALL EXTERIOR WALLS. PROVIDE 8d NAILS @ 6" O.C. AT EACH PANEL EDGE AND 12" O.C. AT INTERMEDIATE STUDS.
 - PROVIDE FASTENERS APPROVED FOR USE WITH ACQ/AC2 TREATED LUMBER WHERE APPLICABLE.
 - SIMPSON CONNECTORS USED IN CONTACT WITH ACQ/AC2 TREATED LUMBER SHALL BE ZMAX (Z115) OR POST-HOT-DIPPED GALVANIZED MINIMUM. STAINLESS STEEL CONNECTORS ARE RECOMMENDED. SUBSTITUTION OF CONNECTORS FROM A MANUFACTURE OTHER THAN SIMPSON STRONG-TIE INC. MUST BE APPROVED BY THE ARCHITECT PRIOR TO USE.
 - NAIL SIZES INDICATED ARE 'COMMON' NAILS. STAPLES ARE NOT ALLOWED.
 - WHERE WOOD IS INDICATED TO BE SHOT TO BEAM, PROVIDE 2 LINES OF SIMPSON POWDER ACTUATED FASTENERS AT 24" O.C. -STAGGERED.

F15 GENERAL NOTES
SCALE: NO SCALE



A15 PARAPET WALL FRAMING DETAIL
SCALE: 1/2" = 1'-0"

4/2/2021 10:56:30 AM C:\Users\Cody\Documents\1027-mohi-2020_cody\ERBL.vnt

ADA
Architectural Design Associates
3410 O Street
Suite A
Lincoln, Nebraska 68510
www.adalrinc.com
tel 402 486 3232

RO YOUNGER
STRUCTURAL ENGINEERING
1501 O Street, Suite 200, Lincoln, NE 68502
E-1222
4/1/2021
Professional Seal of Nebraska

HAMPTON ENTERPRISES
MEADOWLANE SHOPPING CENTER FACADE REMODEL
Enter address here
LINCOLN, NE

Project Number: 20-085
Date: 4/1/2021
Revisions: #
Date:

© Copyright ADA 2020
S200
GENERAL NOTES & DETAILS
Back to Top







ANTELOPE VALLEY MULTI-FAMILY HOUSING

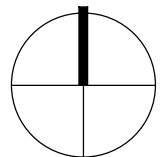
June 1, 2021



Assurity Real Estate Development
Brett West, *Senior Director*

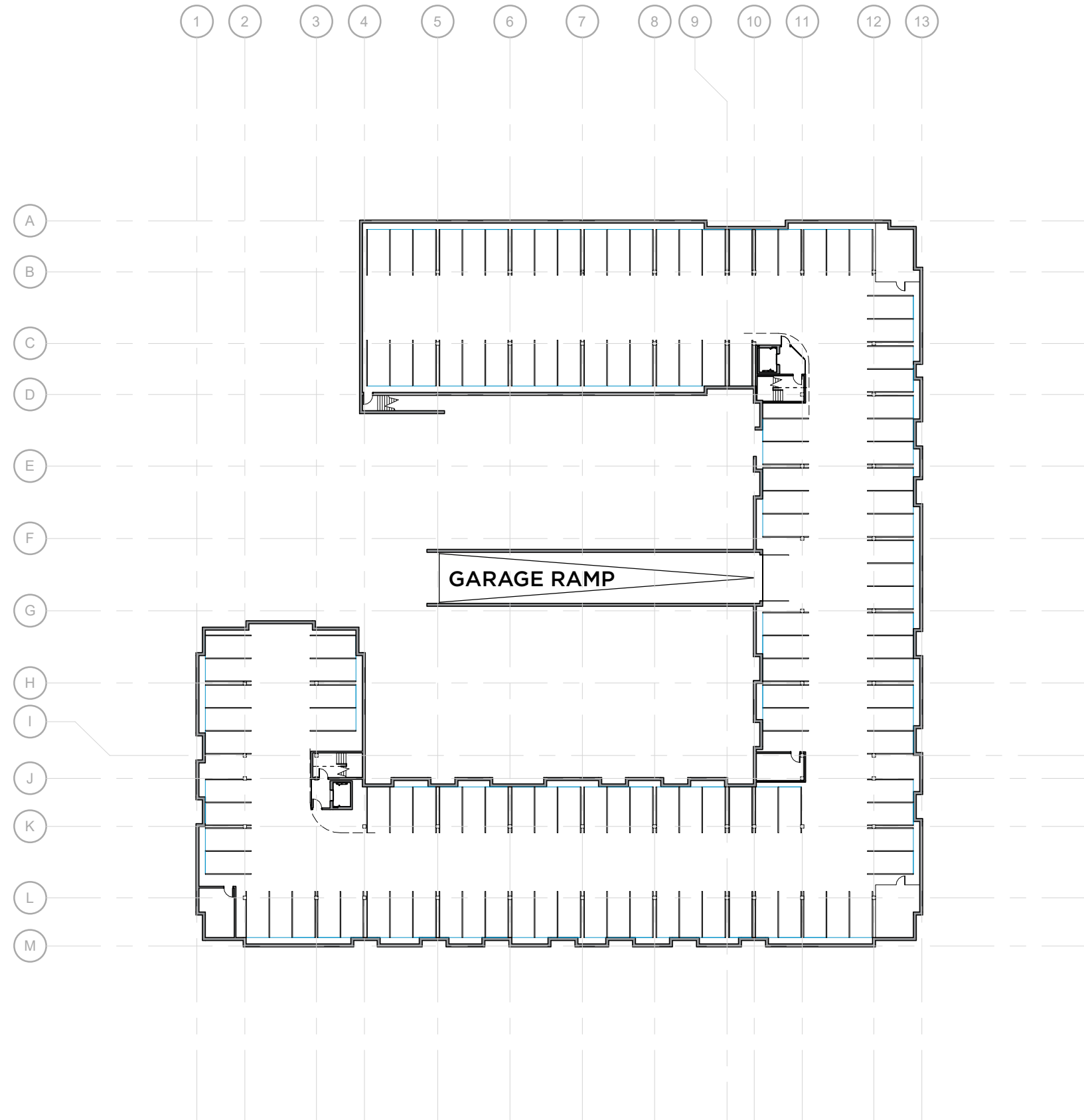


Brester Construction
Chris Brester, *President*

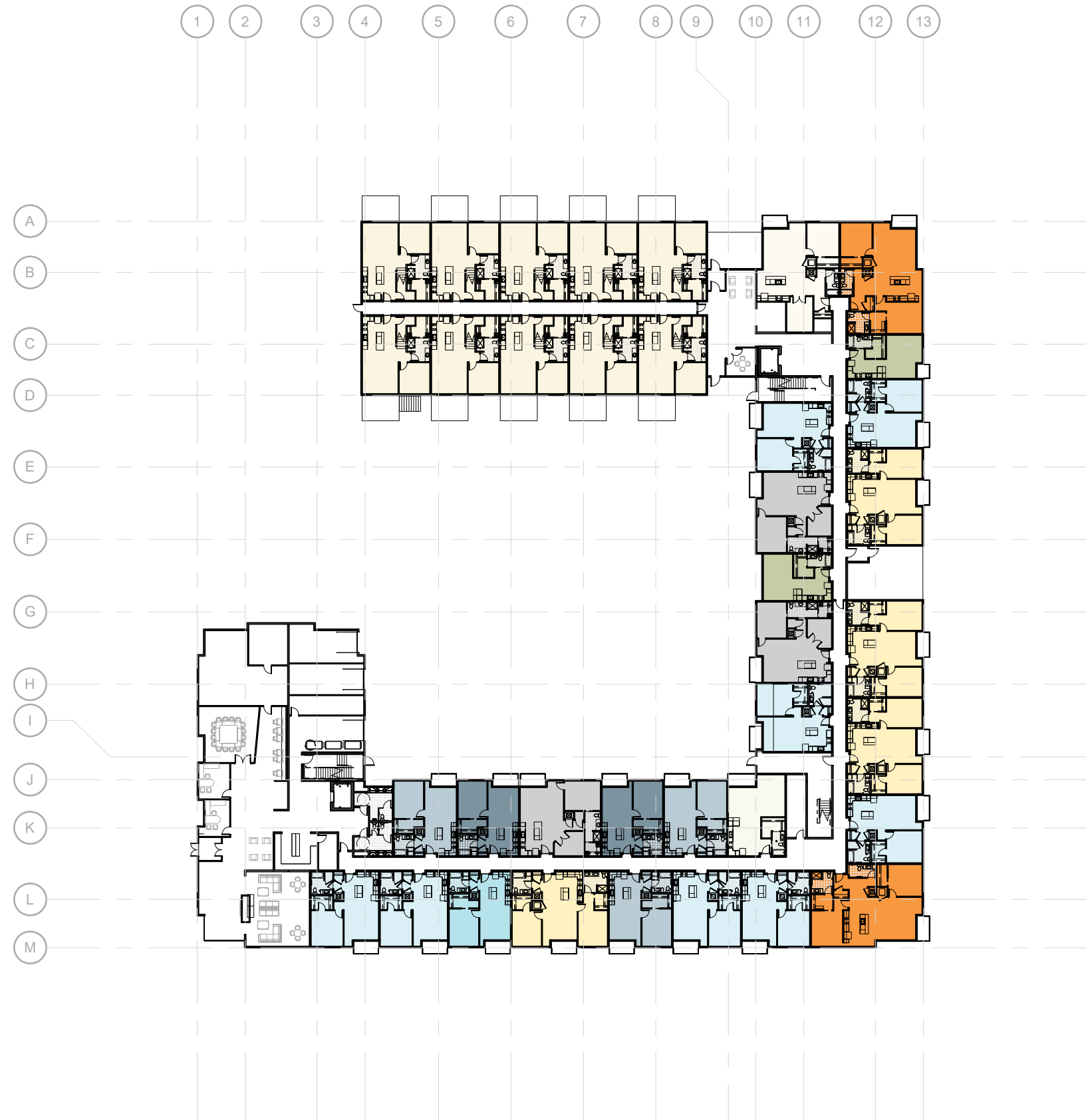


Location Map & Site

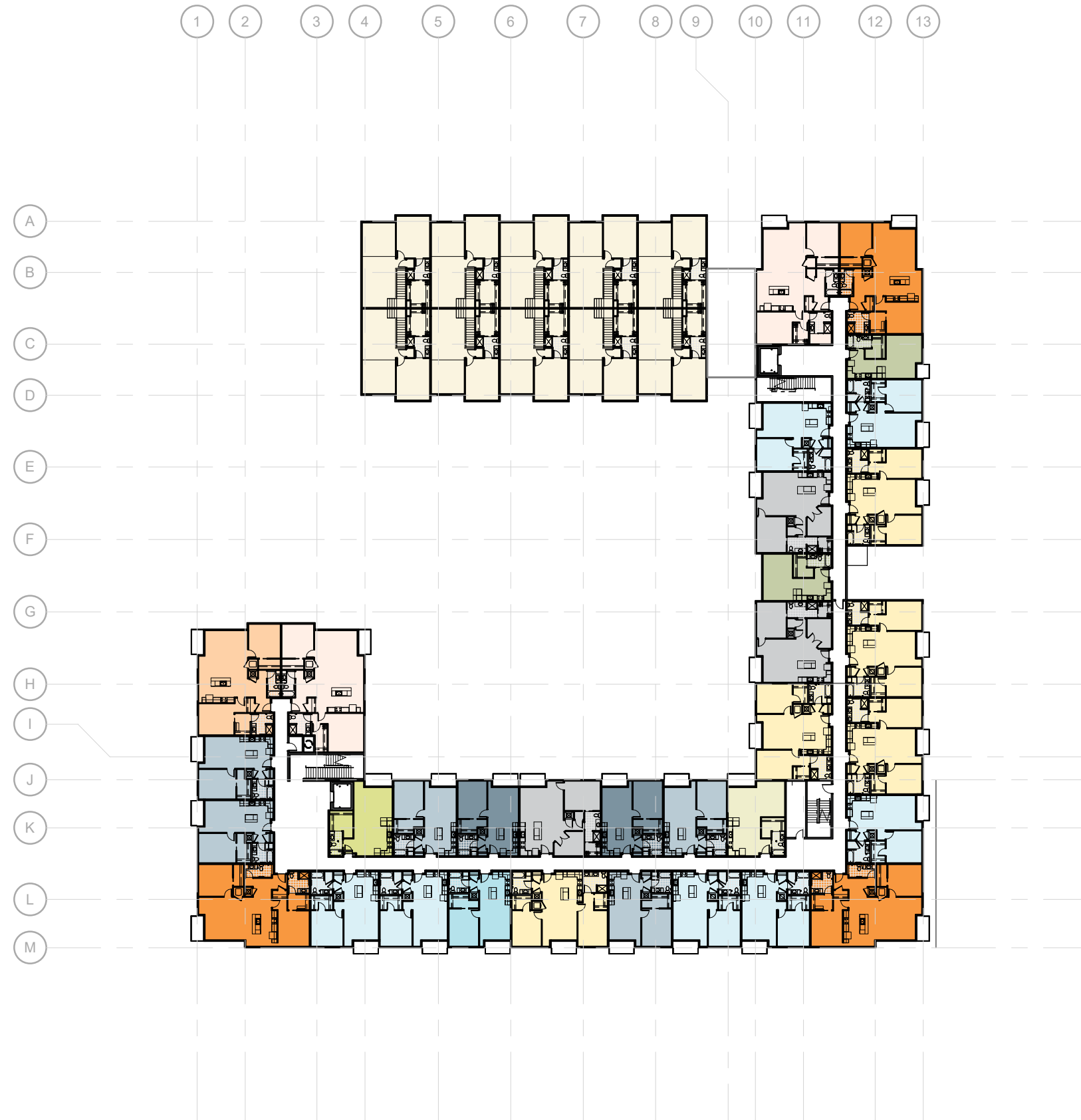
Not to Scale



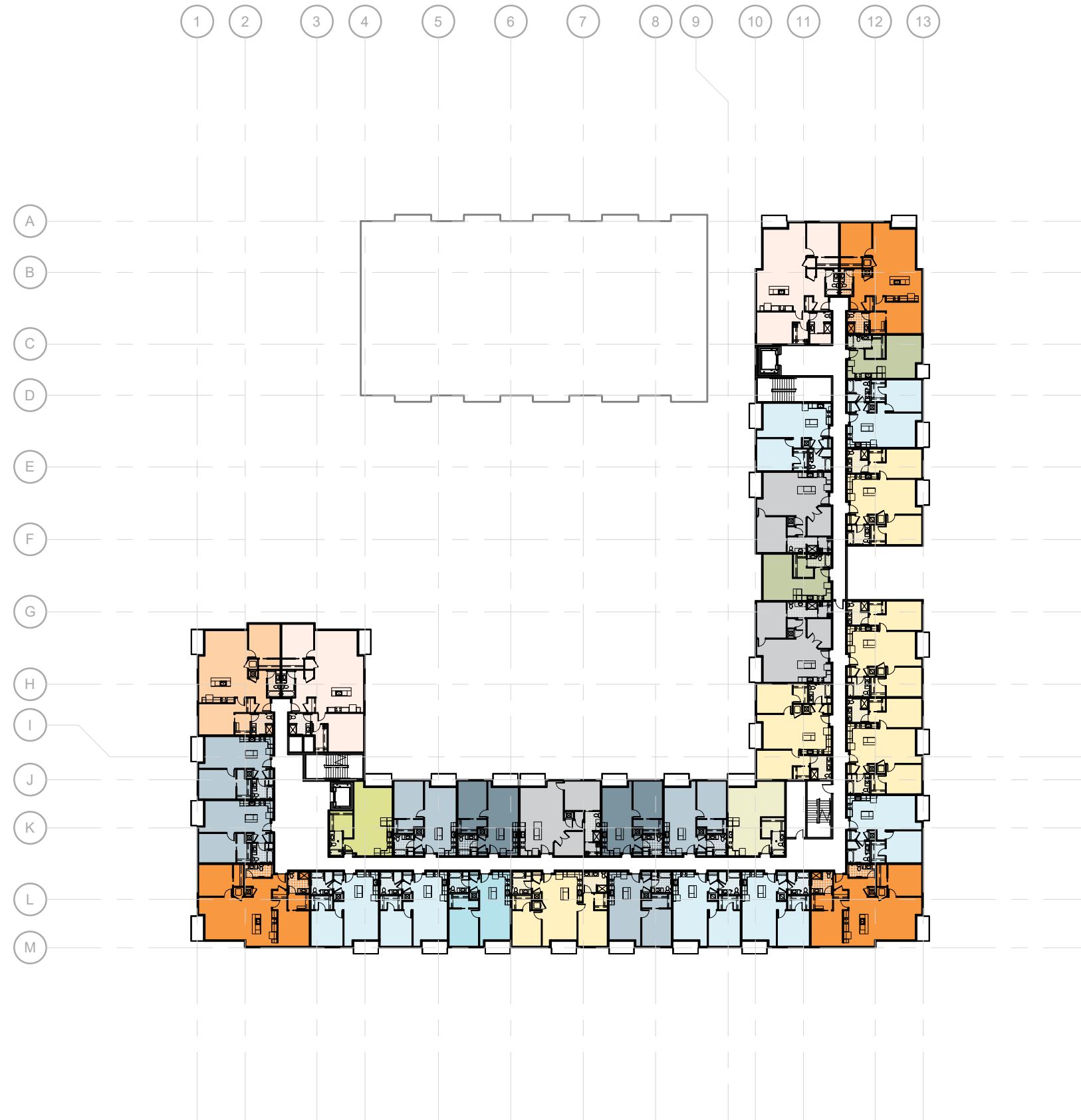
 **Level P**
Scale: 1" = 50' -



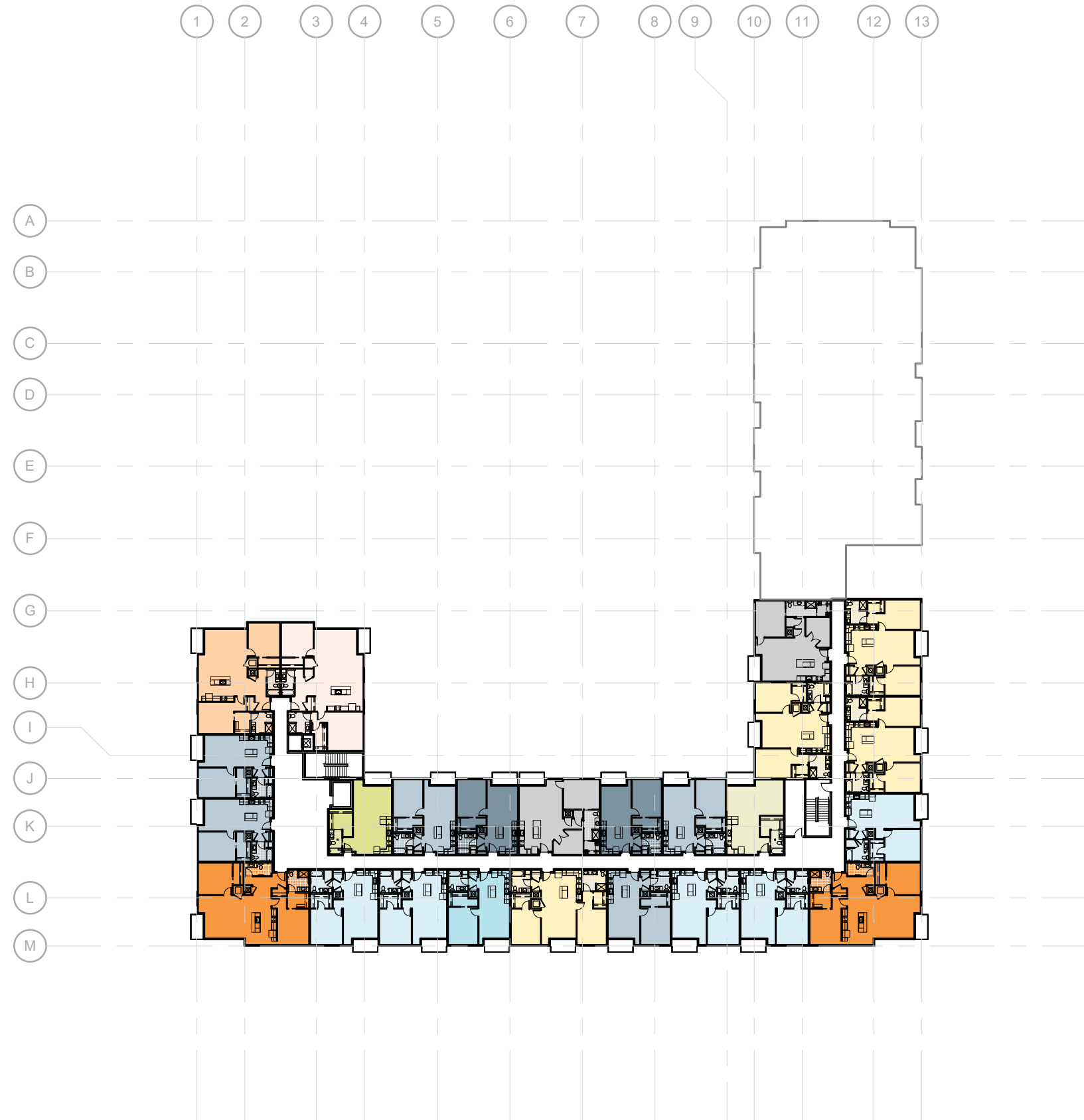
 **Level 1**
Scale: 1" = 50' -



 **Level 2**
Scale: 1" = 50' -



 **Level 3**
Scale: 1" = 50' -



 **Level 4**
Scale: 1" = 50' -



East Elevation

Not to Scale



West Perspective



Southwest Perspective



Northwest Perspective



Northeast Aerial Perspective



Southeast Aerial Perspective



Southwest Aerial Perspective

LOCAL STREET PAINTED ART APPLICATION
FEE: \$50.00 (due when filing application - check only)

RETURN TO:

Transportation
 949 West Bond Street
 Suite 200
 Lincoln, NE 68521

LMC Chapter 14.42

FILE AT LEAST FOUR WEEKS IN ADVANCE OF EVENT!

Please PRINT using blue or black ink only

APPLICANT'S INFORMATION			
NAME:	JAMIE GRANQUIST		JAMIE@HEARTLANDBIKESHAKES.ORG
ADDRESS:	5457 BETTY LOU BLVD		
ZIP:	68516	DAYTIME PHONE #:	402 659 8351

RESPONSIBLE PARTY CONTACT INFORMATION			
NAME:	SDCDO COMMUNITY ART HUB		
ADDRESS:	1247 S 11 TH ST		
ZIP:	68502	PHONE #:	402 416 8686
CONTACT PERSON:	KAT WIESE	DAYTIME PHONE #:	402 429 0812

EXACT PURPOSE of the proposed use (i.e., beautify the neighborhood, promote public health):

THE PURPOSE OF THIS PROJECT IS TO SLOW + CALM TRAFFIC THROUGH THE NEIGHBORHOOD BY ADDING NETWORK NEAR EVERETT + BUSINESSES THAT HAVE FREQUENT PEDS + BIKE USERS.

EXACT LOCATION for which the use is requested (i.e., intersection of 15th St. & "B" St.)

THE INTERSECTION OF 11TH + BST, CENTER OF INTERSECTION.

Applicant's Relationship to the painted street location (i.e., a neighborhood resident, the artist):

COMMUNITY ORGANIZER CO-MANAGING THE PROJECT.

Estimated Date (s) for Artwork Placement:

~~May 2021~~ to JUNE 5/6 2021
 or
JUNE 12/13 2021

**** An exact date for artwork placement will be established upon completion and final approvals of the permit process. The applicant will contact the Transportation and Utilities Department at 402-441-7701 to reserve a placement date.

**** Roadway closures will be allowed during daylight hours only, and may begin no earlier than 7:00 A.M. on date of installation and must be reopened by 10:00 P.M. on date of completion. Barricades and street closed signs will be provided by the Transportation and Utilities Department at no additional cost.

**** Applicants will be responsible for all appropriate safety measures to insure the personal safety and well being of designers, workers, volunteers and spectators associated with the street art painting project.

LOCAL STREET PAINTING PROJECTS ATTACHMENT ITEMS

THE FOLLOWING ITEMS MUST BE PRESENTED AT TIME OF APPLICATION

Initial

JE

I, the applicants have attached a detailed description of the proposed design to be painted which shall include a diagram, photograph or sketch of the design to be painted.

JE

I, the applicants have attached a detailed drawing of the exact location of the proposed artwork in relationship to the street location. Only streets within a zoned residential area will be allowed. (Drawing shall include Street Names, addresses of adjacent properties and properties within 300 feet of design, roadway dimensions, driveway locations. Pertinent items such as fire hydrants, manholes, storm drain inlets, utility valves, road signs, utility poles, shall not be painted or altered at anytime.)

JE

I, the applicants have attached a petition of support for the proposed local street painting, which bears the owner's signature of an approval and street address of all properties adjacent to the area to be painted, and will include signatures of approval at least (60%) of the remaining owners of property along the street frontages within 300 feet or the distance to the nearest intersection in all directions of area to be painted.

JE

I, the applicants have attached a description of measures to be taken to prevent paint materials and other foreign objects from entering the city's storm drain system during painting, cleanup activities and artwork removal operations. I the applicants have taken measures and provided materials to protect all storm drain inlets to which the local street drains toward and will remove said materials within 48 Hrs.

JE

I, the applicants have provided a detailed description of all acrylic waterborne or chalk paint materials to be used. Paints shall not contain lead or chromium and shall have a Volatile Organic Compound (VOC) content of less than 1.25 lbs/gal. Paint shall be suitable for use on a portland cement concrete or asphaltic concrete pavement when applied at temperatures of 50 - 150 degrees Fahrenheit. Product information shall include product names, manufacturers of said products, chemical makeup of said product, name, address and current phone number of vendor or supplier of said products.

JE

I, the applicant will provide notice to all households and businesses within the project area at least 14 days prior to the paint date. I also understand that no excavations will be allowed under this permit.

JE

I, the applicant will be responsible for all costs associated with the painting of the local street including, but not limited to, costs of labor, paint, other materials, cleanups of the local street area, and when deemed necessary by the Director of Transportation and Utilities Department all associated costs of paint removal, roadway surface restoration and any repair to public property. I the applicant and artist also understand that the use of the city street is to be temporary; that the applicant or artist will not acquire any right, title, or interest in the local street space; and that the applicant may be required by the City at any time to remove the painted design placed upon the local street by such applicants, or to reimburse the City for the cost of removing such painted design; and that the applicant will have no recourse against either the City or its officers or agents for any loss or damage occasioned by the applicant being required to remove the painted design from the local street which the applicant is granted permission to use.

JE

I, the applicants understand that this permit is a personal privilege and may not be transferred or alienated voluntarily or involuntarily. This permit will expire upon completion of the project and that a new permit will be required to repaint, alter or remove the previously applied painted design. I the applicants assume all risks in placing the painted design on the local street including any damages, vandalism and / or destruction of the painted design.

HOLD HARMLESS AGREEMENT

The applicant, in consideration of the permit being granted for the painting of a local street, agrees to release the City of Lincoln and its officers and employees for any loss or damage which may be caused by them to the painted street design and further agrees to hold harmless the City of Lincoln and its officers and employees for all claims, demands, suits, actions, payments, liability and judgments for damages arising out of the use of the local street space or the discontinuance thereof as they may relate to the application of a painted design to a local City street.

The applicant, in further consideration of the permit being granted, agrees to reimburse the City of Lincoln for all damages to or loss of City property in the applicant's possession or control for use pursuant to this permit. The applicant agrees to prevent paint materials from entering the City's storm drain system during the painting of the local street and during any clean-up activities occurring after completion of the painting project.

I, the applicant, also certify that I have contacted all residents affected by the application of a painted design to a local street as required by the provisions of Chapter 14.42 of the Lincoln Municipal Code.

Dated this 21 day of April, 2021



 Signature of Applicant

NOTE: If approved, Applicant will receive a permit by mail. Responsible party shall make a copy of the approved permit & material use documents available at all times while Roadways are Closed to Thru traffic.

If approved, Transportation will send copies to the Maintenance Operations Division of Transportation and Utilities for barricade delivery in advance of the arranged date and to the specified artwork location.

FOR CITY USE ONLY

Fee: \$50.00 Date Paid: _____ Check #: _____

Approval?	Agency	Signature	Date:
Y / N	Urban Development Department	_____	
Y / N	Urban Design Committee	_____	
Y / N	Health Department	_____	
Y / N	Historic Preservation Commission	_____	
Y / N	Capitol Environs Commission	_____	
Y / N	Transportation and Utilities Department	_____	

Agency Comments: _____

Local Street Painting Art Permit; Petition of Support

I, JAMIE GRANQUIST have requested a Permit to Place Painted Artwork on the roadway surfacing of 11th + B ST (Street, Road, Circle, Etc.)

Form THE INTERSECTION OF to 11th + B ST (Street, Road, Circle, Etc.)

The painted artwork shall be placed for the purpose of SLOWING THROUGH TRAFFIC.

The approximate date for artwork placement shall be JUNE 5th + 6th (date), and the artwork shall remain in place for 12 MONTHS (# days, months). Roadways will be closed for ~~ROADWAY~~

2 DAYS days to allow for area preparation, artwork placement and cleanup.

I, JAMIE GRANQUIST being the responsible party for said artwork, agree to the conditions established by the City of Lincoln for issuance of this permit and agree to be deemed responsible for all associated costs to said project including, but not limited to, costs of labor, paint, other materials, cleanups of the local street, and painted artwork removals from the street.

*****100% approval of all adjoining property owners is required for the granting of this permit by the Transportation and Utilities Department.

***** By granting approval, I hereby accept the placement of this painted artwork design to be painted upon the local street directly adjacent to my property, and I shall be in agreement of said artwork to be placed within 14 days of the specified date and acknowledge that it shall remain in place for the given time period stated.

Adjacent Property Owner Name	Address	Phone Number	Approval Yes / No	Date
<u>Marannille Properties LLC</u>	<u>P.O. BOX 6925 Lincoln 68506</u>	<u>402-770-5117</u>	<u>Yes</u>	<u>4/21/21</u>
<u>4 HLG - Jeff Lehn</u>	<u>4301 Industrial Ave</u>	<u>402-730-3271</u>	<u>Yes</u>	<u>4-21-21</u>
<u>LINCOLN PUBLIC SCHOOLS</u>	<u>1123 C ST 68502</u>	<u>402 436 1159</u>	<u>YES</u>	<u>4/5/21</u>

EVERETT
ELEMENTARY
PRINCIPAL
APPROVAL

Jamie Granquist <jamie@heartlandbikeshare.org>

Community Art Intersection project City of Lincoln application request

2 messages

Jamie Granquist <jamie@heartlandbikeshare.org>
To: mlong4@lps.org

Fri, Apr 2, 2021 at 8:41 AM

Good Morning!

My name is Jamie Granquist and I am the City Manager of the BikeLNK program, which is the bike share system for our Lincoln community. Working with other community partners such as the South of Downtown Community Development Organization, Community Crops, Neighborworks, and the 11th Street Safety Committee, we've developed a community artwork intersection project in order to address some safety concerns with traffic flow on 11th St as it passes the intersection area of B st.

As we have been in conversation with the City of Lincoln, Transportation and Utilities Department and they have provided us with School Zones PDF and this intersection would be on the far end and touching the zone.

In order to process the Art Application and have insight on area concerns and needs, can you look this document over for the intersection art and let me know your thoughts please:)

We hope to submit the application by April 15th so that we can paint after school gets out for the summer break in late May. We hope to not interfere with school traffic for the painting project, which is anticipated to last 4-8 hours and would require partial intersection blockage while painting the middle section of the proposed artwork.

11th & B is the intersection that would be painted with the "Slow your Roll" artwork.

Thanks for your consideration!

~jamie g

Be the change. Ride a bike.

Jamie Granquist

she/her/hers

BikeLNK City Manager | **Heartland Bike Share**


M. 402.659.8351 | E. jamie@heartlandbikeshare.org

BikeLNK.com

2 attachments



image001 (5).png
1554K

 Slow Your Roll - Street Painting Proposal .pdf
3451K

Michael Long <mlong4@lps.org>
To: Jamie Granquist <jamie@heartlandbikeshare.org>

Mon, Apr 5, 2021 at 10:12 AM

Thank you for letting me know. As long as it doesn't impact school traffic flow during morning drop-off or afternoon dismissal it should be fine.

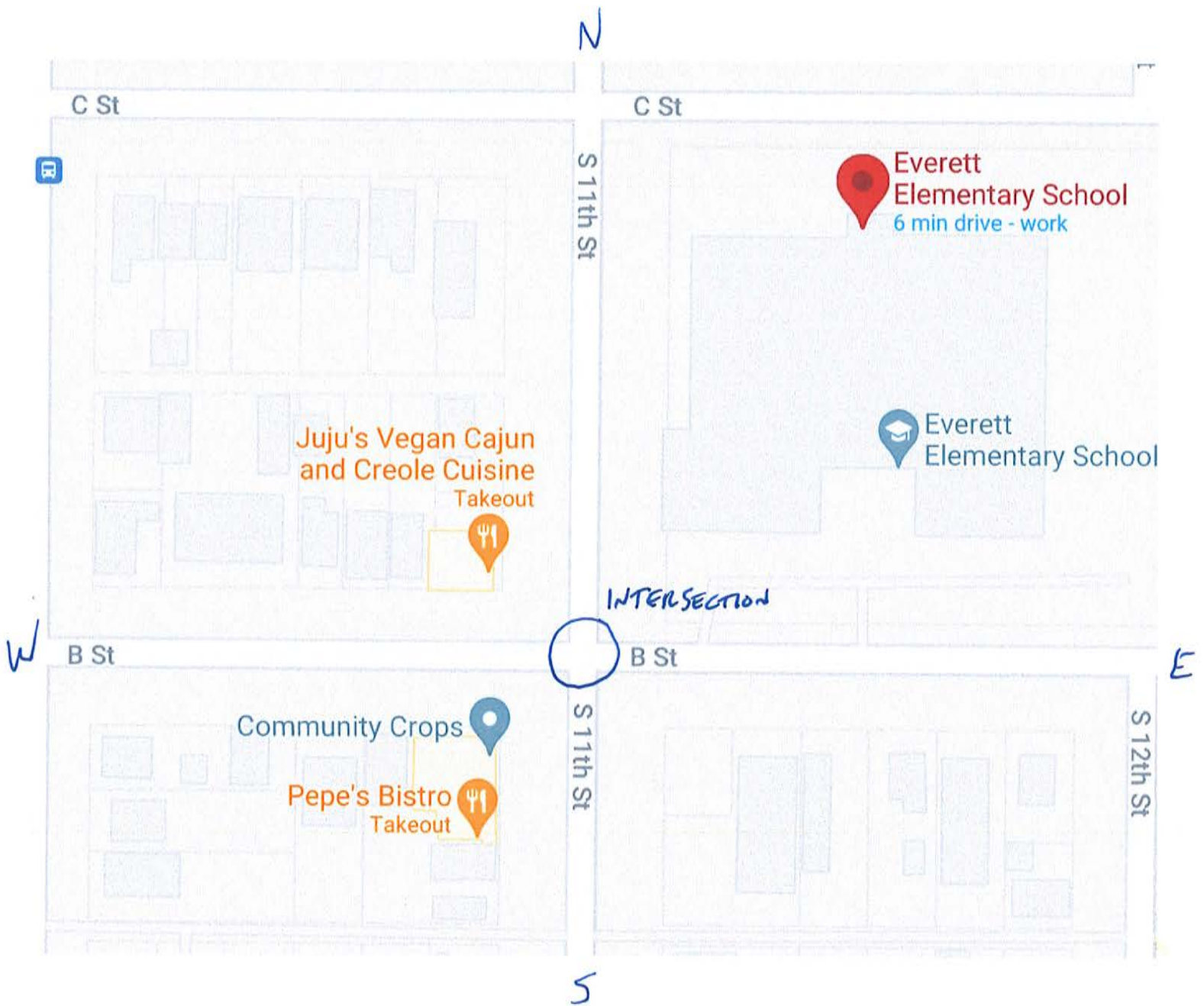
Thanks,
Mike

From: "Jamie Granquist" <jamie@heartlandbikeshare.org>
To: "Michael Long" <mlong4@lps.org>
Sent: Friday, April 2, 2021 8:41:36 AM
Subject: Community Art Intersection project City of Lincoln application request

[Quoted text hidden]

--

Mike Long
Principal
Everett Elementary School



LOCATION: CENTER OF INTERSECTION OF 11th + B.

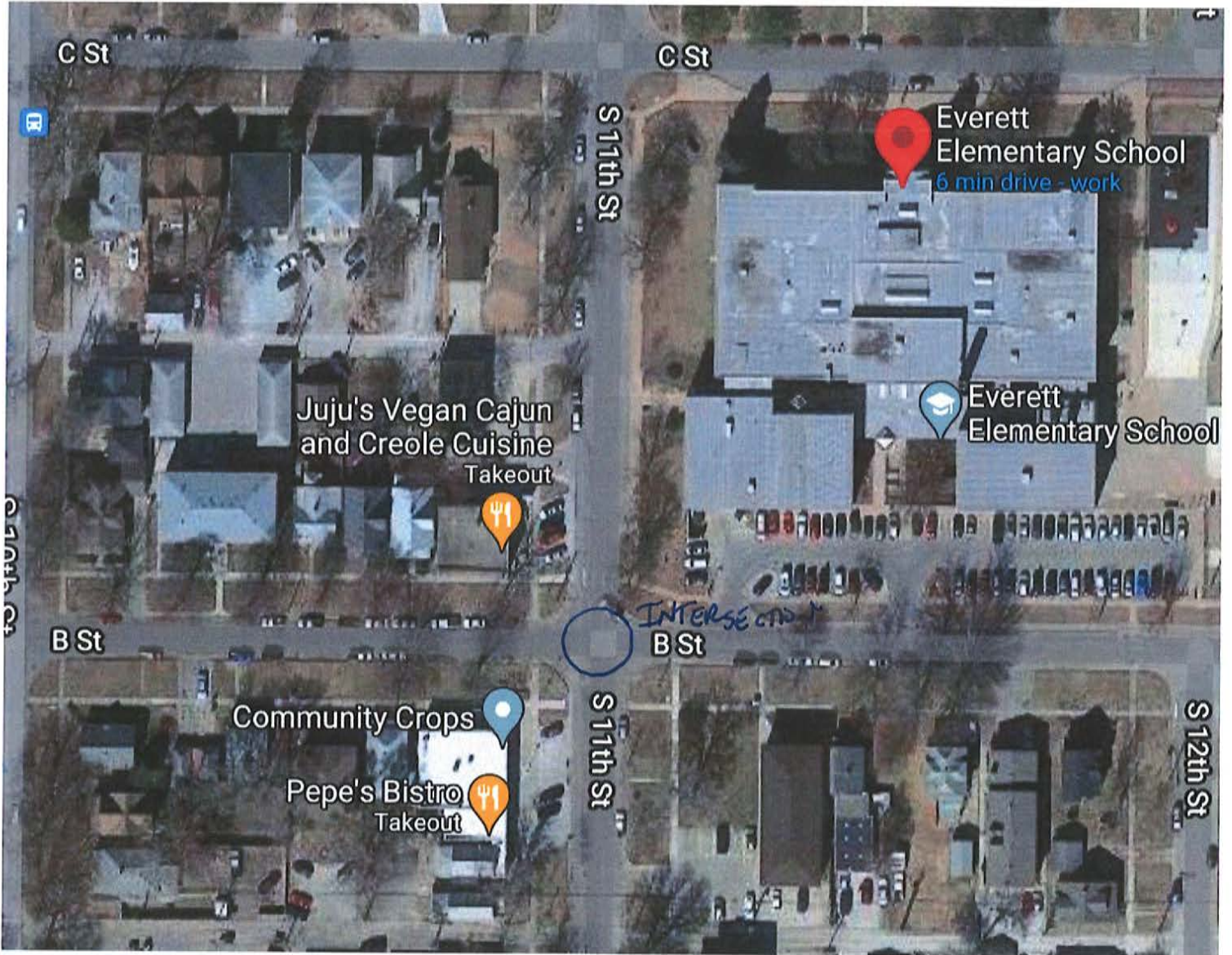
ARTIST: KAT WIESE, SDCDO ART HUB ORGANIZER

THEME: "SLOW YOUR ROLL" WITH HAPPY FACE CIRCLE

COLORS: YELLOW + BLACK + WHITE

PERMISSIONS: 1247 S 11th + 1301 S 11th
1123 C ST + 1113 B ST

[Back to Top](#)



Slow Your Roll - Street Painting Proposal

S/S



E/E

W/W

N/N

Available budget from BicycLincoln and \$400 + PHL invoice \$500 = \$900

What + Link	Quantity	Cost	Total	
Yellow Street Paint	2 Gallons	71.41 + Tax and shipping		
Yellow paint	5 gallon	169.99 + tax and shipping		
White paint	1 gallon	46.99 + shipping and tax		
Black paint	1 gallon	53.59 + shipping and tax		
Extra materials		\$100		
<u>SDCDO</u> operating time	10 hrs planning painting and events, 10 hours painting, 5 hrs mural tour = 25	In-kind contribution of operating = \$525		

Paint Products Data Sheet:

Product Name / Brand	Manufacturer Name address phone	Chemical Makeup of Paint product.	Color Choice (s) Selected for this design.	Name of Paint Supplier address phone
^{ZONE} TRAFFIC MARKING PAINT	RAE PRODUCTS + CHEMICALS	ACETONE 67-64-1	YELLOW	GRAINGER
	11638 S MAYFIELD AVE ALSIP IL	PETROLEUM DISTILLATES 64742-89-8		9345 J ST OMAHA NE 68127
	1877 275-7550	XYLENE 1330-20-7		1800 GRAINGER
		ETHYL BENZENE 100-41-4		

Product Name / Brand	Manufacturer Name address phone	Chemical Makeup of Paint product.	Color Choice (s) Selected for this design.	Name of Paint Supplier address phone
^{ZONE} TRAFFIC MARKING PAINT	RAE PRODUCTS + CHEMICALS	LATEX ACRYLIC BASE	YELLOW	ZORO
	11638 S. MAYFIELD AVE ALSIP IL			855-289 9676 909 ASBURY DR BUFFALO GROVE, IL 60089
	1877 275 7550			

Product Name / Brand	Manufacturer Name address phone	Chemical Makeup of Paint product.	Color Choice (s) Selected for this design.	Name of Paint Supplier address phone
^{ZONE} TRAFFIC MARKING PAINT	RAE PRODUCTS + CHEMICALS	LATEX ACRYLIC BASE	BLACK	ZORO
	11638 S. MAYFIELD AVE ALSIP IL			855 289 9676 909 ASBURY DR BUFFALO GROVE, IL 60089
	1877 275 7550			

Paint Products Data Sheet:

Product Name / Brand	Manufacturer Name address phone	Chemical Makeup of Paint product.	Color Choice (s) Selected for this design.	Name of Paint Supplier address phone
ZONE TRAFFIC MARKING PAINT	RAE PRODUCTS TECHNICALS	LATTEX ACRYLIC BASE	WHITE	ZERO 855 289 9676 909 ASBURY DR BUFFALO GROVE IL 60089

Product Name / Brand	Manufacturer Name address phone	Chemical Makeup of Paint product.	Color Choice (s) Selected for this design.	Name of Paint Supplier address phone

Product Name / Brand	Manufacturer Name address phone	Chemical Makeup of Paint product.	Color Choice (s) Selected for this design.	Name of Paint Supplier address phone

To whom it may concern:

During the paint application process, plastic sheeting will be utilized in order to keep paint from spilling onto areas of the concrete, manholes, utility covers, or hydrants. Nearby storm drains and waterways will be blocked off prior to their entrances or spillways so that any possible contamination is avoided by secondary failsafes with spacing between construction/landscape barriers so that time is given to respond by volunteers to contain and cleanup any paint mishaps. Storm drain inlets will be blocked to prevent paint materials or other foreign objects from entering the city's storm drain system during painting, clean up, and any art removal operations.

Special care will be taken during cleanup of the area. Any chemicals will be removed by manufacturer recommendations and artists will use PPE safety items in order to keep themselves safe while placing waste material into plastic buckets and bag up used paint applicators for proper disposal. No waste water will be flushed into any adjacent storm drains or into landscaping or street facilities but disposed of properly at all times during the artwork process.

All safety equipment, PPEs, and landscaping/waterway construction blocking materials will be purchased specifically for this project, applied correctly during layout of the project site, used appropriately during the project, and removed properly at the completion of the project.

All material disposal will be according to the manufacturers directions and City of Lincoln approved standards, from start to finish.

JAMIE GRANQUEST



4/22/21

As the draft 2050 Comprehensive Plan supports an increase in infill and redevelopment, where is increased density appropriate? When and where is increased density appropriate in existing neighborhoods?

Infill & Redevelopment: Encourage infill and redevelopment throughout the community and in prioritized areas in order to meet the infill projection of 25%.

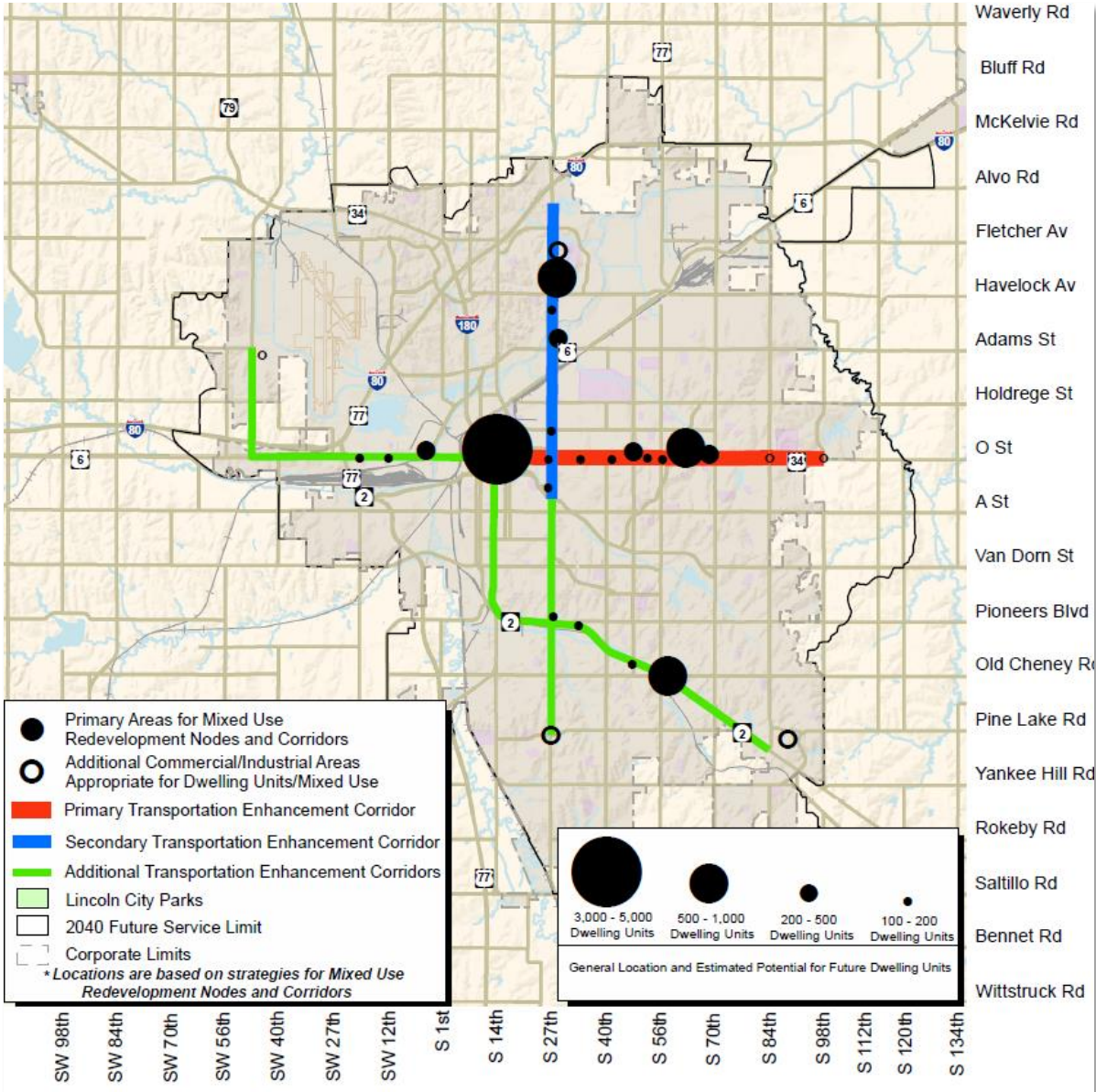
Action Steps

- a. Strive for predictability for neighborhoods and developers for residential development and redevelopment.
- b. Encourage mixed use commercial centers to incorporate a variety of medium and high-density housing affordable to diverse income levels that could serve as a transitional use to less intensive residential development and benefit from walkable access to the commercial area and transit.
- c. Develop new design standards that encourage density, a variety of housing types, optimize infrastructure costs, and help lower the overall cost of property development.
- d. Where compatible mixes of uses, appropriate site layout, and quality design standards still can be upheld, reduce the minimum size for Planned Unit Developments and Community Unit Plans to promote redevelopment on smaller parcels.
- e. Provide a mechanism for adjustments in older zoning districts to lot area, height, setbacks, and parking standards, similar to the provisions already available for newer districts.
- f. Encourage redevelopment of aging residential and commercial properties that are no longer compatible with their surroundings and replace with a variety of housing types and range of affordability.
- g. Establish stronger design standards for redevelopment projects to provide assurance that they will blend into the context of, or enhance, the surrounding neighborhood and avoid conflicting visions among developers, neighbors, and city officials.

Nodes and Corridors: Facilitate the redevelopment of prioritized Nodes and Corridors to create high-quality mobility-focused neighborhoods. Focus efforts on supporting additional jobs and residential development, including a variety of unit types and densities at various price points.

Action Steps

- a. Examine the creation of a new zoning district or overlay district that would address items such as: density, site layout, parking, building scale, and design standards.
- b. Continue utilizing TIF, and evaluate other incentives, to promote high-quality development in targeted areas.
- c. Evaluate expanding TIF eligibility to blighted areas beyond the 1950 city limits.
- d. Coordinate transit and other mobility enhancements with nodes and corridor areas.
- e. Strive for commercial Floor Area Ratios of at least 0.5 within buildable areas designated for commercial development inside the project boundary (including public and semi-public buildings). This strategy encourages significant returns on public investment by developing high-quality properties with sustained value, long-term viable businesses to generate sales tax, and efficient use of land and infrastructure resources.
- f. Strive for residential densities of at least 15 dwelling units per gross acre within buildable areas inside the project boundary. This strategy encourages significant returns on public investment by developing high-quality properties with sustained value, supports new businesses in the mixed use center, makes public transportation more viable, and uses land and infrastructure more efficiently.
- g. Develop design standards specific to Mixed Use Redevelopment Nodes and Corridors. Design standards should be clearly written and allow for an efficient, expeditious review process, while especially focusing on the interface with residential neighborhoods, attractive streetscapes, and safe and comfortable movement of people – whatever their mode of travel.



Parking Requirements: Evaluate the elimination or reduction of minimum parking requirements in additional zoning districts.

Minimum parking requirements can increase development costs and lead to an excess of unused parking spaces. They can also make it difficult to redevelop small underutilized commercial and residential properties. If implemented in a thoughtful manner, eliminating minimum parking requirements can allow property owners to determine their parking needs while minimizing impact on neighboring properties. The B-4 (Downtown) district is currently the only zoning district to not have minimum parking requirements.

In addition to zoning changes, the City can support reduced private sector parking by maintaining a robust multi-modal transportation system and continuing to operate public parking facilities in downtown and other limited locations throughout Lincoln.

Action Steps

- a. Develop a comprehensive review of existing parking requirements, actual parking needs, case studies from other communities, and stakeholder input.
- b. Eliminate or reduce minimum parking requirements in additional zoning districts and include conditions that minimize the impact on neighboring properties.
- c. Encourage large employers and public agencies to provide bike parking, lockers, and shower facilities to help reduce on-site automobile parking demand.